

WORKSHOP MEETING OF THE LADY LAKE TOWN COMMISSION

DATE: Monday, April 18, 2016
TIME: 5:15 p.m.
PLACE: 409 Fennell Blvd.
Town Hall Commission Chambers

ALL INTERESTED PERSONS ARE CORDIALLY INVITED TO ATTEND THIS PUBLIC MEETING

AGENDA

1. Call to Order: Mayor Ruth Kussard
2. Roll Call
3. Public Comment
4. Conceptual Presentation for the Specialty Orthopedic Center Major Site Plan - Phase I - MJSP 03/16-002 – A Development Proposing a 26,540 Sq. Ft. Multi-Specialty Medical Facility – to be Located Along Rolling Acres Road on a +/- 9.77-Acre Parcel at 539 Rolling Acres Road (Thad Carroll)
5. Adjourn

This public hearing is being conducted in a handicapped accessible location. Any handicapped person requiring an interpreter for the hearing impaired or the visually impaired should contact the Clerk's Office at least five (5) calendar days prior to the meeting and an interpreter will be provided. To access a Telecommunication Device for Deaf Persons (TDD), please call (352) 751-1565. Any handicapped person requiring special accommodation at this meeting should contact the Clerk's Office at least five (5) calendar days prior to the meeting. Advice to the Public: If a person decides to appeal a decision made with respect to any matter considered at the above meeting or hearing, he may need a verbatim record of the proceedings including the testimony and evidence which record is not proved by the Town of Lady Lake. (F.S. 286-0105) Please be advised that one or more members of any other Town Board or Committee may be in attendance of this meeting.

NS/Word/Town Clerk/Agendas - Special Commission Workshop Meeting 04-18-16



SPECIAL TOWN COMMISSION - CONCEPTUAL WORKSHOP AGENDA ITEM

REQUESTED COMMITTEE MEETING DATE: April 18, 2016

SUBJECT: Conceptual Presentation for the Specialty Orthopedic Center Major Site Plan- Phase I – MJSP 03/16-002 –For a development proposing a 26,540-square-foot multi-specialty medical facility to be constructed along Rolling Acres Road on a +/- 9.77-acre parcel at 539 Rolling Acres Road (Alternate Key 1279488).

DEPARTMENT: GROWTH MANAGEMENT

RECOMMENDED MOTION:

Staff recommends advancing the site plan as presented since site specifications, as required per Town of Lady Lake Land Development Regulations, have been applied to the best extent practicable, *with the following waivers:*

- Chapter 10, Section 10-3. b).B).4).- Waiver request for the North Elevation regarding Buffer width and plant material reduction
 - Chapter 10, Section 10-3. b).B).3).- Waiver request for the South Elevation regarding Buffer width and plant material reduction
-

SUMMARY:

George Huddleston with Littlejohn Engineering Associates, Inc., has submitted a site plan application for a 9.77 +/- acre parcel located at 539 Rolling Acres Road. The applicant proposes the construction of a 26,540-Square-foot building for a Multi-Specialty Clinic Facility. The property is zoned Industrial, which permits the proposed medical office/clinic use. The Future Land Use Map designation for the site is Industrial (I). This particular piece of property is located just south of the Villages Industrial Center and north of the Citizen's First Bank Processing Center and the Fort Knox Storage Facility. This is one of the few remaining undeveloped properties on that section of Rolling Acres Road north of Highway 466. The property is expected to be developed in two (2) phases.

The site plan was reviewed to determine if it is in compliance with the Land Development Regulations (LDRs) including parking, setbacks, landscaping, engineering,

environmental protection and commercial design standards. The applications were determined to be in compliance with the Land Development Regulations (LDRs) and the Comprehensive Plan.

Commercial Design Standard

Attached are the site plan and façade elevations for the Specialty Orthopedic Center:

In accordance with the Land Development Regulations, **Chapter 20, Section 20-3C).3).A).**, new buildings should adopt one of the four recommended architectural styles: Frame Vernacular, Craftsman/Bungalow, Mediterranean, or Mission.

The Specialty Orthopedic Center Facility exhibits a Modern Architectural Design style featuring white cement plaster, metal wall panels, split face concrete block, glass doors and windows throughout the different exterior wall elevations of the building.

- ✓ Primary entrance oriented towards the public right-of-way featuring a Portico
- ✓ Substantial architectural elements that projects/recesses from the building
- ✓ Facades includes changes in place, arcades, change in compatible material, changes in texture, doors and windows
- ✓ Primary façade features public entrances, roof treatments, awnings, and landscaping
- ✓ Secondary and rear entrances include architectural embellishments such as awnings and landscaping
- ✓ All glazing is transparent
- ✓ Rooftops consists of steeped parapets of different colored material

Tree Requirements:

In accordance with Chapter 10-Landscape and Tree Protection, the site is required to provide 931.2 tree caliper inches based on its 5.82-acre site development area (160"x 5.82 acres). Please see the landscaping tree proposal breakdown:

Existing Trees to remain	93 tree caliper inches
Proposed Canopy & Understory Trees	<u>867</u> tree caliper inches
Total tree caliper inches	960 tree caliper inches

The applicant is providing more than the required on-site tree caliper inches.

Notes:

- A 65" history oak tree is proposed to be preserved and no historic trees are proposed to be removed for this development.

The applicant is pursuing the following **landscaping waivers:**

- In accordance to **Chapter 10, Section 10-3. b).B).4).**, the *North Elevation* requires "Class D" Landscaping Buffer-Forty (40) feet minimum width with eight (8) canopy trees, six (6) understory trees and a continuous hedge or an approved fence or wall.

The applicant is required to provide *56 canopy trees* and *35 understory trees*.

Request: The applicant is requesting a waiver for 13 canopy trees and to reduce the buffer width from 40 feet to 20 feet.

Justification: Buffer width reduction has been requested due to modern building layout to meet commercial design standards and to accommodate parking spaces needed for Phase I.

- In accordance to **Chapter 10, Section 10-3. b).B).3).**, the *South Elevation* requires "Class C" Landscaping Buffer- Thirty (30) feet minimum width with six (6) canopy trees, four (4) understory trees and a continuous hedge or an approved fence or wall.

The applicant is required to provide *42 canopy trees* and *28 understory trees*.

Request: The applicant is requesting a waiver for 7 canopy trees, 2 understory trees and to reduce the buffer width from 30 feet to 20 feet.

Justification: Buffer width reduction has been requested due to modern building layout to meet commercial design standards and to accommodate parking spaces needed for Phase I.

Comments:

As stated, the applicant is proposing a medical office/clinic; such a use would regularly require only a Landscaping Buffer Class "A" along the boundaries if assigned under the Heavy Commercial (HC) zoning district, in which this proposed use would be permitted. However, due to the property having an Industrial Zoning designation, the project is required to provide Landscaping Buffer Class D for the north elevation and Landscaping Buffer Class C for the South elevation; which are 40 feet and 30 feet in width respectively, and require extensive plant material.

Overall, the plan material that has been proposed on-site for approximately 700 lineal feet would be the equivalent of Landscaping Buffer Class C; which is far beyond what is currently featured on adjacent and surrounding sites.

Public Meetings:

The **Technical Review Committee** members individually reviewed the application on Friday, April 8, 2016, and provided outstanding comments regarding the Site Plan application.

The **Parks, Recreation and Tree Advisory Committee** is scheduled for Wednesday, April 13, 2016; however, at the time that this packet is being prepared, vote recommendation information is not available. Town Staff will follow up with the PRT advisory committee recommendation at the conceptual meeting.

The **Town Commission** is tentatively scheduled to consider this application for final approval on Monday, May 16, 2016 at 6:00 p.m.

FISCAL IMPACT: \$ _____

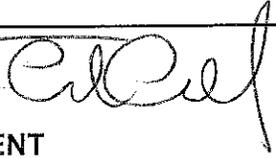
- Capital Budget
- Operating
- Other

ATTACHMENTS: Ordinance(s) Resolution Budget Resolution
 Other – Conceptual Site Plan Documents
 Support Documents/Contracts Available for Review in Manager's Office

62

4-11-16

DEPARTMENT HEAD



Submitted

4/11/16

Date

FINANCE DEPARTMENT

Approved as to Budget Requirements

Date

TOWN ATTORNEY

Approved as to Form and Legality

Date

TOWN MANAGER



Approved Agenda Item for:

4/15/16

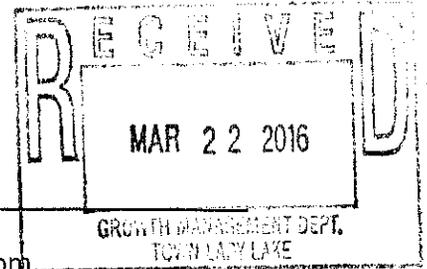
Date

4/15/16

BOARD ACTION: Approved as Recommended Disapproved

Tabled Indefinitely Continued to Date Certain Approved w/Modification

**TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW**



1. Applicant's Name: Littlejohn (George Huddleston, PE)
Telephone/Email: (407) 975-1273 ; ghuddleston@leainc.com
Applicant is: Owner ___ Developer ___ Lessee ___ Agent X Optionee ___
2. Owner's Name: Surgical Practice Resource Group of Florida (Steve Roth, COO)
Address: 913 Venture Avenue, Suite #1, Leesburg, FL, 34748
Telephone/Email: (352) 801-7992 ; sroth@sprgroup.com
3. Engineer's Name: Littlejohn (Chris Grammier, PE)
Address: 1615 Edgewater Drive, Suite 200, Orlando, FL, 32804
Telephone/Email: (407) 975-1273 ; cgrammier@leainc.com
Reg. Number: PE 69919 (Firm Certification # 28050)
4. Architect's Name: Studio+ (Rachel Thomas)
Address: 2211 E. 7th Avenue, Tampa, Florida, 33605
Telephone/Email: (813) 625-2142 ; RachelT@studioplusarch.com
Registration Number: AA26002372
5. Landscape Architect: Littlejohn (Jay Hood, PLA)
Address: 1615 Edgewater Drive, Suite 200, Orlando, FL, 32804
Telephone/Email: (407) 975-1273 ; jhood@leainc.com
Registration Number: LA0001277 (Firm Certification # 28050)
6. Project Name: Specialty Orthopedic Clinic
Physical Location/Address: 539 Rolling Acres Road
11. The property is located in the vicinity of the following streets:
On the east side of Rolling Acres Road, north of Oak Street & south of US 27.
Specifically, the site is immediately north of the Citizen's First Bank / Fort Knox
Self Storage development.

TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW
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8. Area of property 425,760 Square Feet 9.774 Acres
9. The exact legal description of the property as shown on the Tax Receipt or the Warranty Deed, or attach a separate sheet to the application form:

The north 1/2 of the North 1/2 of the Southwest 1/4 of the Northwest 1/4 in Section 17, Township 18 South, Range 24 East, Lake County, Florida, less the West 40 feet.

