

SPECIAL MEETING OF THE LADY LAKE TOWN COMMISSION

DATE: Tuesday, November 18, 2014
TIME: 3:00 p.m.
PLACE: 409 Fennell Blvd.
Town Hall Commission Chambers

ALL INTERESTED PERSONS ARE CORDIALLY INVITED TO ATTEND THIS PUBLIC MEETING

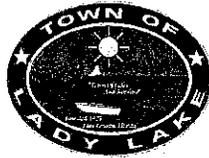
AGENDA

1. Call to Order: Mayor Ruth Kussard
2. Roll Call
3. Public Comment
4. Conceptual Presentation of the Pain & Spine Centers of Florida - MJSP 08/14-002 – A Development Consisting of a Two-Building Multi-Tenant Complex Totaling 9,976 Sq. Ft. – Located at 800 Highway 466 (Thad Carroll)
5. Conceptual Presentation of the Texas Roadhouse – Proposal of a New High-Turnover (Sit-Down) Restaurant of 281 Seats with Approximately 7,163Sq. Ft. of Building Space – Located at 745 N. Hwy 27/441 (Thad Carroll)
6. Resolution No. 2014-102 – Conceptual Presentation of Alternative Historic Tree Removals for the Plaza Professional Center – Tabled from the May 5, 2014 Meeting (Thad Carroll)
7. Adjourn

This public hearing is being conducted in a handicapped accessible location. Any handicapped person requiring an interpreter for the hearing impaired or the visually impaired should contact the Clerk's Office at least five (5) calendar days prior to the meeting and an interpreter will be provided. To access a Telecommunication Device for Deaf Persons (TDD), please call (352) 751-1565. Any handicapped person requiring special accommodation at this meeting should contact the Clerk's Office at least five (5) calendar days prior to the meeting.

Advice to the Public: If a person decides to appeal a decision made with respect to any matter considered at the above meeting or hearing, he may need a verbatim record of the proceedings including the testimony and evidence which record is not proved by the Town of Lady Lake. (F.S. 286-0105)

Please be advised that one or more members of any other Town Board or Committee may be in attendance of this meeting.



SPECIAL TOWN COMMISSION - CONCEPTUAL WORKSHOP AGENDA ITEM

REQUESTED MEETING DATE: November 18, 2014

SUBJECT: Conceptual Presentation for the Pain & Spine Centers of Florida MJSP 08/14-002- A Development consisting of a Two-Building Multi-Tenant Complex totaling 9,976 square feet (AK 3863922).

DEPARTMENT: Growth Management

STAFF RECOMMENDED MOTION:

Staff recommends advancing the site plan with the proposed waivers, in that the site is existing and the changes have been designed to the best practicable extent to meet site specifications as required per Town of Lady Lake Land Development Regulations and the provisions of the Village Downtown Center Memorandum of Agreement.

Applicant Keith E. Riddle, P.E., in representation of Bridge House Trading Company, property owner, has submitted a Site Plan application proposing a 9,976 square feet multi-tenant complex for Medical Offices along Hwy 466, approximately 800 feet west of the intersection of Rolling Acres Road and Hwy 466, in front of the Rolling Acres Apartments. The landscaping and irrigation plans have been drawn by Elizabeth C. Houck, Professional Landscape Architect with Elizabeth C. Houck Landscape Architecture, LLC, dated July 14, 2014.

The subject property is approximately 1.27 +/- acres and is zoned Heavy Commercial (HC) which permits the development and construction of the proposed complex. The Future Land Use is Commercial General-Retail Sales and Services (RET) which is in accordance with the directives of the Comprehensive Plan and adopted Land Development Regulations.

Commercial Design Standard

In terms of the Commercial Design Standard for this Development, the applicant is proposing a medical office complex consisting of two (2) separate buildings of 4,775 sq. ft. each, exhibiting primarily elements of the Colonial Architectural Design Style.

Elements exhibited within the building are as follows:

- ✓ Column Pediments along the door entrances
- ✓ Multi-pane Windows and Doors

- ✓ Stone Beltline Enhancement Exterior Wall Finish
- ✓ Column Bases
- ✓ A-Frame Colonial-Style Tile Roof

In accordance with **Chapter 20, Section 20-3C.3).B)**, the compatibility of the proposed building elevation has been reviewed for consistency with the recommended styles and adjacent architecture.

The applicant will be requesting a waiver to place parking in front of the building main face. As per LDRs- **Chapter 20-Section 20-3C.10.N)**-Building Layout/Orientation (on a commercial corridor) requires that parking areas should be located behind the building face.

Tree Requirements:

In accordance with Chapter 10-Landscape and Tree Protection, the site is required to provide 203 tree caliper inches based on its 1.27-acre area (160"x 1.27). Please see the landscaping tree proposal breakdown:

Existing Trees on site	0	tree caliper inches
Proposed Trees for the site	<u>219</u>	tree caliper inches
Total tree caliper inches	219	tree caliper inches

Landscaping buffers the West and South boundaries require minimum Class "A" Landscaping Buffer (Buffer Class Requirement-Table 10-1) in accordance with **LDRs-Chapter 10, Section 10-3, b).B).1)**. Class "A": 10' width minimum with 2 Canopy Trees, 3 Understory Trees and a continuous hedge.

At the time, the applicant cannot accommodate all the required plant material within certain buffers, so the following three (3) waiver(s) to the Landscaping Regulations have been proposed by the applicant:

I) West Landscaping Buffer

Proposal: To waive four (4) understory trees.

Justification: There are thirteen (13) 6" Oak Trees adjacent to the buffer line on the Rolling Acres Apartment Development.

II) South Landscaping Buffer

Proposal: To waive four (4) canopy trees.

Justification: There are five (5) 8" Oak Trees adjacent to the buffer line on the Rolling Acres Apartment Development.

III) North Landscaping Buffer- Class "B" - Chapter 10, Section 10-3, b).B).2)

Minimum landscaping requirement (Buffer Class Requirement-Table 10-2):

TOWN ATTORNEY

Approved as to Form and Legality

Date

TOWN MANAGER

(K)

Approved Agenda Item for: 11-18-14

Date

11-12-14

COMMISSION ACTION:

Approved as Recommended Disapproved

Tabled Indefinitely

Continued to Date Certain Approved with Modification

Pain & Spine Centers of Florida Landscaping Buffer Waiver Request

July 14, 2014

The applicant is pursuing the following waivers:

- I) Waiver to LDRs-**Chapter 10, Section 10-3, b).** for West Landscaping Buffer-
- Minimum landscaping requirement (Buffer Class Requirement-Contiguous Parcel Table 10-1):
 - Class "A": 10' Min w/2 Canopy Tree, 3 Understory Trees and a continuous hedge per 100 LF
 - Existing adjacent plantings include (13) 6" Live Oaks, muhly grass hedge with decorative fence and columns. (see picture below, shows west side same as east side)
 - Proposal: To waive 5 canopy trees and continuous hedge requirements. Plant 10 understory trees & 1 canopy tree (5 palms and 4 crape myrtles, 1 redbud & 1 magnolia) to reduce

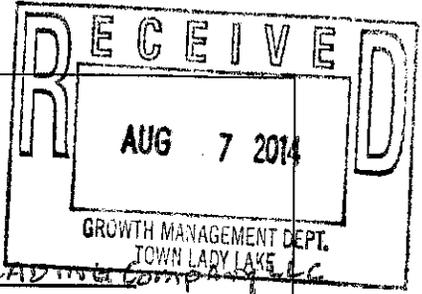


crowding with existing live oaks.

- II) Waiver to LDRs-**Chapter 10, Section 10-3, b).** for South Landscaping Buffer-
- Minimum landscaping requirement (Buffer Class Requirement- Contiguous Parcel Table 10-1):
 - Class "A": 10' Min w/2 Canopy Trees, 3 Understory Trees and a continuous hedge per 100 LF
 - Existing adjacent plantings include (5) 8" Live Oaks and 6 ft. pvc privacy fence. (see photo below)
 - Proposal: To waive 5 canopy trees and continuous hedge requirements. Provided 7 understory trees (redbuds)



- III) Waiver to LDRs- **Chapter 10, Section 10-3, b).** for North Landscaping Buffer-
- Minimum landscaping requirement (Buffer Class Requirement-Right of Way Table 10-2):
 - Class "B": 20' Min w/4 Canopy Trees, 3 Understory Trees, and a continuous hedge or approved fence or wall per 100 LF.
Road R/W buffer is impeded by a drainage easement, overhead power lines and an asphalt trail.
 - Proposal: To waive class B buffer for roadway R/W and utilize the DRA and parking lot required buffer for said buffer requirement of 3 canopy trees per 250 LF top of pond. Four canopy trees required, provided 6 canopy trees, 5 understory trees and a continuous hedge to complement the DRA buffer, parking buffer and provide buffer to the road R/W.



TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW

- 1. Applicant's Name: Sridhar Pinnamaneni BRIDGEHOUSE TRADING COMPANY LLC
Telephone/ Email: 352-343-7246
Applicant is: Owner **XX** Developer ___ Lessee ___ Agent ___ Optionee ___
- 2. Owner's Name: BRIDGEHOUSE TRADING COMPANY, LLC
Sridhar Pinnamaneni MANAGING PARTNER
Address: 8136 Centralia Court, Suite 103, Leesburg, FL 34788
Telephone/ Email: 352-343-7246
- 3. Engineer's Name: Keith E. Riddle, P.E., Riddle - Newman Engineering, Inc.
Address: 115 North Canal Street, Leesburg, FL 34748
Telephone/ Email: (352) 787-7482 / keith@riddlenewman.com
Reg. Number: 38800
- 4. Architect's Name: DAVID P. KING JR. / DAVID P. KING JR. & ASSOCIATES P.A.
Address: 7500 SW 61ST AVE SUITE 400, Ocala, FL 34476
Telephone/ Email: (352) 873-3737 / david@dparchitect.net
Registration Number: AR 12,999
- 5. Landscape Architect: ELIZABETH COLE HOWE, ASLA
Address: 501 NE 55TH STREET, Ocala, FL 34479
Telephone/ Email: (352) 875-8291 / ch823@cox.net
Registration Number: LA 017341
- 6. Project Name: Pain & Spine Centers of Florida
Physical Location/Address: CR 466, Lady Lake
- 11. The property is located in the vicinity of the following streets:
South side of CR 466, approximately 1500 feet West of Rolling Acres Road.

TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW
Page 2

8. Area of property 55,224 Square Feet 1.27 Acres

9. The exact legal description of the property as shown on the Tax Receipt or the Warranty Deed, or attach a separate sheet to the application form:

See Site Plan.

10. The property is currently zoned: "HC" Heavy Commercial

11. Briefly describe the proposed project: Medical/Professional Office

If for storage, what type of material will be stored? NA

12. Have any development reviews and/or approvals been granted to this property?
Yes ___ No XX If yes, list the type, date and result:

13. Has any Variance been granted concerning this property? Yes ___ No XX
If yes, list the Case Number and briefly describe the nature of the Variance.

14. The plans shall be drawn on 24" x 36" sheets as a minimum, at the largest scale feasible. The plans or any portion thereof involving engineering, shall be certified by a professional engineer or landscape architect as required by SJRWMD. The following information must be included on the site plan:

General Information

XX a. Name of project.

XX b. General statement of intended use of site.

XX c. Legal description of the property and size of parcel in acres or square feet.

XX d. Name and address of owner.

TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW

Page 3

- XX e. Name, address and phone number of owner's agent.
- XX f. Name, address, signature and registration of the professionals preparing the plans.
- XX g. Date, north arrow and scale shall be designated and where appropriate, the same scale shall be used on all sheets.
- XX h. Vicinity map showing relationship of proposed development to the surrounding streets and thoroughfares, shall be at a scale no smaller than one inch equals five thousand two hundred eighty feet (V = 5,280' or 1 "Mile).
- XX i. Linear dimensions of the site.
- XX j. Existing topography with a maximum of one (1) foot contour intervals for the proposed site.
- XX k. Finished grading elevations.
- XX l. Zoning of the site and of all adjacent parcels.
- XX m. All existing and proposed building restriction lines (i.e., highway setback lines, easements, covenants, rights-of-way and building setback lines).
- XX n. Percent of open space of site.
- XX o. Location of proposed signs.

Building and Structure

- X a. Existing and proposed structures.
- X b. Intended use.
- X c. Number of stories.
- X d. Height of building(s).
- NA e. Number of dwelling units and density.
- NA f. Projected number of employees, if applicable.
- NA g. If restaurant, show number of seats and occupancy load.

TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW
Page 4

- XX h. Square footage for proposed development, i.e., gross square footage, nonstorage area, square footage of each story, gross square footage of sales area, etc.
- NA i. Photograph or sketch of proposed sign with dimensions and material type-

Street, Sidewalks, Driveways, Parking Areas and Loading Spaces

- XX a. Engineering plans and specifications for streets, alleys, sidewalks and driveways to include soil borings, if necessary.
- XX b. All parking spaces delineated.
- XX c. Number of parking spaces.
- XX d. Number and location of handicapped spaces.
- XX e. Number of square feet of paved parking and driveway area.
- XX f. Surface materials and cross-section of proposed paved areas.
- NA g. Fire lanes per the Standard Fire Prevention Code adopted in the Building and Fire Codes chapter.
- XX h. Description/location of proposed driveway(s) and median cut(s).
- XX i. Internal traffic control circulation plan, including directional arrows and signs to direct traffic flow, as necessary.
- XX j. Location of traffic-control signs and signalization devices, if required.
- XX k. Number and location of required loading spaces.
- XX l. Number and location of required bicycle spaces.

Drainage and Stormwater

- XX a. Soil classifications, cross-sections and details of proposed retention/detention ponds, swales, berms, etc., as required by SJRWMD.
- XX b. Size, material and location of stormwater structures and pipes.

**TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW**

Page 5

- XX c. Indicate flood elevation for 100-year flood and any other information required in Environmental Regulations chapter.

Proposed Water, Sewer and Solid Waste Facilities

- X a. Size, material, specifications and location of water mains, valves, services and fire hydrants.
- X b. Size, material, specifications and location of sanitary sewer lines and laterals with submittal of a profile, if necessary.
- NA c. Size and location of septic tank and drainfield, if applicable.
- NA d. Grease separation system, if applicable: Size, location and materials.

- X e. Location(s) and access provisions for refuse service, including pad, screening, fencing and landscaping, if applicable.

Landscaping

- X a. Landscaping plan and provisions for maintenance including size, type and location of all landscaping, screens, walls, fences and buffers per the requirements in the Landscaping and Tree Protection chapter. If water efficient landscaping is used, the information required in that chapter should be included.
- X b. Irrigation system plan.

Environmental Protection

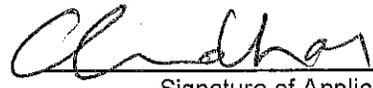
- NA a. Natural features such as waterbodies, wetlands, native vegetative communities, etc., as required in the Environmental Regulations chapter.
- NA b. Conservation easements per the requirements.
- XX c. Provisions for the adequate control of erosion and sediment, including the location and description of the methods to be utilized during and after all phases of clearing, grading and construction.

ADDITIONAL INFORMATION TO BE PROVIDED

- X a. Summary report of all concurrency data needed as noted in Chapter 4 of the Lady Lake Land Development Regulations.

TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW
Page 6

- X b. Drainage calculations as required in the Stormwater Management chapter.
- NA c. Fire flow calculations, if applicable.
- NA d. Lift station calculations, where required.
- NA e. Copy of HRS permit, where required.
- NA f. A construction cost estimate prepared by the engineer of record, which shall delineate any proposed improvements to be maintained by the Town.
- NA g. Environmental assessment per the requirements, if applicable.
- NA h. Any additional data, maps, plans or statements, as may be required, which is commensurate with the intent and purpose of the Code.


Signature of Applicant MANAGING PARTNER

PLEASE SUBMIT APPLICATION TO THE GROWTH DEVELOPMENT DEPARTMENT ACCOMPANIED BY EIGHT (8) COPIES OF THE SITE PLAN AND FOUR (4) 11 X 17 (SIGNED AND SEALED IF REQUIRED), APPROPRIATE REVIEW FEES, PROOF OF OWNERSHIP AND ALL APPLICABLE INFORMATION AND DOCUMENTATION AS REQUIRED BY LADY LAKE ORDINANCE 94-08, LAND DEVELOPMENT REGULATIONS, ADOPTED AUGUST 15, 1994.

Office Use

Date Application Received 08-07-14 Received by W. Thon

Fees Paid:

Site Development Plan - Minor
Site Development Plan - Major up to 100,000 sq ft \$4,000.⁰⁰
Site Development Plan - Major 100,001 sq ft and up
Commercial Design Standard
Review Fee \$975.⁰⁰

OWNER'S AFFIDAVIT

STATE OF FLORIDA
COUNTY OF LAKE

Before me, the undersigned authority, personally appeared Sridhar Pinnamaneni
who being by me first duly sworn on oath, deposes and says:

MANAGING
PARTNER
BRIDGEHOUSE TRADING CO.,

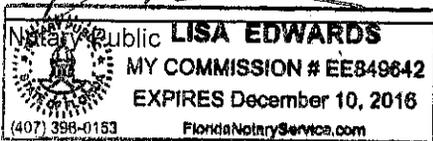
- (1) That he/she is the fee-simple owner of the property legally described on page one of this application.
- (2) That he/she desires approval for:

Site Plan Approval

- (3) That he/she has appointed Keith E. Riddle, P.E. to act as agent in his/her behalf to accomplish the above. The Owner is required to complete the APPLICANT'S AFFIDAVIT of this application if no agent is appointed to act in his/her stead.

[Signature]
Affiant (Owner's Signature)

The foregoing instrument was acknowledged before me this 4 day of August 2014 by Sridhar Pinnamaneni who is personally known to me or who has produced _____ as identification and who did (did not) take an oath.



NOTE

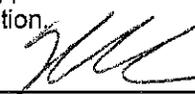
All applications shall be signed by the owner of the property, or some person duly authorized by the owner to sign. This authority authorizing a person other than the owner to sign must be attached.