10. The property is currently zoned: Industrial

11. Briefly describe the proposed project: A proposed medical [orthopedic] clinic

If for storage, what type of material will be stored? N/A

12. Have any development reviews and/or approvals been granted to this property?
Yes ___ No X If yes, list the type, date and result:

N/A

13. Has any Variance been granted concerning this property? Yes ___ No X
If yes, list the Case Number and briefly describe the nature of the Variance.

N/A

14. The plans shall be drawn on 24" x 36" sheets as a minimum, at the largest scale feasible. The plans or any portion thereof involving engineering, shall be certified by a professional engineer or landscape architect as required by SJRWMD. The following information must be included on the site plan:

General Information

X a. Name of project.

X b. General statement of intended use of site.

X c. Legal description of the property and size of parcel in acres or square feet.

X d. Name and address of owner.

TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW

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- e. Name, address and phone number of owner's agent.
- f. Name, address, signature and registration of the professionals preparing the plans.
- g. Date, north arrow and scale shall be designated and where appropriate, the same scale shall be used on all sheets.
- h. Vicinity map showing relationship of proposed development to the surrounding streets and thoroughfares, shall be at a scale no smaller than one inch equals five thousand two hundred eighty feet (1" = 5,280' or 1" = Mile).
- i. Linear dimensions of the site.
- j. Existing topography with a maximum of one (1) foot contour intervals for the proposed site.
- k. Finished grading elevations.
- l. Zoning of the site and of all adjacent parcels.
- m. All existing and proposed building restriction lines (i.e., highway setback lines, easements, covenants, rights-of-way and building setback lines).
- n. Percent of open space of site.
- o. Location of proposed signs.

Building and Structure

- a. Existing and proposed structures.
- b. Intended use.
- c. Number of stories.
- d. Height of building(s).
- e. Number of dwelling units and density.
- f. Projected number of employees, if applicable.
- g. If restaurant, show number of seats and occupancy load.

TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW

Page 4

- h. Square footage for proposed development, i.e., gross square footage, nonstorage area, square footage of each story, gross square footage of sales area, etc.
- ¹ i. Photograph or sketch of proposed sign with dimensions and material type.

Street, Sidewalks, Driveways, Parking Areas and Loading Spaces

- a. Engineering plans and specifications for streets, alleys, sidewalks and driveways to include soil borings, if necessary.
- b. All parking spaces delineated.
- c. Number of parking spaces.
- d. Number and location of handicapped spaces.
- e. Number of square feet of paved parking and driveway area.
- f. Surface materials and cross-section of proposed paved areas.
- g. Fire lanes per the Standard Fire Prevention Code adopted in the Building and Fire Codes chapter.
- h. Description/location of proposed driveway(s) and median cut(s).
- i. Internal traffic control circulation plan, including directional arrows and signs to direct traffic flow, as necessary.
- j. Location of traffic-control signs and signalization devices, if required.
- k. Number and location of required loading spaces.
- i. Number and location of required bicycle spaces.

Drainage and Stormwater

- a. Soil classifications, cross-sections and details of proposed retention/detention ponds, swales, berms, etc., as required by SJRWMD.
- b. Size, material and location of stormwater structures and pipes.

¹ This will be provided at a later date, as the signage vendor has not been contracted at this time.

TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW

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- X c. Indicate flood elevation for 100-year flood and any other information required in Environmental Regulations chapter.

Proposed Water, Sewer and Solid Waste Facilities

- X a. Size, material, specifications and location of water mains, valves, services and fire hydrants.
- X b. Size, material, specifications and location of sanitary sewer lines and laterals with submittal of a profile, if necessary.
- X c. Size and location of septic tank and drainfield, if applicable.
- N/A d. Grease separation system, if applicable: Size, location and materials.
- X e. Location(s) and access provisions for refuse service, including pad, screening, fencing and landscaping, if applicable.

Landscaping

- X a. Landscaping plan and provisions for maintenance including size, type and location of all landscaping, screens, walls, fences and buffers per the requirements in the Landscaping and Tree Protection chapter. If water efficient landscaping is used, the information required in that chapter should be included.
- X b. Irrigation system plan.

Environmental Protection

- X a. Natural features such as waterbodies, wetlands, native vegetative communities, etc., as required in the Environmental Regulations chapter.
- N/A b. Conservation easements per the requirements.
- X c. Provisions for the adequate control of erosion and sediment, including the location and description of the methods to be utilized during and after all phases of clearing, grading and construction.

ADDITIONAL INFORMATION TO BE PROVIDED

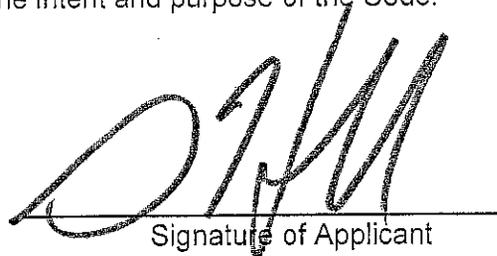
- ² a. Summary report of all concurrency data needed as noted in Chapter 4 of the Lady Lake Land Development Regulations.

² Concurrency data has been provided within this submittal. Any additional information will be coordinated with staff provided accordingly.

TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW

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- b. Drainage calculations as required in the Stormwater Management chapter.
- c. Fire flow calculations, if applicable.
- d. Lift station calculations, where required.
- e. Copy of HRS permit, where required.
- ³ f. A construction cost estimate prepared by the engineer of record, which shall delineate any proposed improvements to be maintained by the Town.
- g. Environmental assessment per the requirements, if applicable.
- h. Any additional data, maps, plans or statements, as may be required, which is commensurate with the intent and purpose of the Code.


Signature of Applicant

PLEASE SUBMIT APPLICATION TO THE GROWTH DEVELOPMENT DEPARTMENT ACCOMPANIED BY EIGHT (8) COPIES OF THE SITE PLAN AND FOUR (4) 11 X 17 (SIGNED AND SEALED IF REQUIRED), APPROPRIATE REVIEW FEES, PROOF OF OWNERSHIP AND ALL APPLICABLE INFORMATION AND DOCUMENTATION AS REQUIRED BY LADY LAKE ORDINANCE 94-08, LAND DEVELOPMENT REGULATIONS, ADOPTED AUGUST 15, 1994.

Office Use:	
Date Application Received: <u>03/22/2016</u>	Received by: <u>W. Thom</u>
Fees Paid:	
Site Development Plan - Minor	
Site Development Plan - Major up to 100,000 sq. ft.	<u>\$4000.00</u>
Site Development Plan - Major 100,001 sq. ft. and up	
Commercial Design Standard Review	<u>1975.00</u>

³ This will be deferred to a later time (prior to permit issuance) to allow for coordination with staff.

OWNER'S AFFIDAVIT

STATE OF FLORIDA
COUNTY OF LAKE

Before me, the undersigned authority, personally appeared Stephen E. Roth, who being by me first duly sworn on oath, deposes and says:

- (1) That he/she is the duly authorized officer of Surgical Practice Resource Group of Florida, Inc., which is the fee-simple owner of the property described on page one of this application
- (2) That he/she desires approval for:
Specialty Orthopedic Clinic
- (3) That he/she has appointed Littlejohn Engineering Associates, Inc. (Littlejohn) to act as agent in his/her behalf to accomplish the above. The Owner is required to complete the APPLICANT'S AFFIDAVIT of this application if no agent is appointed to act in his/her stead.


Affiant (Owner's Signature)

The foregoing instrument was acknowledged before me this 21st day of March, 2016, by Stephen E. Roth, who is personally known to me or who has produced _____ as identification and who did (did not) take an oath.


Notary Public



NOTE

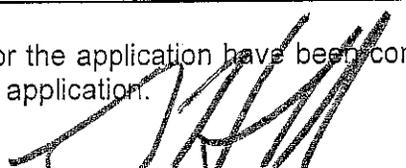
All applications shall be signed by the owner of the property, or some person duly authorized by the owner to sign. This authority authorizing a person other than the owner to sign must be attached.

APPLICANT'S AFFIDAVIT

STATE OF FLORIDA
COUNTY OF LAKE

Before me, the undersigned authority, personally appeared George B. Huddleston, III (Littlejohn), who being by me first duly sworn on oath, deposes and says:

- (1) That he/she affirms and certifies that he/she understands and will comply with all ordinances, regulations, and provisions of the Town of Lady Lake, Florida, and that all statements and diagrams submitted herewith are true and accurate to the best of his/her knowledge and belief, and further, that this application and attachments shall become part of the Official Records of the Town of Lady Lake, Florida, and are not returnable.
- (2) That he desires approval for:
Specialty Orthopedic Clinic
- (3) That the submittal requirements for the application have been completed and attached hereto as part of this application.



Affiant (Applicant's Signature)

The foregoing instrument was acknowledged before me this 21st day of March, 2016, by George Huddleston who is personally known to me or who has produced _____ as identification and who did (did not) take an oath.



Notary Public



Stacie E. Woods
NOTARY PUBLIC
STATE OF FLORIDA
Comm# FF154479
Expires 8/29/2018

PROPERTY RECORD CARD

General Information

Owner Name:	SURGICAL PRACTICE RESOURCE GROUP OF FLORIDA INC	Alternate Key:	1279488
Mailing Address:	913 VENTURE AVE #1 LEESBURG, FL 34748 Update Mailing Address	Parcel Number:	17-18-24-000200001100
		Millage Group and City:	FOLL (Lady Lake)
		Total Millage Rate:	18.23370
		Trash/Recycling /Water/Info:	My Public Services Map
Property Location:	539 ROLLING ACRES RD LADY LAKE FL 32159 Update Property Location	Property Name:	-- Submit Property Name
		School Locator:	School and Bus Map
Property Description:	N 1/4 OF SW 1/4 OF NW 1/4--LESS W 40 FT-- ORB 4689 PG 996		

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	VACANT COMMERCIAL (1000)	0	0		9.7	AC	\$0.00	\$756,600.00

Miscellaneous Improvements

No.	Type	No. Units	Unit Type	Year	Depreciated Value
0002	BARN (BRN)	1440	SF	1982	\$7,534.00

Sales History

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
659 / 1926	1/1/1978	Misc Deed/Document	Qualified	Vacant	\$17,000.00
865 / 436	1/1/1986	Warranty Deed	Unqualified	Vacant	\$1.00
1223 / 176	4/1/1993	Warranty Deed	Qualified	Improved	\$55,000.00
1490 / 790	8/1/1996	Warranty Deed	Unqualified	Improved	\$15,000.00
1751 / 69	9/8/1999	Quit Claim Deed	Unqualified	Improved	\$0.00
1751 / 73	9/8/1999	Warranty Deed	Qualified	Improved	\$197,000.00
1758 / 1693	9/27/1999	Quit Claim Deed	Unqualified	Improved	\$0.00
4689 / 996	10/6/2015	Warranty Deed	Qualified	Vacant	\$900,000.00