APPLICANT'S AFFIDAVIT

STATE OF FLORIDA
COUNTY OF LAKE

Before me, the undersigned authority, personally appeared Keith E. Riddle,
who being by me first duly sworn on oath, deposes and says:

- (1) That he/she affirms and certifies that he/she understands and will comply with all ordinances, regulations, and provisions of the Town of Lady Lake, Florida, and that all statements and diagrams submitted herewith are true and accurate to the best of his/her knowledge and belief, and further, that this application and attachments shall become part of the Official Records of the Town of Lady Lake, Florida, and are not returnable.
- (2) That he desires approval for:
Site Plan Approval
- (3) That the submittal requirements for the application have been completed and attached hereto as part of this application.



Affiant (Applicant's Signature)

The foregoing instrument was acknowledged before me this 5 day of August,
2014, by Keith E. Riddle, who is personally known to me or who has produced
_____ as identification and who did (did not) take an oath.



Notary Public



Kimberly L. Roberts
COMMISSION # FF 137957
EXPIRES: JUL 01, 2018
BONDED THRU
1st FLORIDA NOTARY, LLC

PROPERTY RECORD CARD

General Information

Alternate Key:	3863922	Parcel:	19-18-24-000100004000
Owner Name:	BRIDGE HOUSE TRADING COMPANY LLC	Millage:	00LL (Lady Lake) : 17.6629
Owner Address:	PO BOX 1266 TAVARES, FL 32778-1266	Property Location:	LADY LAKE FL 32159
Legal Description:	FROM N 1/4 COR OF SEC RUN S 89-51-20 E 1328.88 FT TO NW COR OF NE 1/4 OF NE 1/4, S 0-17-0 W 40 FT TO S'LY R/W LINE OF SR 466, S 89-51-20 E ALONG SAID S'LY R/W LINE 327.51 FT FOR POB, RUN S 0-33-57 E 21.80 FT, S 45-08-40 W 56.44 FT, S 0-08-40 W 109.56 FT, S 12-56-41 E 91.09 FT, S 89-51-20 E TO A PT E LINE OF W 527 FT OF NE 1/4 OF NE 1/4, N 260 FT TO S'LY R/W LINE OF SR 466, W ALONG SAID S'LY R/W LINE TO POB--LESS FROM NE COR OF SEC RUN N 89-51-17 W ALONG SAID N LINE 1328.84 FT TO NW COR OF NE 1/4 OF NE 1/4, S 0-16-58 W 40 FT, S 89-51-17 E 327.51 FT FOR POB, CONT S 89-51-17 E 199.49 FT, S 0-16-58 W 21 FT, N 89-51-17 W 199.18 FT, N 0-33-54 W 21 FT TO POB FOR RD R/W-- ORB 4400 PG 1210		

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Just Value
1	VACANT COMMERCIAL (1000)	0	0		50466	SF	\$0.00	\$191,771.00

Miscellaneous Improvements

There is no improvement information to display.

Sales History

O.R. Book / Page	Sale Date	Instrument	Q/U	Vac./Imp.	Sale Price
4226 / 770	10/9/2012	WD	Q	V	\$225,000.00
4400 / 1210	10/25/2013	WD	Q	V	\$225,000.00

Value

Total Just Value:	\$191,771.00
Assessed Value: =	\$191,771.00
Total Exempt Value: -	\$0.00
Total Taxable Value: =	\$191,771.00
Millage Rate: <input checked="" type="checkbox"/> x	0.0176629
Base Ad-Valorem Tax: =	\$3,387.24
Non-Exempt School Levies: +	\$0.00
Estimated Ad-Valorem Tax: =	\$3,387.24

* The just values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes. The amounts shown may not include all exemptions. The estimated tax totals do not reflect Non-Ad Valorem assessments. (Fire Fees,

Solid Waste, etc.) Please consult the [Tax Collector](#) for actual taxation amounts.

Truth In Millage (TRIM) Notice

- [Notice of Proposed Property Taxes & Proposed or Adopted Non-Ad Valorem Assessments](#)

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APPLICATION FOR UTILITY QUOTE

Town of Lady Lake, 409 Fennell Boulevard, Lady Lake, Florida 32159 USA
Utility Customer Service (352) 751-1525 Public Works Administration (352) 751-1526

Project Name: PAW 5 PINE CENTERS OF FLORIDA Alias/FKA (if applicable):

Project Location Address: Alternate Key #: 386 3922

Project Point of Contact*: LOYDE W. SADLOWSKI Company: LOYDE W. SADLOWSKI, INC

Phone Number: (352) 861-0075 OFF (352) 572-3580 CELL E-Mail Address: loyde@sadlowski.com

Name of Individual Completing this Application: LOYDE W. SADLOWSKI Date: 10/7/14

*All correspondence and questions from Town Staff will be directed solely to this individual

Property Owners Name: BRIDGE HOUSE TRADING COMPANY, LLC

Address: PO BOX 1266 TAVARES City/State/Zip TAVARES, FL 32778

Fax #: (352) 343-7159 Phone Number: (352) 205-9105 E-Mail Address: SUNEGTAMD@gmail.com

Tenants Name (if applicable):

Legal Street Address: City/State/Zip

Fax #: Phone Number: E-Mail Address:

Type of Project: Residential Commercial X Irrigation Square Footage/Units:

Occupant Information: Owner Occupied Leased/Rented

Utility Account will be Established and Billed in the name of the Following:

Name: DR SRIDHAR PINNAMANNI Phone: (352) 343-8900

Address: PO BOX 1266 City/State/Zip TAVARES, FL 32778

Estimated Consumption* (ERUs): Water (Potable) 2 ERU's Sewer 2 ERU's Reuse 3 ERU's

*Calculations shall be based upon the Specifications of the Land Development Regulations, Chapter 14, Appendix A. If consumption amounts being proposed differ from calculations resulting from the figures as supplied by the ERU matrices, please attach a justification letter from a professional engineer as to why lesser quantities, or greater quantities, are being sought for the project.

Growth Management Personnel Verification of Completed Form: Name: Date:

Utility Technicians, Inc.

Water and Sewer Specialty Contractor
State License # HDB-C-00056865

Office (352) 669-5832
Fax (352) 669-6937

630 Goodbar Avenue
Umatilla, Florida 32784

Certified Fire Hydrant Flow Test for

Customer: **Pain & Spine**

Address: **CR 466**

City: **Lady Lake**

Dated Tested **10/6/2014**
Technician's Name **Todd Haught**

METHOD OF FLOW MEASUREMENT

HOSE MONSTER WITH PITOT GAUGE

2.5" nozzle

Hr = PRESSURE DROP TO DESIRED RESIDUAL PRESSURE (20 PSI)

Hf = PRESSURE DROP MEASURED DURING TEST

(STATIC PRESSURE MINUS RESIDUAL PRESSURE)

CALCULATED
FLOW RATE

TEST AT 20 PSI RESIDUAL

HYDRANT

1

2

3

4

5

Qr

1868

1883

*

*

*

COLOR

LIGHT BLUE

LIGHT BLUE

MEASURED
FLOW RATE

IN GPM

Qf

653

695

MEASURED
STATIC
PRESSURE

55

58

MEASURED
RESIDUAL
PRESSURE

50

52

STATIC
HYDRANT
NUMBER

1

2

Hr

35

6.82

Hf

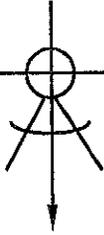
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2.38

ADDRESS

West

East



Loyde W. Sadlowski, Inc.

Real Estate Design & Development

7500 SW 61st Avenue, Suite 200 Ocala, Florida 34476-8310

Phone: (352) 861-0075 Fax: (352) 861-7395

loyde@sadlowskiinc.com

9/24/14

Wendy Then, CFM
Town Planner
Town of Lady Lake
409 Fennell Blvd.

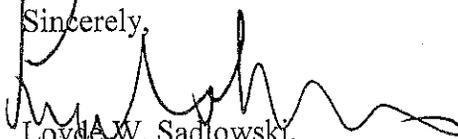
Re: Pain & Spine Centers of Florida Site Plan review

Dear Wendy:

This letter is in response to Butch Goodman's comments in regards to the above described project.

1. Four Water and Sewer E.R.Us Two for Each Building. – ACKNOWLEDGED.
2. Reuse Calcs Need to be given(Avg Daliy Flow Divided by 274 gallons)= Reuse E.R.Us – calculated at 805 gal/ day /274 gallons = 2.94 E.R.U.s
3. Reuse needs to be a 2”in tab and 2”in corporation valve then reduce to a 1”in Meter needs to be set at the property line near the Tap North end of project Reuse does not require a R.P.Z back flow as shown ? We will eliminate the backflow preventor.
4. The water line is on the West end of the project the 8” water line will need to be Field verified . Acknowledged.
5. The Sewer you will need to verify the elevation of the sewer line so that the buildings elevations are high enough as not to require private lift-station like Howell Dental building # 2? – The invert at the manhole is 104.7. Allowing for 1/8 in. fall per foot and a horizontal run of 288 lf will give an invert at far end of easternmost building of 107.7. Finish floor elevation is 116.50. Therefore there is no need for lift station.

Sincerely,



Loyde W. Sadlowski,
President

Wendy Then

From: Butch Goodman [bgoodman@LadyLakePW.org]
Sent: Tuesday, October 21, 2014 6:00 PM
To: Wendy Then
Cc: Robert Barnes
Subject: FW: Pain and Spine Centers of Fla

4 Water and 4 Sewer E.R.Us Two for Each Building.

Reuse Calcs Need to be given(Avg Daliy Flow Divided by 274 gallons)= Reuse E.R.Us =3 E.R.Us per the plan 702 gallons per day divided by 292 =2.40= 3 Rounded up per the L.D.Rs.