[Click here to search for mortgages, liens, and other legal documents.](#)

Values and Estimated Ad Valorem Taxes

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$764,134	\$764,134	\$764,134	5.30510	\$4,053.81
LAKE COUNTY MSTU AMBULANCE	\$764,134	\$764,134	\$764,134	0.46290	\$353.72

SCHOOL BOARD STATE	\$764,134	\$764,134	\$764,134	5.69700	\$4,353.27
SCHOOL BOARD LOCAL	\$764,134	\$764,134	\$764,134	1.50000	\$1,146.20
TOWN OF LADY LAKE	\$764,134	\$764,134	\$764,134	3.55100	\$2,713.44
ST JOHNS RIVER FL WATER MGMT DIST	\$764,134	\$764,134	\$764,134	0.30230	\$231.00
LAKE COUNTY VOTED DEBT SERVICE	\$764,134	\$764,134	\$764,134	0.16000	\$122.26
LAKE COUNTY WATER AUTHORITY	\$764,134	\$764,134	\$764,134	0.25540	\$195.16
NORTH LAKE HOSPITAL DIST	\$764,134	\$764,134	\$764,134	1.00000	\$764.13
				Total:	Total:
				18.2337	\$13,932.99

Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

First Homestead Exemption (up to \$25,000)	Learn More View the Law
Additional Homestead Exemption (up to an additional \$25,000)	Learn More View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	Learn More View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000) Ⓞ	Learn More View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	Learn More View the Law
Widow / Widower Exemption (up to \$500)	Learn More View the Law
Blind Exemption (up to \$500)	Learn More View the Law
Disability Exemption (up to \$500)	Learn More View the Law
Total Disability Exemption (amount varies)	Learn More View the Law
Veteran's Disability Exemption (\$5000)	Learn More View the Law
Veteran's Total Disability Exemption (amount varies)	Learn More View the Law
Veteran's Combat Related Disability Exemption (amount varies)	Learn More View the Law
Deployed Servicemember Exemption (amount varies)	Learn More View the Law
Surviving Spouse of First Responder Exemption (amount varies)	Learn More View the Law
Conservation Exemption (amount varies)	Learn More View the Law
Tangible Personal Property Exemption (up to \$25,000)	Learn More View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	Learn More View the Law
Government Exemption (amount varies)	Learn More View the Law

Exemption Savings Ⓞ

The exemptions marked with a ✓ above are providing a tax dollar savings of:

\$0.00

Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark ✓

Save Our Homes Assessment Limitation (3% assessed value cap)

[Learn More](#) [View the Law](#)

Save Our Homes Assessment Transfer (Portability)

[Learn More](#) [View the Law](#)

Non-Homestead Assessment Limitation (10% assessed value cap)

[Learn More](#) [View the Law](#)

Conservation Classification Assessment Limitation

[Learn More](#) [View the Law](#)

Agricultural Classification

[Learn More](#) [View the Law](#)

Assessment Reduction Savings

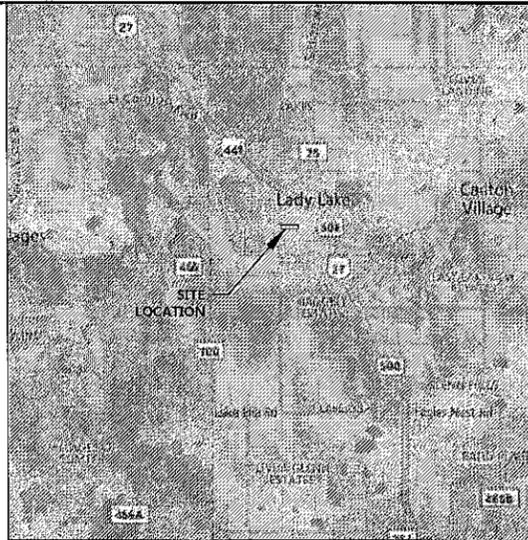
The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

PERMIT DOCUMENTS

SPECIALTY ORTHOPEDIC CLINIC

LADY LAKE, LAKE COUNTY, FLORIDA

LITTLEJOHN PROJECT NO. 20150902
3/21/2016



VICINITY MAP
NOT TO SCALE

SITE DATA

COUNCIL DISTRICT:
COUNCIL MEMBER:
PARCEL ID: 17-18-24-0002-0000-1100
SITE ADDRESS: 539 ROLLING ACRES ROAD
LADY LAKE, FL 32159
SITE ACREAGE: 9.774 AC.
ZONED: INDUSTRIAL
OPEN SPACE: 7.17 AC (312,248 SF) (73.4% OPEN SPACE/
UNDISTURBED)
PROPOSED USE: MEDICAL OFFICE FACILITY
No. OF EMPLOYEES: 50
PROPOSED MAX. BUILDING HEIGHT: 18 FEET
ALLOWED MAX. BUILDING HEIGHT: 35 FEET
FRONT SETBACK/ BUFFER YARD: 20 FEET
SIDE SETBACKS/ BUFFER YARD: 30 FEET*
REAR SETBACK/ BUFFER YARD: 25 FEET
* A WAIVER IS REQUESTED FROM THIS BUFFER YARD REQUIREMENT FROM 30' TO 20'

IMPERVIOUS SURFACE AREA
BUILDINGS: 0.61 AC. (26,540 FT²)
DRIVES/SIDEWALKS: 2.01 AC. (87,763 FT²)
TOTAL PROPOSED IMPERVIOUS AREA: 2.62 AC. (113,471 FT²)

PARKING SUMMARY
PARKING REQUIRED:
(PARKING REQUIREMENTS) 129 SPACES
129 SPACES REQUIRED

PARKING PROVIDED:
REGULAR: 123 SPACES
HANDICAP: 6 SPACES
TOTAL: 129 SPACES PROVIDED
BICYCLE PARKING REQUIRED: 4
BICYCLE PARKING PROVIDED: 4
LOADING PARKING REQUIRED: 3
LOADING PARKING PROVIDED: 3

OWNER: SPR GROUP OF FLORIDA, INC.
ADDRESS: 913 VENTURE AVENUE, SUITE #1
LEESBURG, FL 34748
PHONE NO: (352) 801-7992
CONTACT NAME: STEVE ROTH
CONTACT E-MAIL ADDRESS: sroth@sprgroup.com

PROJECT REPRESENTATIVE: LITTLEJOHN ENGINEERING
ADDRESS: 1615 EDGEWATER DRIVE, SUITE 200
ORLANDO, FL 32804
PHONE NO: 407.975.1273
CONTACT NAME: CHRIS S. GRAMMIE
CONTACT E-MAIL ADDRESS: cgrammier@lejinc.com

RECORDED DOCUMENTS: ORB/PAGE: 4689 / 996
FEMA PANEL:
A PORTION OF THE SUBJECT PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD ZONE
ACCORDING TO COMMUNITY PANEL NO. 12069C0170E, LAKE COUNTY, FLORIDA,
DECEMBER 18, 2012



LEGAL DESCRIPTION:

THE NORTH 1/2 OF THE NORTH 1/2 OF THE SOUTH-WEST 1/4 OF THE NORTHWEST 1/4 IN
SECTION 17, TOWNSHIP 18 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS THE
WEST 40 FEET.

INTENDED USE: MEDICAL OFFICES, ORTHOPEDIC MEDICAL CLINIC

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LEESBURG, FL 34748
(352) 801-7992

CIVIL ENGINEER/LANDSCAPE ARCHITECT

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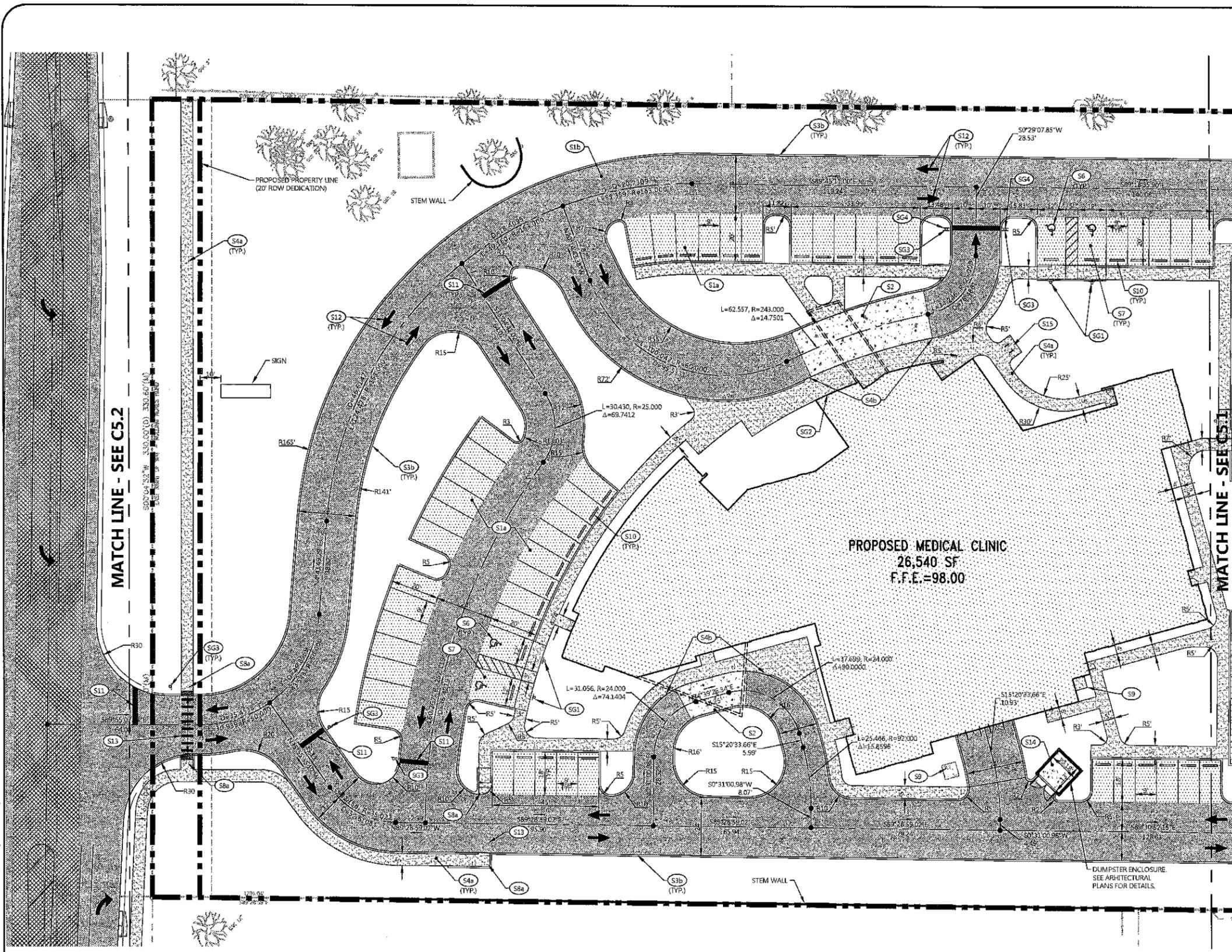
1615 Edgewater Drive, Suite 200, ORLANDO, FLORIDA 32804
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Christopher S. Grammier, P.E. 69919
Jay R. Hood, PLA LA0001277 Florida Firm Registration No. 28050

SHEET INDEX

- C0.0 - COVER
- C1.0 - EXISTING CONDITIONS
- C2.0 - NOTES
- C3.0 - EROSION CONTROL PLAN
- C3.1 - EROSION CONTROL PLAN
- C3.2 - MAINTENANCE OF TRAFFIC
- C3.3 - MOT PHASE I
- C3.4 - MOT PHASE II
- C4.0 - DEMOLITION PLAN
- C4.1 - DEMOLITION PLAN
- C4.2 - DEMOLITION PLAN
- C5.0 - SITE LAYOUT PLAN
- C5.1 - SITE LAYOUT PLAN
- C5.2 - TURN LANES
- C6.0 - GRADING & DRAINAGE PLAN
- C6.1 - GRADING & DRAINAGE PLAN
- C6.2 - GRADING & DRAINAGE PLAN
- C7.0 - UTILITY PLAN
- C7.1 - UTILITY PLAN
- C8.0 - DETAILS
- C8.1 - DETAILS
- C8.2 - DETAILS
- C8.3 - DETAILS
- C8.4 - LIFT STATION DETAILS
- C9.0 - CITY DETAILS
- L1.0 - LANDSCAPE PLAN
- L1.1 - LANDSCAPE PLAN
- L2.0 - PLANT SCHEDULE AND NOTES
- L2.1 - PLANTING DETAILS
- IR-1 - IRRIGATION PLAN
- IR-2 - IRRIGATION DETAILS
- IR-3 - IRRIGATION DETAILS
- IR-4 - IRRIGATION NOTES
- P1.0 - FLOOR PLAN
- P2.00 - EXTERIOR ELEVATIONS
- P2.01 - EXTERIOR ELEVATIONS
- E1.01 - PHOTOMETRIC LIGHTING PLAN



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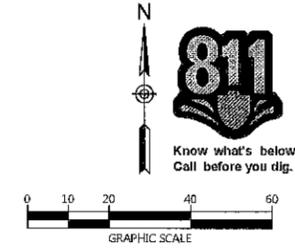


SITE LAYOUT KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
S1a	ASPHALT PAVEMENT - LIGHT DUTY	11/C8.0
S1b	ASPHALT PAVEMENT - HEAVY DUTY	11/C8.0
S1c	ASPHALT PAVEMENT - OVERLAY	11/C8.0
S2	CONCRETE PAVEMENT	8/C8.0
S3a	CONCRETE CURB & GUTTER	
S3b	CONCRETE POST CURB	9/C8.1
S4a	CONCRETE SIDEWALK	2/C8.1
S4b	CONCRETE SIDEWALK WITH TURN DOWN CURB	11/C8.1
S5	SIDEWALK JOINTS	6/C8.1
S6	ACCESSIBLE SYMBOL	10/C8.1
S7	FLORIDA ACCESSIBLE PARKING DETAIL	1/C8.0
S8a	ACCESSIBLE RAMP	12/C8.1
S8b	SIDEWALK TRANSITION	1/C8.2
S9	HEAVY DUTY UTILITY PAD	7/C8.1
S10	CONCRETE WHEELSTOP	5/C8.0
S11	PAINTED STOP BAR - 24"	12/C8.0
S12	DIRECTIONAL ARROWS	10/C8.0
S13	PEDESTRIAN CROSSWALK	9/C8.0
S14	CONCRETE DUMPSTER PAD WITH SCREEN WALL	6/C8.0
S15	BIKE RACK	1/C8.3

SITE SIGNAGE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
SG1	ACCESSIBLE PARKING SIGN	4/C8.0
SG2	ACCESSIBLE PASSENGER LOADING/UNLOADING SIGN	2/C8.0
SG3	"STOP" SIGN	7/C8.0
SG4	"DO NOT ENTER" SIGN	7/C8.0
SG5	"ONE WAY" SIGN	7/C8.0

PROPOSED FEATURES LEGEND

BUILDING	
CONCRETE PAVEMENT	
CONCRETE SIDEWALK	
HEAVY DUTY PAVEMENT	
LIGHT DUTY PAVEMENT	
TACTILE WARNING	
PAINTED STRIPE	
CONCRETE CURB	
CENTERLINE	



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LADY LAKE, LAKE COUNTY, FLORIDA



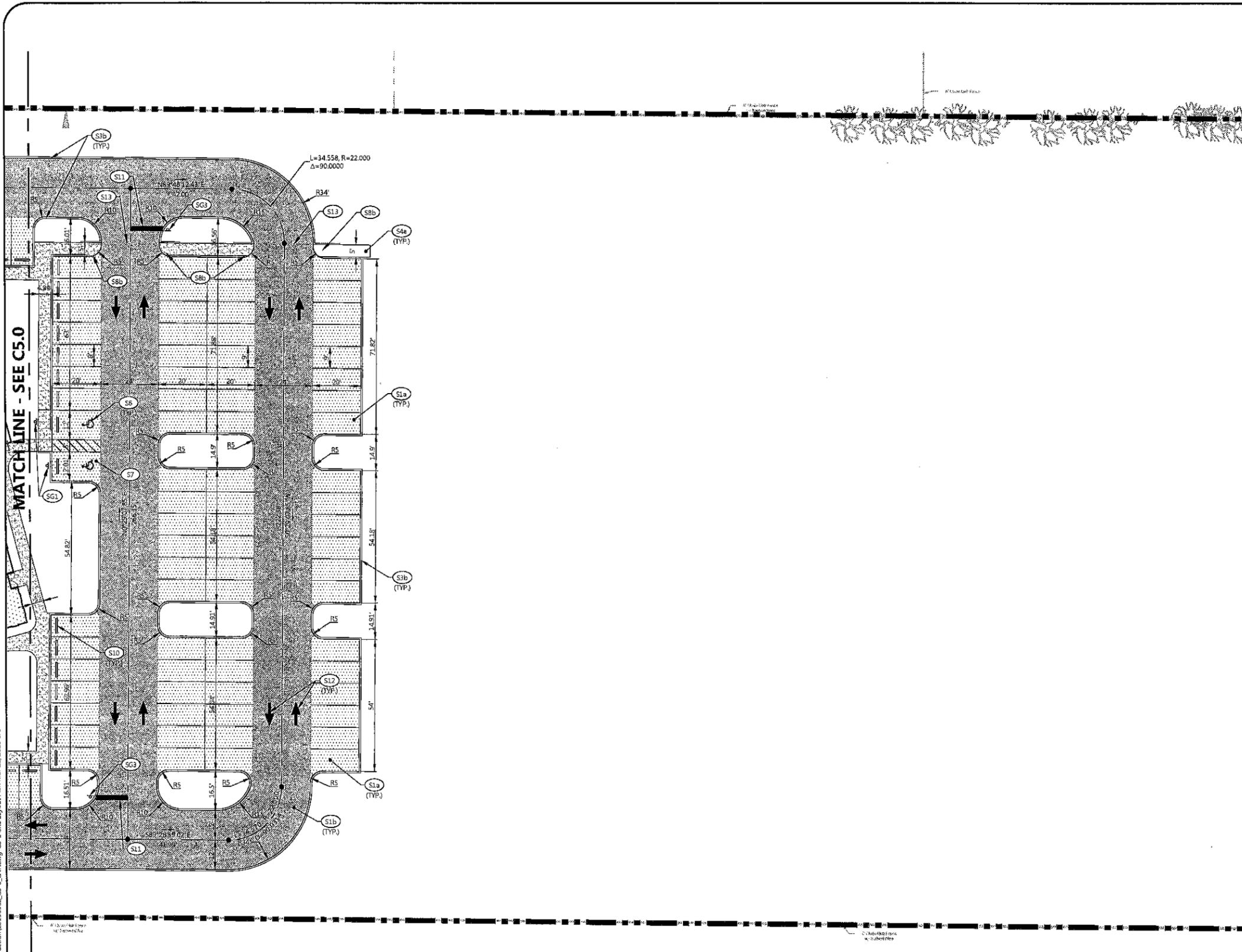
NO.	DATE	DESCRIPTION	BY	CHK	APP
1	3/21/16	LADY LAKE SUBMITTAL	CY	GH	CG

PROJECT NUMBER
20150902

DRAWING NUMBER
C5.0

DRAWING NAME
SITE LAYOUT PLAN

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SITE LAYOUT KEYNOTES

CODE	DESCRIPTION	DET #/SHT #
S1a	ASPHALT PAVEMENT - LIGHT DUTY	11/C8.0
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PROPOSED FEATURES LEGEND

- BUILDING
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- HEAVY DUTY PAVEMENT
- LIGHT DUTY PAVEMENT
- TACTILE WARNING
- PAINTED STRIPE
- CONCRETE CURB
- CENTERLINE