Reuse needs to be a 2" in tab and 2" in corporation valve then reduce to a 1" in Meter needs to be set at the property line near the Tap North end of project Reuse does not require a R.P.Z back flow as shown ?

The Water line is on the West end of the project the 8" water line will need to be Field verified .

Thank you

Thomas " Butch" Goodman

Town of Lady Lake

Utilities Supervisor

136 Skyline Dr.

Lady Lake, Fl 32159

Phone: 352-751-1513

Fax: 352-751-1594

bgoodman@ladylakepw.org

ATTENTION: The new operating hours for the Public Works Department as of October 7th, 2013 will be Monday-Thursday, 7:00AM - 6:00PM. Offices will be closed on Friday's.

Please note: Under Florida law (Fla.Stat. 668.6076 - effect. 07-01-06), e-mail addresses are public records. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing.

From: Butch Goodman
Sent: Wednesday, August 27, 2014 1:26 PM
To: 'Wendy Then'
Cc: 'Keith Riddle'; C.T. Eagle; Robert Barnes
Subject: FW: Pain and Spine Centers of Fla

Thomas " Butch" Goodman

Town of Lady Lake

Utilities Supervisor

136 Skyline Dr.

Lady Lake, Fl 32159

Phone: 352-751-1513

Fax: 352-751-1594

bgoodman@ladylakepw.org

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From: Butch Goodman
Sent: Wednesday, August 27, 2014 11:34 AM
To: 'Wendy Then'
Cc: 'Keith Riddle'; C.T. Eagle; Robert Barnes
Subject: Pain and Spine Centers of Fla

Four Water and Sewer E.R.Us Two for Each Building.

Reuse Calcs Need to be give(Avg Daliy Flow Divided by 274 gallons)= Reuse E.R.Us

Reuse needs to be a 2" in tab and 2" in corporation valve then reduce to a 1" in Meter needs to be set at the property line near the Tap North end of project Reuse does not require a R.P.Z back flow as shown ?

The water line is on the Westend of the project the 8" water line will need to be Field verified .

The Sewer you will need to verify the elevation of the sewer line so that the buildings elevations are high enough as not to require private lift-station like Howell Dental building # 2?

Thank you

Thomas " Butch" Goodman
Town of Lady Lake
Utilities Supervisor
136 Skyline Dr.
Lady Lake, Fl 32159
Phone: 352-751-1513
Fax: 352-751-1594
bgoodman@ladylakepw.org

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Loyde W. Sadlowski, Inc.

Real Estate Design & Development

7500 SW 61st Avenue, Suite 200 Ocala, Florida 34476-8310

Phone: (352) 861-0075 Fax: (352) 861-7395

loyde@sadlowskiinc.com

9/24/14

Wendy Then, CFM
Town Planner
Town of Lady Lake
409 Fennell Blvd.

Re: Pain & Spine Centers of Florida Site Plan review

Dear Wendy:

This letter is in response to Butch Goodman's comments in regards to the above described project.

1. Four Water and Sewer E.R.Us Two for Each Building. – **ACKNOWLEDGED.**
2. Reuse Calcs Need to be given(Avg Daliy Flow Divided by 274 gallons)= Reuse E.R.Us – **calculated at 805 gal/ day /274 gallons = 2.94 E.R.U.s**
3. Reuse needs to be a 2" in tab and 2" in corporation valve then reduce to a 1" in Meter needs to be set at the property line near the Tap North end of project Reuse does not require a R.P.Z back flow as shown ? **We will eliminate the backflow preventor.**
4. The water line is on the West end of the project the 8" water line will need to be Field verified . **Acknowledged.**
5. The Sewer you will need to verify the elevation of the sewer line so that the buildings elevations are high enough as not to require private lift-station like Howell Dental building # 2? – **The invert at the manhole is 104.7. Allowing for 1/8 in. fall per foot and a horizontal run of 288 lf will give an invert at far end of easternmost building of 107.7. Finish floor elevation is 116.50. Therefore there is no need for lift station.**

Sincerely,

Loyde W. Sadlowski,
President

Wendy Then

From: Dallas Foss [dfoss@usanova.com]
Sent: Thursday, October 23, 2014 9:00 AM
To: Wendy Then
Subject: Pain and Spine Center

Wendy,

I have no comments on the revisions to the site plans on Pain and Spine Center.

Dallas Foss
Building Official
City of Lady Lake
Nova Engineering and Environmental

Sent from Samsung RUGBY® Smart.

Wendy Then

From: Kerry or Lisa Barnett [k-l5122@peoplepc.com]
Sent: Wednesday, October 29, 2014 6:07 PM
To: Loyde Sadlowski
Cc: Wendy Then
Subject: Re: Plan Review #: 14-067A - Pain & Spine Centers of Florida

Loyde,

I have reviewed your request of removing the requirement of the additional hydrant located on the actual site. I attempted to contact the SFMO to find out if they could tell me if the section you were referring to was actually adopted as part of the Florida Fire Prevention Code that will be released this January. Unfortunately they could not. It is my assumption that since it is not part of the 2012 edition of NFPA 1, it is doubtful it would be in the new adopted version of the FFPC. The referenced material from you was taken from the 2015 edition of NFPA 1 which Florida would not look into until the 2018 FFPC. However, the language provided shows a direction in which the national standard is headed and would make sense since that Florida would eventually adopt it. Based on the construction type, the size of the building, a hydrant being just off the corner of the property, and a lower degree of hazard occupancy, I will grant your request.

What I will request is an updated site plan showing the location of the other hydrant. Though you may not be able to scale it at the current location, please draw the hydrant in that end of the street and place a clouded note of the actual distance away from the hydrant already shown on the plan. Then make a note of the distances that both hydrants are to the building. This will support your letter (email) request. Once the Town receives this revision, I will review and stamp approved so that the project may move forward as this was the last remaining item to be dealt with.

Should you have anything further, please contact me.

Thanks

Kerry

-----Original Message-----

From: Loyde Sadlowski
Sent: Oct 28, 2014 4:02 PM
To: Kerry or Lisa Barnett
Subject: Plan Review #: 14-067A - Pain & Spine Centers of Florida

I have reviewed with you your comments in the last review of Pain & Spine Site plan review. As discussed earlier, I want to request consideration for NOT requiring an additional fire hydrant at the above described project.

As we discussed the current situation has a fire hydrant located 22 ft +/- from our NE corner of the project on CR 466. Additionally there is another fire hydrant approximately 440 to 450 feet to the west on CR 466.

Your comments dated 10/16/14 par. #3. Requires another fire hydrant due to the lack of specificity of the locations of the fire hydrants.

Since we are in fact within 280 ft. from the easternmost hydrant to the farthest building (SW building) and are 390 feet from the westernmost fire hydrant to the farthest (SE building), I would ask that we need not put in an additional fire hydrant.

The issue of the distance from the hydrant to the front of the buildings is not covered in the current Florida Fire Prevention code which incorporates the 2009 NFPA 1.

However, the 2015 NFPA 1 chapter 18 paragraph 18.5.3 the distance issue is addressed as follows:

"18.5.3 Buildings other than Detached One- and Two-Family Dwellings. Fire hydrants shall be provided for buildings other than detached one- and two-family dwellings in accordance with both of the following:

- (1) The maximum distance to a fire hydrant from the closest point on the building shall not exceed 400 feet.
- (2) The maximum distance between fire hydrants shall not exceed 500 ft. "

Since our buildings are within the 400 ft. distance from the hydrants and the hydrants are less than 500 feet apart we request that we will not need to add an additional fire hydrant.

Thanks for your consideration.

Loyde W. Sadlowski, President
loyde@sadlowskiinc.com
Loyde W. Sadlowski, Inc.
7500 SW 61st Avenue, Suite 200
Ocala, FL 34476
Phone: (352) 861-0075
Fax: (352) 861-7395
Cell: (352) 572-5580



FLORIDA DEPARTMENT OF
ENVIRONMENTAL PROTECTION

BOB MARTINEZ CENTER
2600 BLAIRSTONE ROAD
TALLAHASSEE, FLORIDA 32399-2400

RICK SCOTT
GOVERNOR

CARLOS LOPEZ-CANTERA
LT. GOVERNOR

HERSCHEL T. VINYARD JR.
SECRETARY

SELF CERTIFICATION FOR
A STORMWATER MANAGEMENT SYSTEM IN UPLANDS SERVING
LESS THAN 10 ACRES OF TOTAL PROJECT AREA AND
LESS THAN 2 ACRES OF IMPERVIOUS SURFACES

Owner(s)/Permittee(s): Sridhar Pinnamaneni
File No: 0327749001EG
File Name: PAIN & SPINE CENTERS OF FLORID
Site Address: CR 466
Lady Lake FL - 32159

County: Lake
Latitude: 28° 54' 56.1094"
Longitude: -81° 56' 23.0173"
Total Project Area: 1.27
Total Impervious Surface Area: 0.69
Approximate Date of Commencement
of Construction: 09/01/2014

Registered Florida Professional: Keith Riddle
License No.: 38800
Company: Riddle - Newman Engineering, Inc.