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GRAPHIC SCALE

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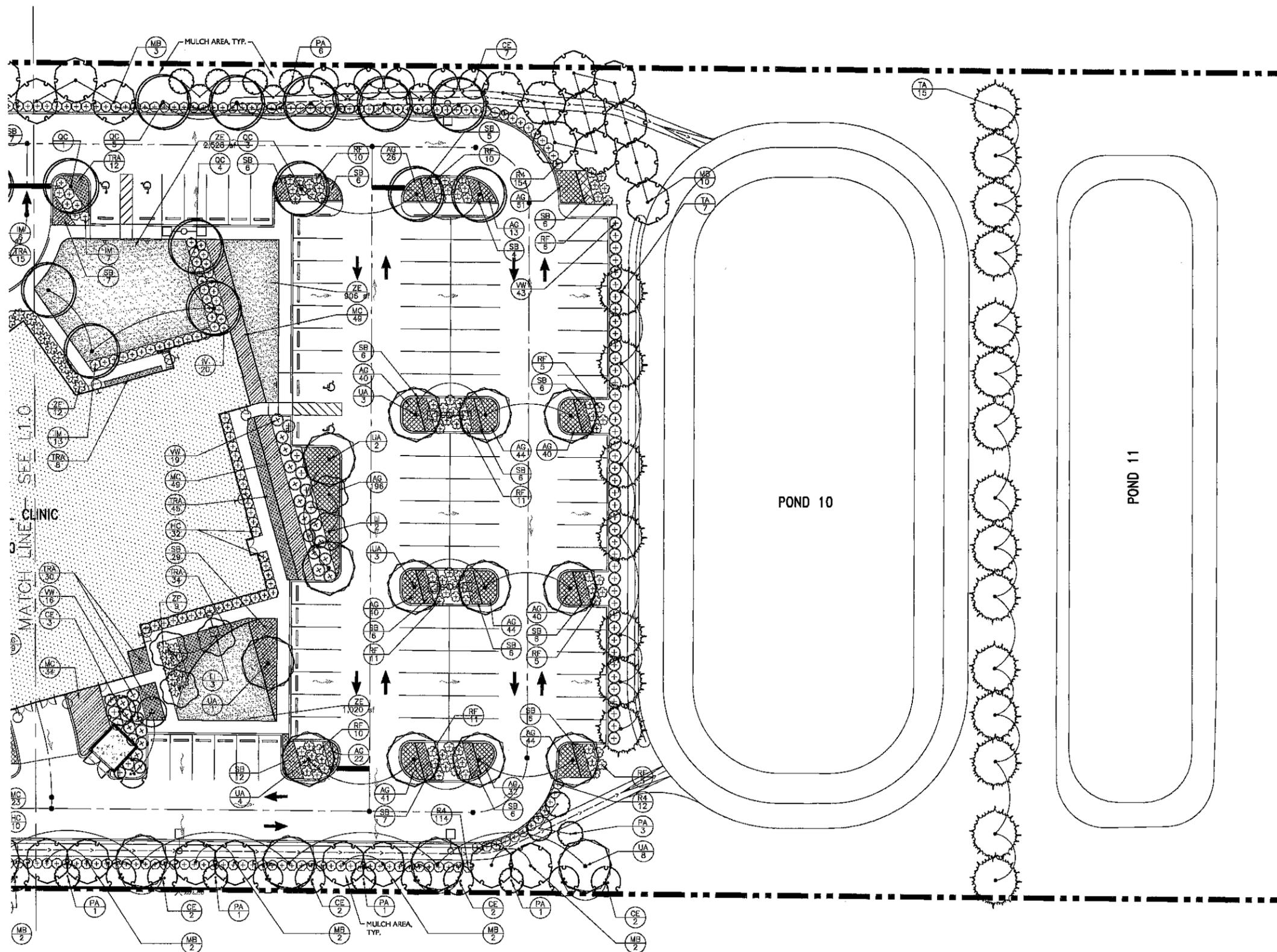
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LADY LAKE, LAKE COUNTY, FLORIDA



NO.	DATE	DESCRIPTION	BY	CHK	APV
A	3/21/16	LADY LAKE SUBMITTAL	CV	GH	CG

PROJECT NUMBER
20150902
DRAWING NUMBER
C5.1
DRAWING NAME
SITE LAYOUT PLAN

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 C:\Users\jg\Documents\20150902_L1-0_LAN.dwg L1-1 - Landscape Plan Mar 21, 2016 created



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1	3/21/16	LADY LAKE SUBMITTAL	CR	JM	JH

PROJECT NUMBER
20150902
 DRAWING NUMBER
L1.1
 DRAWING NAME
LANDSCAPE PLAN

Know what's below.
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0 10 20 40 60
 GRAPHIC SCALE

NOTES

- THE INSTALLATION OF PLANT MATERIAL SHALL COMPLY WITH ALL APPLICABLE CITY OF LADY LAKE LANDSCAPE AND TREE PROTECTION ORDINANCES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS ASSOCIATED WITH THIS WORK.
- SEE PLANT LIST AND NOTES FOR ALL PLANT SPECIFICATIONS.
- CANOPY TREES SHALL BE LOCATED SO THAT THE TRUNK IS LOCATED A MIN. OF 10'-0" FROM A BUILDING FACE OR ANY MAJOR ARCH. BUILDING FEATURE.
- TREES LOCATED NEAR ANY STREETS SHALL COMPLY WITH ALL CLEAR ZONE REQUIREMENTS, REFER THE CIVIL ENGR'S DWGS. FOR ALL SIGHT LINE INFORMATION.
- ALL TREE PROTECTION AND PRESERVATION ACTIVITIES SHALL COMPLY WITH SECTION 10.5 OF THE CITY OF LADY LAKE CODE OF ORDINANCES. NO TREES ARE TO BE REMOVED AS PART OF THIS DEVELOPMENT.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- PLANT QUANTITIES ARE A GUIDE ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES AND PROVIDE AN EVEN SHRUB COVERAGE AS DESCRIBED IN SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR SHALL REPLACE ANY EXISTING PLANT MATERIAL DESIGNATED TO BE PRESERVED THAT IS DAMAGED DURING THE CONSTRUCTION PROCESS.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED THE STANDARDS OF FLORIDA NO 1 AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS 1998," STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, TALLAHASSEE, AND ANY AMENDMENTS THERETO.
- THE LANDSCAPE ARCHITECT OR OWNER MAY REJECT ANY PLANT MATERIAL BROUGHT TO THE SITE WHICH HE DEEMS TO BE OF INFERIOR QUALITY OR APPEARANCE.
- ALL PLANT BEDS SHALL BE TOP DRESSED WITH A MINIMUM OF 3" DEPTH PINE BARK MINI-NUGGET MULCH, MAINTAIN A 4" CLEAR SPACE BETWEEN MULCH AND TRUNKS OR PLANT STEMS. MULCH TO BE APPLIED NO DEEPER THAN ONE INCH OVER THE TOP OF TREE ROOTBALLS.
- ALL TREES SHALL HAVE ALL SYNTHETIC BURLAP REMOVED FROM THE ENTIRE ROOT BALL. JUTE BURLAP SHALL BE REMOVED FROM THE TOP ONE-THIRD OF THE ROOT BALL. THE TOP THREE ROWS OF SQUARES ON ALL CAGES AROUND THE ROOT BALLS SHALL BE CLIPPED OFF AND REMOVED.
- THE CONTRACTOR SHALL READ AND ADHERE TO ALL WRITTEN SPECIFICATIONS.
- THE CONTRACTOR SHALL VISUALLY INSPECT THE SOILS CONDITION OF THE SITE. HE SHALL DIG A MINIMUM OF 12 TEST HOLES 3 FOOT DEEP RANDOMLY AROUND THE SITE. HE SHALL PERFORM PERCOLATION TESTS IN THESE HOLES FOR A PERIOD OF ONE HOUR EACH. THE HOLES SHALL BE FILLED WITH WATER AND IF THE HOLES HOLD MORE THAN 6" OF WATER AFTER ONE HOUR, THE LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF THE PROBLEM. THE CONTRACTOR SHALL RECOMMEND SUBSTITUTIONS OF PLANT MATERIAL AND PLANTING INSTALLATION TO ACCOMMODATE POOR DRAINING SOILS.
- THE CONTRACTOR SHALL PROVIDE A SOIL TEST IN FOUR LOCATIONS AND PROVIDE RECOMMENDATIONS FOR AMENDMENTS BASED ON THE RESULTS. IMPROPER SOIL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL RECTIFY ALL INCURRED DAMAGES AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL REVIEW THE SOILS REPORT ON FILE WITH THE OWNER.
- THE INSTALLATION OF PLANT MATERIAL SHALL BE VIEWED AS ACCEPTANCE BY THE CONTRACTOR OF EXISTING GRADES AS GIVEN TO HIM. THE CONTRACTOR SHALL PROVIDE TO THE LANDSCAPE ARCHITECT A WRITTEN LETTER OF ACCEPTABILITY OF GRADES. FAILURE TO DO SO WILL BE VIEWED AS AN ACCEPTANCE OF EXISTING GRADES BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BERM ALL PARKING LOT ISLANDS 12" ABOVE TOP OF CURB ELEVATION WITHOUT EXCEEDING A 4:1 SLOPE (TYPICAL).
- WHERE LIGHT POLES AND TREES BOTH OCCUR IN A PARKING LOT ISLANDS, THE TREE SHALL BE SPACED A MINIMUM 10'-0" DISTANCE FROM THE POLE.
- THE CONTRACTOR WILL BE REQUIRED TO SAND AREAS OF SOD THAT ARE NOT SMOOTHLY APPLIED TO ELIMINATE SMALL IRREGULARITIES IN GRADES. LARGE IRREGULARITIES IN GRADE WILL REQUIRE REGRADING & RESODDING.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF THE SITE INCLUDING ALL MOWING, EDGING, TRIMMING, PRUNING & SPRAYING OF PESTICIDES & FUNGICIDES UNTIL THE TIME OF FINAL ACCEPTANCE BY THE OWNER.
- ALL PLANT MATERIAL SHALL BE GUARANTEED ONE YEAR AFTER ACCEPTANCE BY OWNER.
- ALL TREES IN SOD TO BE IN A (4) FOOT MINIMUM MULCHED RING AROUND THE NEWLY PLANTED TREES.
- ALL TREES PLANTED IN SOD TO HAVE (10) INCH PLASTIC PROTECTOR AROUND TRUNK BASE TO PROTECT FROM MOWING DAMAGE.
- TREES SHALL BE PLANTED SO THAT THE TRUNK FLARE IS EXPOSED AND TOPMOST ROOT IN THE ROOTBALL ORIGINATING FROM THE TRUNK IS AT SOIL SURFACE OR WITHIN THE TOP INCH OF SOIL ON THE ROOTBALL.
- THE CITY SHALL REQUIRE THE CALIPER SIZE OF THE TREE AS SPECIFIED ON THE PLANT SCHEDULE.
- REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS SHALL BE REMOVED AND 36" OF CLEAN FLORIDA FILL OF pH 5.5-6.5 SHALL BE INSTALLED PRIOR TO ANY INSTALLATION OF PLANTS.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE		
	GE	33	CERCOIS CANADENSIS FULL PLANTS	EASTERN REDBUD MULTI-TRUNK	2-1/2" CAL.		
	LI	22	LAGERSTROEMIA INDICA 'NATCHEZ' STANDARD, MIN. 4' C.T.; CENTRAL LEADER	NATCHEZ GRAPE MYRTLE	2-1/2" CAL.		
	MB	60	MAGNOLIA GRANDIFLORA 'D.O. BLANCHARD' TM FULL PLANTS WITH CENTRAL LEADER	SOUTHERN MAGNOLIA	4" CAL.		
	PD	12	PHOENIX DACTYLIFERA 'MEDJOO'	MEDJOO DATE PALM	FIELD GROWN, 14' C.T. MIN EA, MATCHED	18' G.W., MATCHED, SPECIMEN	
	FA	31	PRUNUS ANGUSTIFOLIA FULL PLANTS	CHICKASAW PLUM	2-1/2" CAL.		
	QC	31	QUERCUS VIRGINIANA 'CATHEDRAL' FULL PLANTS WITH CENTRAL LEADER	CATHEDRAL LIVE OAK	4" CAL.		
	TA	14	TAXODIUM ASCENDENS	POND CYPRESS	4" CAL.		
	UA	26	ULMUS PARVIFOLIA 'ALLEE' FULL PLANTS WITH CENTRAL LEADER	ALLEE LACEBARK ELM	4" CAL.		
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT		
	HC	54	HAMELIA PATENS 'COMPACTA' FULL, MATCHING PLANTS	DWARF SCARLET BUSH	5 GAL		
	IV	69	ILEX VOMITORIA	YAUPOH HOLLY	5 GAL		
	IM	75	ILICCIUM FLORIDANUM 'MISS SCARLETT'	MISS SCARLETT FLORIDA ANISE	5 GAL		
	RF	84	RHODODENDRON INDICUM 'FORMOSA'	FORMOSA AZALEA	5 GAL		
	R4	314	ROSA X 'CORAL DRIFT'	CORAL DRIFT ROSE	5 GAL		
	SR	88	SERENOA REPENS "SILVER FORM"	SILVER FORM SAW PALMETTO	7 GAL		
	VW	78	VIBURNUM OBOVATUM 'WITHLACOOCHIE'	WALTER'S VIBURNUM	5 GAL		
	ZF	63	ZAMIA FURFURACEA	CARDBOARD PALM	5 GAL		
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING
	MC	479	MUHLENBERGIA CAPILLARIS	GULF COAST MUHLY PINK	1 GAL	FULL IN POT	36" o.c.
	SB	251	SPARTINA BAKERI	SAND CORD GRASS	1 GAL	FULL IN POT	36" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING
	AG	1,131	ARACHIS GLABRATA 'ECOTURF'	PERENNIAL PEANUT	4" POT		18" o.c.
	TRA	589	TRACHELOSPERMUM ASIATICUM 'TEXAS LONGLEAF'	ASIATIC JASMINE 'TEXAS LONGLEAF'	1 GAL	5-6 RUNNERS, MIN.	30" o.c.
SOD/SEED	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT		
	ZE	24,851 SF	ZOYSIA JAPONICA 'EMERALD'	EMERALD ZOYSIA	FLAT		

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LADY LAKE, LAKE COUNTY, FLORIDA



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PROJECT NUMBER
20150902

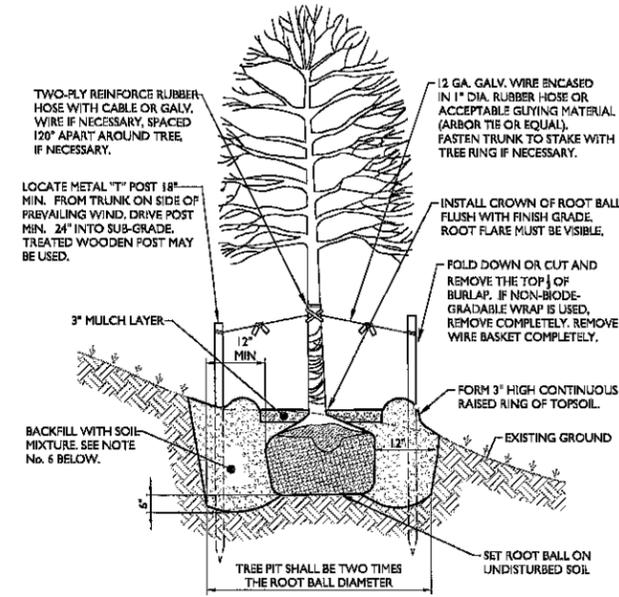
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L2.0

DRAWING NAME
**PLANT SCHEDULE
AND NOTES**

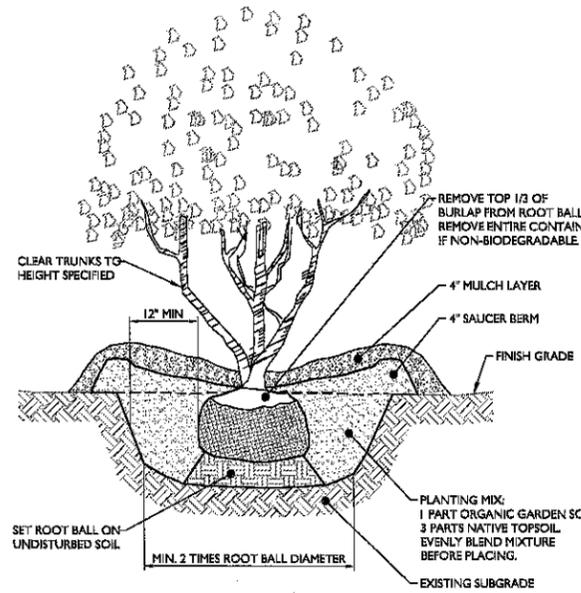
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NOTES:

1. TREE STAKING IS NOT PREFERRED BUT TO BE USED AS A LAST RESORT ON WINDY SITES. INSTALL TWO OF THE THREE STAKES AND GUY WIRES ON THE UPHILL SIDE OF THE TREE.
2. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKES.
3. WATER THOROUGHLY AFTER INSTALLATION.
4. REMOVE GUY WIRES AND TIES AFTER 6 MONTHS OR AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
5. TREE SHALL STAND PLUMB.
6. SOIL MIX: 1 PART ORGANIC MATERIAL, 1 PART SAND AND 2 PARTS TOPSOIL.



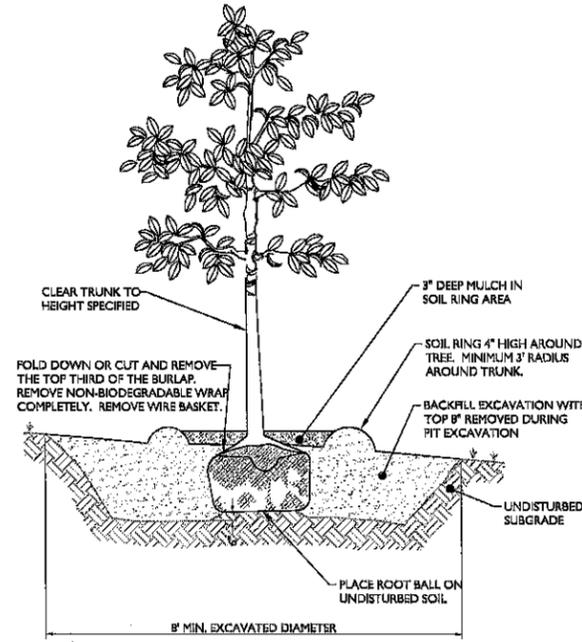
TREE PLANTING FOR SLOPED CONDITIONS
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MULTI-TRUNK PLANTING
NO SCALE

PLANTING NOTES:

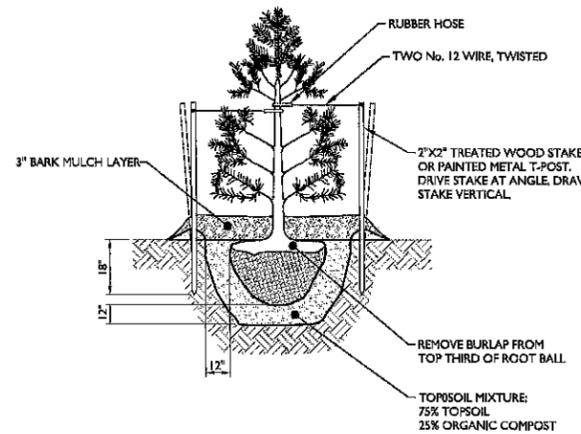
1. ALL TREES ARE TO BE NURSERY GROWN, BURLAP AND BALL (BAB), MINIMUM TREE SIZE SHALL BE PER THE PLANTING SCHEDULE, MEASURED 6\"/>



CANOPY TREE PLANTING
NO SCALE

NOTES:

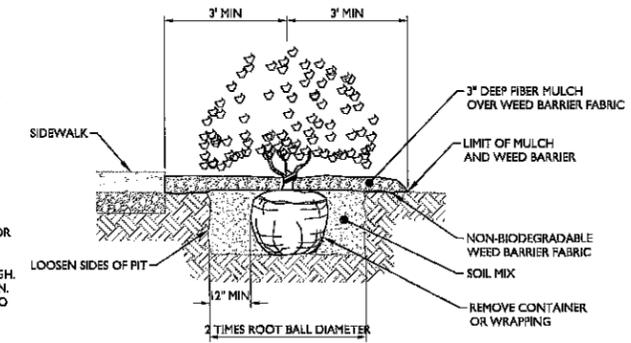
1. SCARIFY THE EDGES OF THE EXCAVATED PIT AND TAKE ALL NECESSARY MEASURES TO ASSURE ADEQUATE DRAINAGE.
2. TO ENSURE SUCCESSFUL ESTABLISHMENT OF ALL TREES PLANTED OUTSIDE THE LIMITS OF IRRIGATION EVERY SUCH TREE SHALL BE FITTED WITH A SLOW-RELEASE WATERING SYSTEM SUCH AS 'TRIGGER BAGS' OR AN APPROVED EQUAL.
3. AS PART OF THE MAINTENANCE PLAN IT IS RECOMMENDED THAT ALL TREES OUTSIDE THE LIMITS OF IRRIGATION BE WATERED A MAXIMUM OF TWO TIMES PER WEEK DURING DRY SEASONS AND ONE TIME PER WEEK DURING WET SEASONS FOR A MINIMUM OF TWO YEARS FROM THE DATE OF INSTALLATION.
4. IT IS THE OWNER'S RESPONSIBILITY TO COORDINATE AND SCHEDULE TREE MAINTENANCE.



CONIFER PLANTING/STAKING
NO SCALE

NOTES:

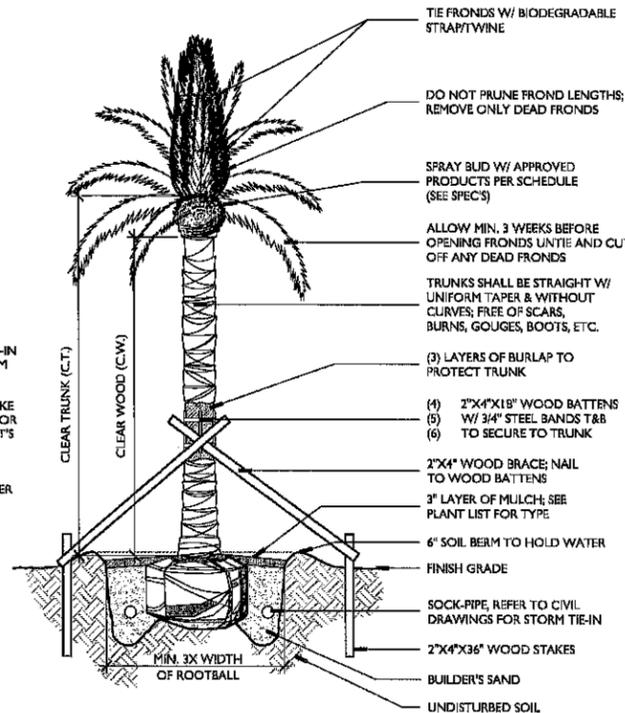
1. ANY BROKEN OR CRUMBLING ROOT BALL WILL BE REJECTED.
2. PRUNE ALL DAMAGED OR DEAD WOOD IMMEDIATELY PRIOR TO PLANTING.
3. INSTALL SHRUB FLUSH WITH ADJACENT GRADE.
4. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER PLANTING.
5. SCARIFY ROOT BALL IF ROOT-BOUND IN CONTAINER.
6. HOLD MULCH 1\"/>