Date: July 10, 2014

Keith Riddle certified through the Department's Enterprise Self-Service Application portal that the project described above was designed by the above-named Florida registered professional to meet the following requirements:

1. The total project area involves less than 10 acres and less than 2 acres of impervious surface;
2. No activities will impact wetlands or other surface waters;
3. No activities are conducted in, on, or over wetlands or other surface waters;
4. Drainage facilities will not include pipes having diameters greater than 24 inches, or the hydraulic equivalent, and will not use pumps in any manner;
5. The project is not part of a larger common plan, development, or sale; and
6. The project does not:
 1. Cause adverse water quantity or flooding impacts to receiving water and adjacent lands;
 2. Cause adverse impacts to existing surface water storage and conveyance capabilities;
 3. Cause a violation of state water quality standards; or

4. Cause an adverse impact to the maintenance of surface or ground water levels or surface water flows established pursuant to s. 373.042 or a work of the district established pursuant to s. 373.086, F.S.

This certification was submitted within approximately 30 days after initiation of construction of the above project. As such, construction, alteration, and maintenance of the stormwater management system serving this project is authorized in accordance with s. 403.814(12), F.S., and that there is a rebuttable presumption that the discharge from such system will comply with state water quality standards when the stormwater management system for this project is designed, operated, and maintained in accordance with applicable rules adopted pursuant to part IV of chapter 373, F.S.

Applicants are advised to contact the applicable water management district for requirements that must be followed to properly abandon any existing water wells that need to be removed because they are located where construction is occurring.

In accordance with s. 373.416(2), F.S., if ownership of the property or the stormwater management system is sold or transferred to another party, continued operation of the system is authorized only if notice is provided to the Department within 30 days of the sale or transfer.

This notice can be submitted to:
FDEP Central District
3319 Maguire Blvd Orlando 32803

This certification was submitted along with the following electronic documents:

If you have submitted this certification as a Florida Registered Professional, you may wish to sign and seal this certification, and return a copy to the Department, in accordance with your professional practice act requirements under Florida Statutes.

I, Keith Riddle, License No. 38800, do hereby certify that the above information is true and accurate, based upon my knowledge, information and belief. In the space below, affix signature, date, seal, company name, address and certificate of authorization (if applicable).

This sealed certification may be submitted to the Department, either electronically (as an attachment in Adobe PDF or other secure, digital format) at Exp.selfcerts@dep.state.fl.us, or as a hardcopy, at the postal address below:

Florida Department of Environmental Protection
Office of Submerged Lands and Environmental Resources
2600 Blair Stone Road MS 2500
Tallahassee FL 32399-2400

Wendy Then

From: Lynch, Seth [SLynch@lakecountyfl.gov]
Sent: Tuesday, November 04, 2014 9:24 AM
To: Wendy Then; Keith Riddle; Loyde Sadlowski
Subject: RE: New Major Site Plan-Pain & Spine Centers of Florida

The county will require that the permits be applied for and approved before any dirt on site is moved. Based on the last site to the west the reclaim water tap was never permitted through the county. The driveway may even have been missed in permitting. We will need all permits for the county road to be applied for and approved before the site starts construction. If the town requires permits before site plan approval then they control the development order. Please send the permit applications in as soon as possible.

Thanks,

Seth Lynch
Lake County Public Works Department
Engineering Division
437 Ardice Av, Eustis, FL 32726
(352) 483-9052
slynch@lakecountyfl.gov

Please note: Florida has a very broad public records law. Most written communication to or from government officials regarding government/public business is public record available to the public and media upon request. Your e-mail communications may be subject to public disclosure.

From: Wendy Then [mailto:wthen@ladylake.org]
Sent: Monday, November 03, 2014 5:23 PM
To: Keith Riddle; Loyde Sadlowski
Cc: Lynch, Seth
Subject: RE: New Major Site Plan-Pain & Spine Centers of Florida

That is my understanding.

**Seth, could you elaborate?

As far as the Site Plan process, since these permits will be required, Town Staff will be looking for copies of the application at the very least. If Town Staff doesn't have in-hand the issued permits by Lake County, then we will write specific language within the Development order indicating that the developer is responsible to provide those permit before commencement of work.

Thanks.

Wendy Then, CFM
Town Planner
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159
352-751-1582
352-751-1514- Fax
Wthen@ladylake.org

Note: Beginning October 7, 2013, our office hours will be Monday - Thursday 7:30 am - 6:00 pm

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 Please think before you print.

From: Keith Riddle [<mailto:keith@riddlenewman.com>]
Sent: Monday, November 03, 2014 2:55 PM
To: Wendy Then; Loyde Sadlowski
Subject: RE: New Major Site Plan-Pain & Spine Centers of Florida

Wendy, just to confirm.

Seth is indicating that we need those permits prior to Commencement of Construction within the ROW, right? He doesn't care how much work we do on-site as long as we don't do anything in the ROW prior to having those 2 permits, right?

Accordingly I assume you won't be holding us up waiting for those 2 permits, right?

Thank you.

Keith E. Riddle, P.E.
keith@riddlenewman.com

From: Wendy Then [<mailto:wthen@ladylake.org>]
Sent: Monday, November 03, 2014 12:19 PM
To: Keith Riddle; Loyde Sadlowski
Subject: FW: New Major Site Plan-Pain & Spine Centers of Florida

FYI- Comments by Lake County Public Works.

*Wendy Then, CFM
Town Planner
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159
352-751-1582
352-751-1514- Fax
Wthen@ladylake.org*

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 Please think before you print.

From: Lynch, Seth [<mailto:SLynch@lakecountyfl.gov>]
Sent: Monday, November 03, 2014 12:11 PM
To: Wendy Then

Cc: Pluta, Ross
Subject: RE: New Major Site Plan-Pain & Spine Centers of Florida

Wendy,

I have the following information comments for this site.

1. A commercial driveway permit will be required for the connection/modification to CR 466. This permit will need to be submitted by the owner before commencement of construction in conjunction with the site plan approval from the town.
2. A right-of-way utilization permit is required for the open cut of the trail, utility connection and repair of previous open cut to the west. This permit will need to be submitted by the contractor and signed by the owner before commencement of construction.

Thanks,

Seth Lynch
Lake County Public Works Department
Engineering Division
437 Ardice Av, Eustis, FL 32726
(352) 483-9052
slynch@lakecountyfl.gov

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From: Wendy Then [<mailto:wthen@ladylake.org>]
Sent: Monday, November 03, 2014 10:30 AM
To: Lynch, Seth
Subject: FW: New Major Site Plan-Pain & Spine Centers of Florida

FYI

Wendy Then, CFM
Town Planner
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159
352-751-1582
352-751-1514- Fax
Wthen@ladylake.org

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 Please think before you print.

From: Wendy Then
Sent: Monday, October 27, 2014 2:14 PM



Commercial/Subdivision Driveway Connection Permit Application

Please complete a separate application for each road

Date: 11/5/14

Building Permit No. _____

Name Permit Will Be Returned To:

LOYDE W. SADLOWSKI, INC

Street Address

7500 SW 61ST AVE SUITE 200

City, State, Zip

OCALA, FL 34976

Telephone Number

(352) 861-0075

Signature Of Applicant

Applicant's e-mail address

loyde@sadlowskiinc.com

3863922

Alt. Key#

Section

Township

Range

800 CR 466

Road Name

PAW & SPINE CENTERS OF FLORIDA

Subdivision and/or Site Plan Name

Number

Paid

Date

Rec'd By

LOYDE W. SADLOWSKI

Applicant, Please Print Name

This permit may not be applied for prior to the site plan and/or subdivision construction plans having been approved by Lake County. Issuance of a driveway permit does not vest any rights to the property for zoning, land use changes, or site improvements. The owner must follow all County procedures for permitting of the commercial, retail or other land uses.

All roadway construction must be completed per the approved site plan and/or subdivision construction plans. The design has been reviewed and upon completion should meet the regulations and requirements as noted in the approved site plan and/or subdivision construction plans. Lake County reserves the right to modify the permitted driveway(s) at any time including median, turn lane, or other modifications within County right of way. It is understood by the applicant that they shall not receive compensation nor compensatory damages relating to such modification by Lake County.

County Road # _____	To be completed by County Staff		
Driveway Permit Fees: * ADT Average Daily Traffic			
<input type="checkbox"/> Less than 100 ADT = \$320.00	<input type="checkbox"/> 100 ADT to 1,000 ADT = \$390.00	<input type="checkbox"/> More than 1,000 ADT = \$700.00	
Fee Codes:	(PUBC1)	(PUBC2)	(PUBC3)
Permit # _____	Maint Area: _____	Signed: _____	Date: _____
		<i>Engineering</i>	
Signed _____	Date Approved: _____		
<i>Construction Inspection Manager</i>			
Expiration Date: _____ Permit Shall Expire One (1) Year From the Approval Date – See Item 8 in Permit Application Requirements for exceptions.			
Date of Final Inspection: _____		Inspector: _____	
Comments: _____			
<p>For inspection, call the Lake County Public Works Department at 352-483-9000 Submit Permit to: Lake County Public Works, 437 Ardice Avenue, Eustis, FL 32726</p>			



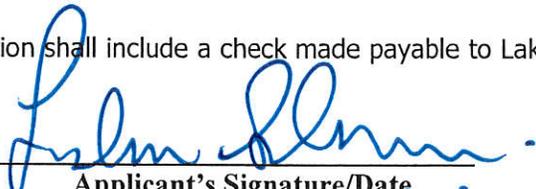
Commercial/Subdivision Driveway Connection Permit Application Requirements

Please complete a separate application for each road or driveway.