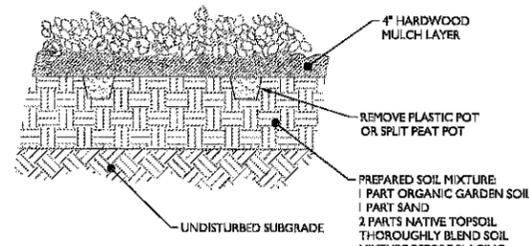
SHRUB PLACEMENT
NO SCALE

NOTES:

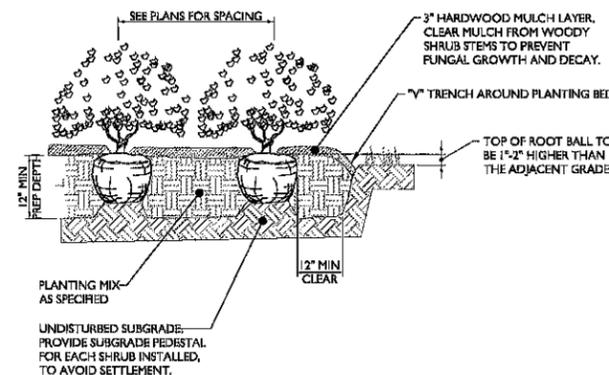
1. CONTRACTOR SHALL PROVIDE SOCK-PIPE TIE-IN FOR ALL SPECIMEN PALM LOCATIONS
2. CONTRACTOR TO STAKE LOCATION OF PALMS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION
3. STAKE PALMS (8\"/>



SPECIMEN PALM PLANTING
NO SCALE



GROUNDCOVER PLANTING
NO SCALE



SHRUB PLANTING
NO SCALE

NOTES:

1. TAMP PLANTING MIX AS PIT IS FILLED AROUND EACH PLANT BALL.
2. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER PLANTING.
3. SCARIFY THE ROOT BALL IF ROOT-BOUND IN ITS CONTAINER. WHERE SHRUBS APPEAR IN BED AREAS, 3\"/>

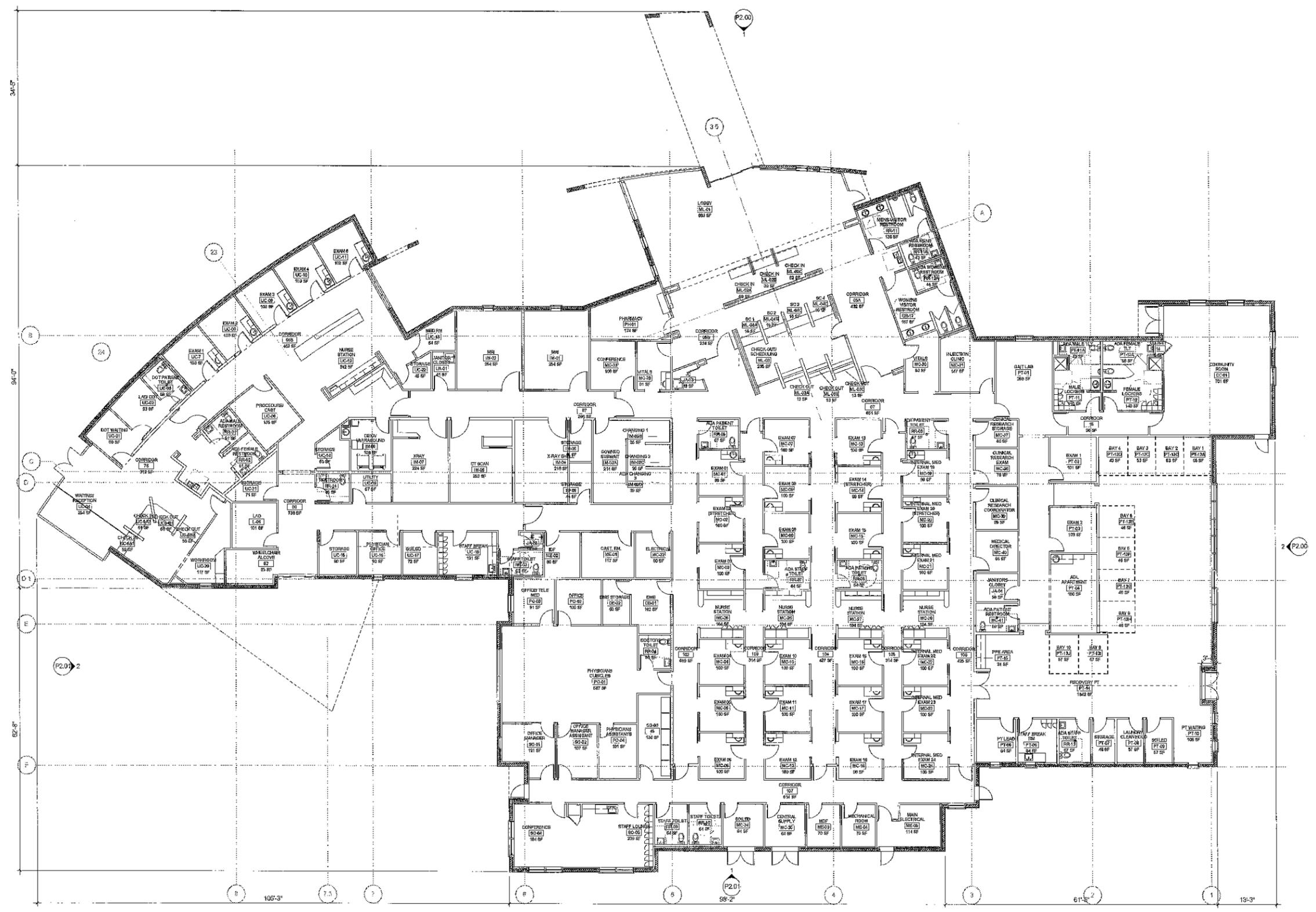
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NO.	DATE	DESCRIPTION	BY	CHK	APP

SPRG OF FLORIDA | LADY LAKE - CLINIC BUILDING

P1.0 - FLOOR PLAN

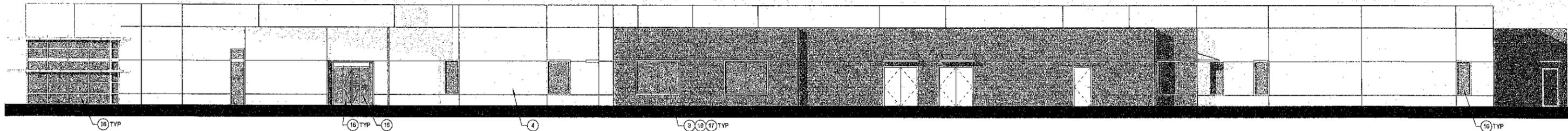


SCALE: 3/32" = 1'-0"

03/21/16

SPRG OF FLORIDA | LADY LAKE - CLINIC BUILDING

P2.01 - EXTERIOR ELEVATIONS

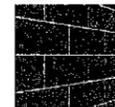


SOUTH ELEVATION 1
 1/8" = 1'-0"



(P1) METAL WALL PANEL

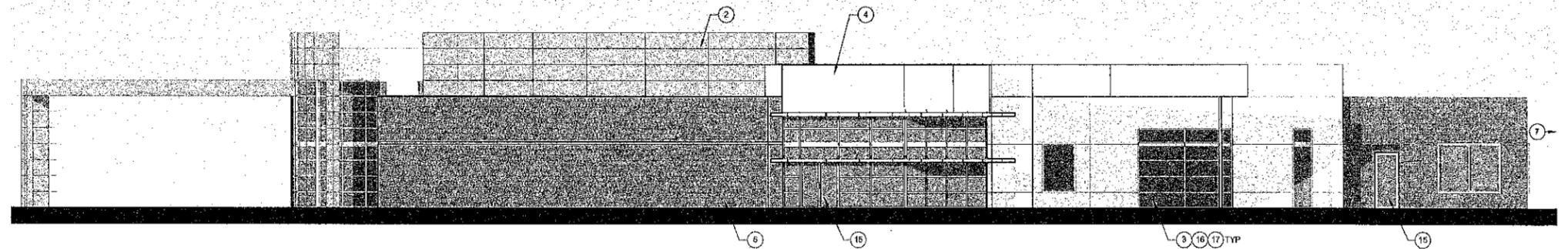
(P2) PORTLAND CEMENT W/ SHERWIN-WILLIAMS PURE WHITE PAINT (SW 7008), SEC. 20-3C.9.E



(P3) SPLITFACE CONCRETE BLOCK



(P4) GLAZING



WEST ELEVATION 2
 1/8" = 1'-0"

MATERIAL SWATCHES 3
 1/8" = 1'-0"

KEY NOTES - SDP ELEVATIONS

- (P1) METAL PANEL WALL COMPLIES WITH MODERN ARCHITECTURAL STYLE. (SEC. 20-3C.2.A)
- (P2) PORTLAND CEMENT W/ SHERWIN-WILLIAMS PURE WHITE PAINT (SW 7008), SEC. 20-3C.9.E
- (P3) SPLITFACE CONCRETE BLOCK COMPLIES WITH MODERN ARCHITECTURAL STYLE. (SEC. 20-3C.3.D)
- (P4) GLAZING COMPLIES WITH MODERN ARCHITECTURAL STYLE. (SEC. 20-3C.3.D)
- THE EXISTING ADJACENT BUILDING DOES NOT COMPLY WITH THE LAND DEVELOPMENT CODE. THE EXISTING BUILDING'S FLOOR ELEVATION IS APPROXIMATELY 2'-0" HIGHER THAN THE PROPOSED PROJECT, MAKING CONTINUITY BETWEEN BUILDING ELEMENTS UNFEASIBLE (SEC. 20-3C.4.A)
- SUBSTANTIAL ARCHITECTURAL ELEMENT THAT PROJECTS / RECESSES FROM THE BUILDING. (SEC. 20-3C.4.B)
- FACADES INCLUDE (3) OF THE FOLLOWING ELEMENTS WITHIN 20 HORIZONTAL FEET AND 10 VERTICAL FEET: CHANGE IN PLANE, ARCADES, CHANGE IN COMPATIBLE MATERIALS, CHANGES IN TEXTURE, DOORS, WINDOWS / STOREFRONTS. (SEC. 20-3C.4.C)
- ARCHITECTURALLY PROMINANT PUBLIC ENTRANCE. (SEC. 20-3C.4.D)
- AT LEAST 60% OF THE PRIMARY FACADE CONTAINS THE FOLLOWING ELEMENTS: PUBLIC ENTRANCES, ROOF TREATMENTS, WINDOWS, AWNINGS, & LANDSCAPING. SEE NOTE #12 FOR LANDSCAPED AREAS. (SEC. 20-3C.4.E)
- EXTENT OF LANDSCAPING ALONG PRIMARY FACADE. (SEC. 20-3C.4.E)
- ARCHITECTURAL EMBELLISHMENTS, AWNINGS, LANDSCAPING, AND SAIGNAGE ARE USED TO MARK SECONDARY ENTRANCES AND THE DESIGN OF THE REAR OF THE BUILDING IS CONSISTENT WITH THE PRIMARY FACADE. (SEC. 20-3C.4.F)
- THE PRIMARY FACADE HAS A CLEARLY DEFINED, HIGHLY VISIBLE CUSTOMER ENTRANCE FEATURING A PORTICO, VARIATIONS IN BUILDING HEIGHT, RECESSES, & WINDOWS. (SEC. 20-3C.5.C)
- REAR ENTRANCES THAT HAVE RIGHT-OF-WAY VISIBILITY ARE EMBELLISHED SIMILAR TO THE PRIMARY FACADE. (SEC. 20-3C.5.D)
- ALL GLAZING IS TRANSPARENT. ALL GLAZING HAS A VISIBLE LIGHT REFLECTANCE OF RATING OF (16) PERCENT OR LESS & A VISIBLE LIGHT TRANSMITTANCE OF RATING OF (35) OR GREATER. (SEC. 20-3C.6.A)
- WINDOWS ARE RECESSED A MINIMUM OF 1'-1/2" & HAVE VISIBLY PROMINANT SILLS / STUCCO RELIEFS. (SEC. 20-3C.6.B)
- ROOFTOP CONSISTS OF STEPPED PARAPETS OF DIFFERENT COLORED MATERIALS. (SEC. 20-3C.7.A)

GENERAL NOTES - SDP ELEVATIONS

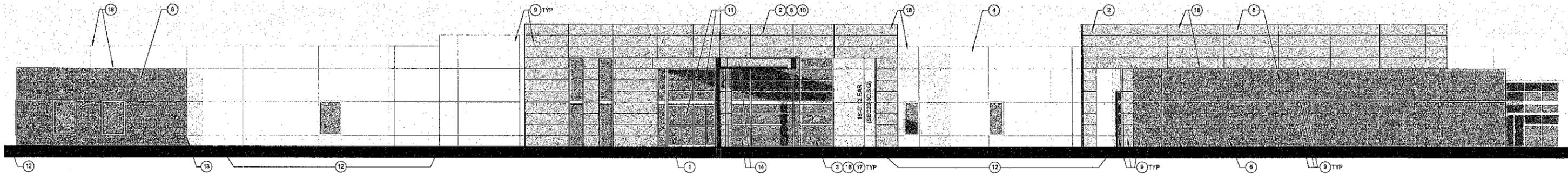
- A THERE IS NO MIRRORRED GLASS OR CURTAIN WALL ON THIS PROPOSED PROJECT. (SEC.20-3C.6.D)
- B BANDS OF COLOR ARE NOT USED AS A ROOF TREATMENT. (SEC.20-3C.7.B)
- C CORNICES ARE NOT USED. (SEC.20-3C.7.C)
- D MANSARD ROOFS ARE NOT INCORPORATED INTO THE DESIGN. (SEC.20-3C.7.D)
- E AWNINGS ARE NOT INCORPORATED INTO THE DESIGN. (SEC.20-3C.8.E - SEC.20-3C.8.J)
- F MANSARD ROOFS ARE NOT INCORPORATED INTO THE DESIGN. (SEC.20-3C.7.D)
- G FLAT ROOFS ARE HIDDEN FROM PUBLIC VIEW BY A PARAPET OF NOT LESS THAN THREE FEET IN HEIGHT. THE PRIMARY FACADE HAS (6) ROOF PLANES (SEC. 20-3C.7.E)
- H (SEC. 20-3C.7.F)
- I SELECTED MATERIALS HAVE QUALITY AND STABILITY IN TERMS OF DURABILITY, FINISH AND APPEARANCE. (SEC.20-3C.8.A)
- J EXTERIOR BUILDING MATERIALS INCLUDE RECOMMENDED
- K THE GARBAGE ENCLOSURE WILL BE FINISHED WITH PORTLAND CEMENT PLASTER TO MATCH THE BUILDING. (SEC.20-3C.11.A & SEC.20-3C.11.D)
- L MECHANICAL EQUIPMENT WILL BE INTEGRATED INTO THE MASS OF THE BUILDING BY SCREENING IT BEHIND PARAPETS. (SEC.20-3C.11.B)
- M LOADING AREAS, WASTE DISPOSAL, AND OTHER SERVICE SUPPORT EQUIPMENT WILL BE LOCATED BEHIND THE BUILDING LINE AND FULLY SCREENED FROM VIEW OF ADJACENT PROPERTIES. (SEC.20-3C.11.C)

SCALE: As indicated

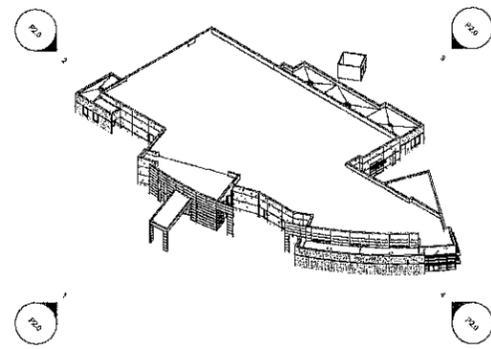
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SPRG OF FLORIDA | LADY LAKE - CLINIC BUILDING

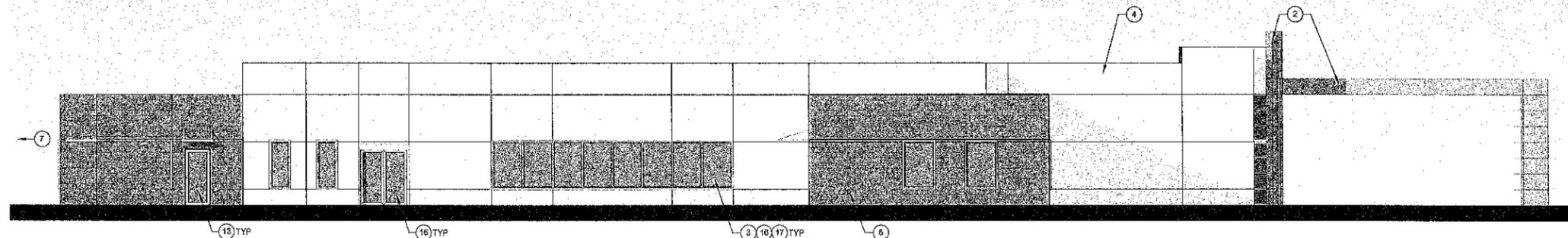
P2.00 - EXTERIOR ELEVATIONS



NORTH ELEVATION 1
 1/8" = 1'-0"



AXO FROM NORTH WEST 6



EAST ELEVATION 2
 1/8" = 1'-0"

KEY NOTES - SDP ELEVATIONS

- (P1) PRIMARY FRONT FACADE AND ENTRANCE IS ORIENTED TOWARDS THE PUBLIC RIGHT-OF-WAY. (SEC. 20-3C.2.A)
- (P1) METAL PANEL WALL COMPLIES WITH MODERN ARCHITECTURAL STYLE. (SEC. 20-3C.3.D), THIS MATERIAL DOES NOT COMPLY WITH LISTED PROHIBITED MATERIALS (SEC. 20-3C.8.B)
- (P4) STOREFRONT COMPLIES WITH MODERN ARCHITECTURAL STYLE. (SEC. 20-3C.3.D)
- (P2) WHITE PORTLAND CEMENT PLASTER COMPLIES WITH MODERN ARCHITECTURAL STYLE. (SEC. 20-3C.3.D & 20-3C.8.C)
- (P3) SPLIT FACE BLOCK COMPLIES WITH MODERN ARCHITECTURAL STYLE. (SEC. 20-3C.3.D)
- THE EXISTING ADJACENT BUILDING DOES NOT COMPLY WITH THE LAND DEVELOPMENT CODE. THE EXISTING BUILDING'S FLOOR ELEVATION IS APPROXIMATELY 20'-0" HIGHER THAN THE PROPOSED PROJECT, MAKING CONTINUITY BETWEEN BUILDING ELEMENTS UNFEASIBLE (SEC. 20-3C.4.A)
- SUBSTANTIAL ARCHITECTURAL ELEMENT THAT PROJECTS / RECESSES FROM THE BUILDING. (SEC. 20-3C.4.D)
- FACADES INCLUDE (3) OF THE FOLLOWING ELEMENTS WITHIN 20 HORIZONTAL FEET AND 10 VERTICAL FEET: CHANGE IN PLANE, ARCADES, CHANGE IN COMPATIBLE MATERIALS, CHANGES IN TEXTURE, DOORS, WINDOWS / STOREFRONTS. (SEC. 20-3C.4.C)
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- THE PRIMARY FACADE HAS A CLEARLY DEFINED, HIGHLY VISIBLE CUSTOMER ENTRANCE FEATURING A PORTICO, VARIATIONS IN BUILDING HEIGHT, RECESSES, & WINDOWS. (SEC. 20-3C.3.C)
- REAR ENTRANCES THAT HAVE RIGHT-OF-WAY VISIBILITY ARE EMBELLISHED SIMILAR TO THE PRIMARY FACADE. (SEC. 20-3C.6.D)
- ALL GLAZING IS TRANSPARENT. ALL GLAZING HAS A VISIBLE LIGHT REFLECTANCE OF RATING OF (15) PERCENT OR LESS & A VISIBLE LIGHT TRANSMITTANCE OF RATING OF (85) OR GREATER. (SEC. 20-3C.8.A)
- WINDOWS ARE RECESSED A MINIMUM OF 1'-1/2" & HAVE VISIBLY PROMINANT SILLS / STUCCO RELIEFS. (SEC. 20-3C.8.B)
- ROOFTOP CONSISTS OF STEPPED PARAPETS OF DIFFERENT COLORED MATERIALS. (SEC. 20-3C.7.A)

GENERAL NOTES - SDP ELEVATIONS

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- C CORNICES ARE NOT USED. (SEC.20-3C.7.C)
- D MANSARD ROOFS ARE NOT INCORPORATED INTO THE DESIGN. (SEC.20-3C.7.D.)
- E AWNINGS ARE NOT INCORPORATED INTO THE DESIGN. (SEC.20-3C.6.E - SEC.20-3C.6.J)
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- M LOADING AREAS, WASTE DISPOSAL, AND OTHER SERVICE SUPPORT EQUIPMENT WILL BE LOCATED BEHIND THE BUILDING LINE AND FULLY SCREENED FROM VIEW OF ADJACENT PROPERTIES. ((SEC.20-3C.11.C)

SCALE: 1/8" = 1'-0"

03/21/16