<u>PAIN & SPINE CENTERS OF FLORIDA</u>	<u>PENDING</u>
Subdivision Name and/or Site Plan Name	Permit Number
<u>LOYDE W. SADOWSKI, INC</u>	<u>(352) 861-0075</u>
Engineer or Contractor	Telephone Number

1. Submittal shall include one (1) application and one (1) set of construction plans drawn to scale, as well as a location map.
2. Prior to construction applicant shall provide written notice to all residences adjacent to the project limits. Within a minimum of fourteen (14) calendar days prior to construction, applicant shall provide to Lake County Public Works a copy of the notification with a list of parties notified. This notice shall include the anticipated construction schedule, maintenance of traffic plan, and any impacts (permanent or temporary) to the subject residence and adjacent area.
3. If turn lane construction is required applicant shall install Portable Changeable (Variable) Message Signs (PCM's, FDOT Index 6740) on the County Road(s) impacted by construction. The PCM's shall be installed one (1) week prior to construction in order to inform residents and roadway users of the impending construction. The PCM's shall display lane closure information including anticipated lanes to be closed, extent of lane closure (i.e. 'Next 3 miles'), daily hours of closure, and temporary restrictions.
4. If turn lane construction is required, submittal shall also include:
 - a. Turn lane(s) layout with dimensions;
 - b. Striping plan with typical pavement section;
 - c. Traffic maintenance plan;
 - d. Record survey of right-of-way signed and sealed by a Florida licensed surveyor.
5. All turn lane improvements shall be overlaid from taper to taper, full width.
6. If a culvert is required all right-of-way disturbed by this work shall be restored to its original condition and in accordance with applicable Lake County Codes. All disturbed areas must be sodded, matching existing grass type. Applicant shall be responsible for sod until it is established.
7. In areas where sidewalks are present or planned, the driveway must include a minimum 4 foot wide path traversing the driveway apron (at a maximum 1.5% cross slope) in compliance with ADA requirements.
8. Driveway connection permit shall expire when the development approval that the permitted driveway serves expires; or one (1) year from date approved when the connection is permitted without an associated development.
9. Driveway connection shall be a minimum of three hundred (300) feet from any intersection.
10. Commercial Driveway Connection Permit Application shall include a check made payable to Lake County Board of County Commissioners (BOCC).

I have read and understand the above requirements


 Applicant's Signature/Date
 LOYDE W. SADOWSKI



Right-of-Way Utilization Permit

Please complete a separate application for each road

Date: 11/5/14

Applicant Name:

LOYDE W. SADLOWSKI, INC

Applicant's Street Address

7500 SW 61ST AVE SUITE #200

Applicant's City, State, Zip OCALA, FL 34476

Telephone Number (352) 861-0075

Applicant's e-mail address loyde@sadlowski.com

Section / Township / Range

800 CR 466

Project Road Name

PAIN & SPINE CENTERS OF FLORIDA

Subdivision and/or Site Plan Name (if applicable)

Paid Date Rec'd By

If this project will result in any new above ground structures, poles, or facilities please state where and what is proposed. Applicant may be requested to provide an engineer's certification that roadway clearance and sight distances have been met.

Description of Work: CONNECTION TO RECLAIMED WATER MAIN

Contractor: LOYDE W. SADLOWSKI, INC

Start of Construction Date: _____

Is proposed work within city limits? YES

Telephone Number: (352) 861-0075

Construction duration: 3 days

If so, what city? TOWN OF LADY LAKE

A letter of notification was mailed on _____ to the following utilities & municipalities:

Applicant declares that he/she has determined the location of all existing underground and aerial utilities. Applicant declares that he/she has read the attached application requirements and permit conditions.

Signature of Applicant

Applicant (Print Name)

LOYDE W. SADLOWSKI

Road #

To be completed by County Staff

Permit # _____

Permit Fee: \$100.00

Fee Code: **PWRW**

Checked by: _____

Date Checked: _____

Approved by: _____

Date Approved: _____

Special Conditions: _____

Expiration Date: _____

For inspection, call the Lake County Public Works Department at 352-483-9000
Submit Permit to: Lake County Public Works, 437 Ardice Avenue, Eustis, FL 32726



Right-of-way Utilization Permit Requirements

The purpose of the Right-of-Way Utilization permit is to control the use of public rights-of-way and public easements and protect the health, safety and welfare of the public. Any work within public rights-of-way requires an approved right-of-way utilization permit.

Application Requirements:

For each road involved, please submit one (1) original application and supporting documentation to the Lake County Department of Public Works.

Completed applications must include a sketch or construction plans drawn to scale, showing the following:

1. The offset from the centerline of the right-of-way or roadway to the proposed utility installation, the road right-of-way width and pavement width, the distance from the edge of pavement to the utility, sidewalks, and the location of all other utilities, including traffic signal utilities, within the area of work.
2. One or more typical cross sections to adequately reflect the location of the utility. Please indicate the minimum vertical clearance above or below the pavement or natural ground.
3. The location of the area of work in relation to the nearest road intersection, bridges, railroad crossings, and other physical features. Please include a location or vicinity map showing the general location of the installation.

All permit applications must demonstrate that the proposed improvements conform to the right-of-way utilization requirements included in the *Lake County Land Development Regulations*.

Projects of significant length and land size may require a complete right-of-way survey.

A performance bond may be required of the applicant in the event the work covered by the right-of-way utilization permit has the potential to significantly damage the right-of-way. The amount of the performance bond shall be 110% of the estimated cost to repair such damage, as determined by Lake County.

Prior to construction, applicant shall provide written notice to all property owners adjacent to the project limits. This notice shall include, at a minimum, the anticipated construction schedule, maintenance of traffic plan and any impacts, permanent or temporary, to the adjacent properties. The notice must provide contact information including the name and telephone number of the project manager. Within a minimum of fourteen (14) calendar days prior to construction, applicant shall provide to the County a copy of the notification with a list of the parties notified.

A copy of the approved permit and related supporting documents shall be on site at all times during construction.

Permit Conditions:

Whenever necessary for the construction, maintenance, operation or alteration of the right-of-way, as determined by the County, any or all of the appurtenances authorized by this permit shall be immediately removed from the right-of-way or relocated, as required by the County, at the expense of the applicant unless reimbursement is specifically authorized.

If above ground utilities are being replaced, the old utilities and utility appurtenances must be removed from County right-of-way within thirty (30) days after new utilities are installed.

All work, materials and equipment shall meet all County codes and standards and shall be subject to inspection by the County. All right-of-way disturbed by this work shall be restored to its original condition or better and in accordance to applicable County Codes. All disturbed areas must be sodded, matching existing grass type. Bahia sod shall be used if no grass is present at time of construction.

The construction and maintenance of this utility shall not interfere with the property and rights of a prior applicant.

Where possible, excavation shall not be allowed within five (5) feet from the edge of the pavement. Situations that cannot meet this requirement shall require prior approval of the County.

The County shall be notified twenty-four (24) hours in advance of starting work. In the interest of public safety all operations shall take place during daylight hours, unless specifically authorized, and discontinued by sunset with proper signage and traffic control devices maintained during off hours.

All traffic detours shall be restricted to the limits of right-of-way with necessary flagmen and marking devices. A traffic detour or lane closure shall require specific approval by the County.

Written approval from the Lake County Engineer shall be required before any alterations to existing traffic signal equipment including, but not limited to: vehicle detection loops and signal timing.

If traffic signal vehicle detection loops are rendered inoperable, temporary detection shall be installed within twenty-four (24) hours.

All traffic signal utilities disturbed by this work shall be restored to its original condition or better. Traffic signal utilities include but not limited to: vehicle detection loops, conduit, cabling, pull boxes, pedestrian signal equipment, span assemblies, signal heads, cabinet assemblies, cameras and fiber optic infrastructure.

All utility construction and maintenance shall be performed with proper shoring, barricades, and maintenance of traffic signage in accordance with the *Manual of Uniform Traffic Control Devices*, with the regulations of Florida Industrial Safety Board, and the *Florida Department of Transportation Safety Manual*.

The County shall not be responsible for damages to any structure placed within the right-of-way. All structures shall be properly maintained, adequately visible or properly delineated to prevent damage due to normal maintenance of the right-of-way.

Open cuts of roads will not be allowed unless specifically authorized by Lake County. Directional bore or jack and bore operations should maintain a five (5) foot minimum clearance from edge of pavement on road crossing each side. Recommended bore depth is thirty-six inches (36") and a minimum bore depth is thirty inches (30"). Any overhead installations should maintain a minimum of eighteen (18) feet vertical clearance over all roadways and driveways.

This permit is effective for one year from its approval date, unless otherwise rescinded by Lake County.

Inspection and Approval of Work:

The County shall have the right to inspect and approve all materials and/or phases of work. Final inspection and acceptance of work by the County must be obtained to document the completion of the work. All work shall be subject to the construction requirements and inspections as required in other provisions of the *Lake County Land Development Regulations*. Pursuant to Section 337.403(1), Florida Statutes, any utility placed upon, under, over, or along any public road or publicly owned rail corridor that is found by Lake County to be unreasonably interfering in any way with the convenient, safe, or

continuous use, or maintenance, improvement, extension, or expansion, of such public road or publicly owned rail corridor shall, upon thirty (30) days written notice to the utility or its agent by Lake County be removed or relocated by such utility at its own expense.

It is agreed that in the event the installation, adjustment or relocation of said utilities are scheduled to be done simultaneously with Lake County construction work, the applicant shall coordinate with Lake County before proceeding and shall cooperate with the Lake County's contractor to arrange the sequence of work so as not to delay the work of Lake County contractor, defend any legal claims of Lake County's contractor due to delays caused by the applicant's failure to comply with the approved schedule, and shall comply with all provisions of the law and Lake County's current *Utility Accommodation Manual*. The applicant shall not be responsible for delay beyond its control.

All right-of-way utilization activities shall be reported to Sunshine State One-Call at least seventy-two (72) hours prior to commencement.

Guarantee and Responsibility for Compliance:

In the case of noncompliance with the County's requirements, this permit will be void and the facility will be brought into compliance or removed from the right-of-way at no cost to the County.

The County may issue "Stop Work" order(s) upon any permittee committing or creating an unsafe act which may create a public hazard or who is not complying with this permit or the applicable codes. The order shall remain in effect until such time as these matters are corrected.

Permits shall be issued with the understanding that the applicant shall guarantee all work performed under the terms of the permit for a period of one (1) year from the date of final inspection and acceptance of work.

Any failures shall be repaired by the applicant, at the direction of the County, within five (5) days, unless the urgency of the problem requires a quicker reaction time.

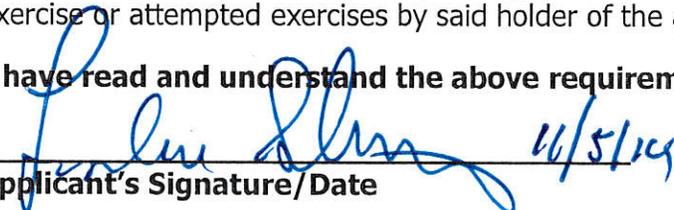
The applicant shall be responsible for all repair costs incurred due to damages to existing utilities by failure to use due care, including errors in locating existing utilities during construction.

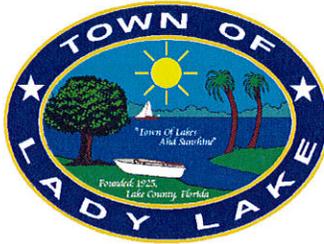
Removal/Relocation of Improvements: Upon ten (10) days written notice, the applicant shall be required to remove and/or relocate the improvements placed within the right-of-way at the applicant's sole expense.

It is expressly stipulated that this permit is a license for permissive use only and that the placing of facilities upon public property pursuant to this permit shall not operate to create or vest any property right in said holder.

It is understood and agreed that the rights and privileges herein set out are granted only to the extent of the County's right, title and interest in the land to be entered upon and used by the holder, and the holder will, at all times, assume all risk of and indemnify, defend and save harmless the County of Lake from and against any and all loss, damage, cost or expense arising in any manner on account of the exercise or attempted exercises by said holder of the aforesaid rights and privileges.

I have read and understand the above requirements


Applicant's Signature/Date



TECHNICAL REVIEW COMMITTEE COMMENTS 3rd REVIEW 11/05/2014

Project: Pain & Spine Centers of Florida

Proposal: New Major Site Plan No. 08/14-002 Application– 3rd. Round of Comments for Site

Description:

On 08/07/2014, Town Staff received a new Major Site Plan application proposing the construction of a 9,976 square foot multi-tenant complex for Medical Offices along Hwy 466, approximately 800 feet west of the intersection of Rolling Acres Road and Hwy 466, in front of the Rolling Acres Apartments (Alternate Key 3863922). The site plan was reviewed to determine if it is in compliance with the Land Development Regulations (LDRs) including parking, setbacks, landscaping, engineering, environmental protection and commercial design standards.

The subject property is approximately 1.27 +/- acres and is zoned Heavy Commercial (HC) which permits the development and construction of the proposed complex. The Future Land Use is Commercial General-Retail Sales and Services (RET) which is in accordance with the directives of the Comprehensive Plan and adopted Land Development Regulations.

GENERAL INFORMATION

The engineering plans submitted, consisting of five (5) sheets, are drawn on 24"x36" sheets and certified by Keith E. Riddle, Professional Engineer with Riddle Newman Engineering, Inc., dated August 5, 2014. The landscaping plans submitted, consisting of three (3) sheets, are drawn on 24"x36" and certified by Elizabeth Cole Houck, Registered Landscape Architect with Elizabeth C. Houck Landscape Architecture, LLC, dated July 14, 2014.

Below are staff comments from the Town of Lady Lake regarding your development project. A hard copy via hand delivery and an electronic copy via e-mail are provided to the applicant. Comments are organized by department and must be sufficiently addressed before the proposal may proceed. If a re-submittal is warranted, the applicant shall provide written responses to each individual staff comment contained within this transmittal. **Re-submittals will not be accepted without bulleted written responses.**

Following submittal of any required revisions and responses, correspondence will be forwarded indicating the proposal's status, either: (1) requiring additional revision or documentations; or (2) ready for approval. Site plans are subject to public hearing, as well as plats, annexation requests, zoning requests, and comprehensive plan requests. When applicable, you will receive written notification that the item is scheduled for review by the Planning and Zoning Board or Town Commission. For additional information, contact Thad Carroll at (352) 751-1521.

GROWTH MANAGEMENT

Questions may be directed to Wendy Then, at wthen@ladylake.org

1. Please see comments attached under the GM Review Report dated 11-05-2014.
-

POLICE

Questions may be directed to Chief Chris McKinstry at cmckinstry@ladylake.org

1. No comments at this time from the Police Dept.
-

FIRE

Questions may be directed to Kerry Barnett k-15122@peoplepc.com or at 813-778-4981:

1. Please see comments attached dated 10-16-2014. Plans not approved at this time.
-

BUILDING

Questions may be directed to Dallas Foss, Building Official at dfoss@usanova.com.

1. No comments at this time by the Building Official dated 10-23-2014.
-

PUBLIC WORKS

Questions may be directed to Butch Goodman, Utilities Supervisor at bgoodman@ladylakepw.org

1. Please see comments attached dated 10-21-14 regarding ERUs allocation.
-

ENGINEERING CONSULTANT

Questions may be directed to Chris Schultz, P.E., at chris.schultz@neel-schaffer.com

1. Please see comments attached under Town Engineer Report dated 10-21-2014. Plans approved.
-

LAKE-SUMTER MPO

Questions may be directed to Pam Richmond, AICP, at prichmond@lakesumtermpto.com

1. Project has not been reviewed since the Traffic Study is still forthcoming.
-

LAKE COUNTY PUBLIC WORKS

Questions may be directed to Seth Lynch with Lake County Public Works at slynch@lakecountyfl.gov or 352-483-9052

1. Please see comments attached dated 11-04-14. ROW Permit applications submitted as of 11-5-2014.
-



SUBJECT: Pain & Spine Centers of Florida - MJSP 08/14-002

DATE: November 5, 2014

	General Requirements	Meets Criteria	Outstanding Issues
A)	Name of project.	X	
B)	General statement of intended use of site.	X	
C)	Legal description of the property and size of parcel in acres or square feet.	X	
D)	Name and address of owner.	X	
E)	Name, address and phone number of owner's agent.	N/A	
F)	Name, address, signature and registration of the professionals preparing the plans.	X	
G)	Date, north arrow and scale shall be designated and where appropriate, the same scale shall be used on all sheets.	X	
H)	Vicinity map showing relationship of proposed development to the surrounding streets and thoroughfares, shall be at a scale no smaller than one inch equals five thousand two hundred eighty feet (1" = 5,280' or 1" = Mile).	X	
I)	Linear dimensions of the site.	X	
J)	Existing topography with a maximum of one (1) foot contour intervals for the proposed site.	X	
K)	Finished grading elevations.	X	
L)	Zoning of the site and of all adjacent parcels.	X	
M)	All existing and proposed building restriction lines (i.e., highway setback lines, easements, covenants, rights-of-way and building setback lines).	X	
N)	Percent of open space of site.	X	
O)	Location of proposed signs and sign details	X	
	Building and Structure Requirements	Meets Criteria	Outstanding Issues
A)	Existing and proposed structures.	X	
B)	Intended use.	X	
C)	Number of stories.	X	
D)	Height of building(s).- See Architectural Plans	X	

E)	Number of dwelling units and density.	X	
F)	Projected number of employees, if applicable	X	
G)	If restaurant, show number of seats and occupancy load.	N/A	
H)	Square footage for proposed development, i.e., gross square footage, non-storage area, square footage of each story, gross square footage of sales area, etc.	X	
I)	Photograph or sketch of proposed sign with dimensions and material type. (if a monument sign will be proposed)	X	
J)	Compliance with Commercial Design Standards (Chapter 20). Waivers will be applied for.	X	
	Street, Sidewalks, Driveways, Parking Areas and Loading Spaces	Meets Criteria	Outstanding Issues
A)	Engineering plans and specifications for streets, alleys, sidewalks and driveways to include soil borings, if necessary.	1	
B)	All parking spaces delineated including bicycle	1	
C)	Number of parking spaces	X	
D)	Number and location of handicapped spaces	X	
E)	Number of square feet of paved parking and driveway area.	1	
F)	Surface materials and cross-section of proposed paved areas	1	
G)	Fire lanes per the Standard Fire Prevention Code adopted in the Building and Fire Codes chapter.	1	
H)	Description/location of proposed driveway(s) and median cut(s)	1	
I)	Internal traffic control circulation plan, including directional arrows and signs to direct traffic flow, as necessary.	1	
J)	Location of traffic-control signs and signalization devices, if required	1	
K)	Number and location of Loading Zones. Show the truck turning template for delivery and garbage trucks.	X	
L)	Site Lighting Plan- Will not be provided.	X	
	Drainage and Storm water	Meets Criteria	Outstanding Issues
A)	Soil classifications, cross-sections and details of proposed retention/detention ponds, swales, berms, etc., as required by SJRWMD.	1	
B)	Size, material and location of storm water structures and pipes.	1	
C)	Indicate flood elevation for 100-year flood and any other information required in Environmental Regulations chapter.	1	

D)	Drainage		
	Proposed Water, Sewer, and Solid Waste Facilities	Meets Criteria	Outstanding Issues
A)	Size, material, specifications and location of water mains, valves, services and fire hydrants.		
B)	Size, material, specifications and location of sanitary sewer lines and laterals with submittal of a profile, if necessary.	N/A	
C)	Size and location of septic tank and drainfield, if applicable.	N/A	
D)	Grease separation system, if applicable: Size, location and materials.	N/A	
E)	Location(s) and access provisions for refuse service, including pad, screening, fencing and landscaping, if applicable.	1	
	Landscaping (Chapter 10)	Meets Criteria	Outstanding Issues
	Landscaping plan and provisions for maintenance including size, type and location of all landscaping, screens, walls, fences and buffers per the requirements in the Landscaping and Tree Protection chapter. If water efficient landscaping is used, the information required in that chapter should be included.		
A)	Waivers will be applied for.	X	
B)	Irrigation system plan	X	
	Environmental Protection	Meets Criteria	Outstanding Issues
A)	Natural features such as water bodies, wetlands, native vegetative communities, etc., as required in the Environmental Regulations chapter.	N/A	
B)	Conservation easements per the requirements.	N/A	
C)	Provisions for the adequate control of erosion and sediment, including the location and description of the methods to be utilized during and after all phases of clearing, grading and construction.	X	
	Additional Information	Meets Criteria	Outstanding Issues
1)	A certificate of concurrency or evidence of application for a certificate.	X	
2)	Drainage calculations as required in the Storm water Management chapter.	1	
3)	Fire flow calculations, if applicable..		
4)	Lift station calculations, where required.	N/A	
6)	A construction cost estimate prepared by the engineer of record, which shall delineate any proposed improvements to be maintained by the Town.	N/A	

7)	Environmental assessment per the requirements, if applicable.	N/A	
8)	Any additional data, maps, plans or statements, as may be required, which is commensurate with the intent and purpose of the Code.	X	

- **General Comments:**

- Please note all waivers on cover sheet of site plan (Landscaping and Commercial Design Standard
- A final note on the Site Plan needs to be provided stating that no business operations or deliveries will take place outside of daylight hours or after dusk within the entire site. In the future, the applicant may install lights to remove restriction.
- Self-Certification for Stormwater Management System File No. 0327749001EG dated 07/10/2014 provided.
- Lake County R.O.W. Utilization Permit Applications for Commercial Driveway and for Freestanding Sign Placement have been provided as of 11-05-2014..

- **Other Comments:**

- Please provide determination from DEP regarding permit exemption. This can be accomplished by an email from a DEP representative. Note will be provided on the Development Order if permit/permit exemption not provided regarding submitting copies of permits or exemptions before commencing work.
- Please revise rendering removing LED Sign portion of the Freestanding Sign or submit a Special Permit Use Application for LED Sign proposal; which has to be approved by Town Commission.

October 21st, 2014

Mrs. Wendy Then
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159

REFERENCE: PAIN AND SPINE CENTERS OF FLORIDA - REVIEW NO. 2

Dear Mrs. Then;

Pursuant to your request, Neel-Schaffer, Inc. (NSI) has reviewed the revised plans and responses for the proposed Pain and Spine Centers of Florida. Documents reviewed were comprised of the updated construction plans and responses to development review comments. Our review was centered on the standards provided in the Land Development Code Regulations (LDCR) of the Town of Lady Lake.

Based on our review of the updated plans provided by your office, NSI has found the development plans to be satisfactory and in compliance with the Lady Lake LDCR. Should you need additional information, please do not hesitate to contact me at 407-647-6623.

Sincerely,



Christopher Schultz, P.E.
Project Manager

Wendy Then

From: Beck, Christopher [CBeck2@wm.com]
Sent: Thursday, August 07, 2014 3:02 PM
To: Wendy Then
Subject: RE: New Major Site Plan-Pain & Spine Centers of Florida

Wendy,

After reviewing the site plans provided the dumpster enclosure plans meets Waste Management specs.

Chris Beck
Wildwood Hauling
352-330-4546
352-267-9356

From: Wendy Then [<mailto:wthen@ladylake.org>]
Sent: Thursday, August 07, 2014 2:46 PM
To: Beck, Christopher
Subject: New Major Site Plan-Pain & Spine Centers of Florida

Hi Chris,

Please find attached a new major site plan application for a medical multi-tenant development facility. Let me know if you have any comments regarding the dumpster location.

Have a fantastic weekend. Thanks.

Wendy Then, CFM
Town Planner
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159
352-751-1582
352-751-1514- Fax
Wthen@ladylake.org

Note: Beginning October 7, 2013, our office hours will be Monday - Thursday 7:30 am - 6:00 pm

Fla. Stat. 668.6076 "Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing."



Please think before you print.



PARKS, RECREATION, AND TREE ADVISORY COMMITTEE MEETING

REQUESTED COMMITTEE MEETING DATE: November 12, 2014

SUBJECT: Consideration of the Conceptual Landscaping Plans and Waiver Requests for the Villages Golf Car Shop and Service Center Major Modification to Site Plan - MJM 10/14-001- A Development consisting of a 2,102-square-foot Building Addition, a Two-Lane Golf Cart Fueling Area, Landscaping Upgrades and Dumpster Enclosure proposed at 903 Avenida Central (AK 3451988).

DEPARTMENT: Growth Management

Applicant, John R. Grant, with Villages Operating Company on behalf of Citizen's First Bank, property owner, has submitted an application for the modification of the existing Citizen's First Bank Site located at 903 Avenida Central, within the Villages Downtown Center in Spanish Springs, identified by Alternate Key number 3451988. The applicant proposes a 2,102-square-foot addition to the existing two-story building to convert it into a Golf Cart Shop Service Facility. Additionally, the applicant seeks to incorporate a two-lane Golf Cart Fueling Area providing four (4) fueling stations, improve landscaping, and add a dumpster enclosure.

The subject property is approximately .96 +/- acres and is located within The Villages Center Planned Commercial Master Plan also referenced as Spanish Springs. The property is zoned "CP" Planned Commercial which permits development and construction of the proposed facility and is in accordance with the Memorandum of Agreement adopted by the Village Center and the Tri-County Villages Development of Regional Impact (DRI). The requested use is consistent with the directives of the Comprehensive Plan and adopted Land Development Regulations.

Tree Requirements:

In accordance with Chapter 10-Landscape and Tree Protection, the site is required to provide 153.6 tree caliper inches based on its .96-acre area (160"x .96). Please see the landscaping tree proposal breakdown:

Existing Trees to remain	299 tree caliper inches
Proposed Canopy & Understory Trees	17 tree caliper inches
Proposed Palms	<u>48</u> tree caliper inches
Total tree caliper inches	364 tree caliper inches

The applicant is providing more than twice the required on-site tree caliper inches.

All landscaping buffers require minimum Class "A" Landscaping Buffer (Buffer Class Requirement-Table 10-1) in accordance with LDRs-Chapter 10, Section 10-3, b).B).1). Class "A": 10' width minimum with 2 Canopy Trees, 3 Understory Trees and a continuous hedge.

At the time, the applicant cannot accommodate all the required plant material within certain buffers, so the following four (4) waiver(s) to the Landscaping Regulations have been proposed by the applicant:

I) North Landscaping Buffer

Proposal: To waive three (3) canopy trees.

Justification: Space limitation and constrains unique to the subject parcel that cannot be accommodated on site. The landscape design of shrub and low-level material will meet the specification requirements and aesthetic objectives of the code while maintaining a character consistent with the surrounding areas.

II) East Landscaping Buffer

Proposal: To waive two (2) canopy trees and buffer width.

Justification: Space limitation and constrains unique to the subject parcel that cannot be accommodated on site. Existing site curb improvements are right at property line fronting Bichara Blvd., thus limiting expansion. The request of this waiver pertains strictly to maintaining a high level of landscaping consistent with the established character of the Spanish Springs area.

III) West Landscaping Buffer

Proposal: To waive two (2) canopy trees.

Justification: There is a significant amount of existing palms along the West Elevation. Also a reduction of overcrowding plant material is necessary to preserve infrastructure. A high level of quality landscaping that achieves aesthetic character without being dependent upon regimented linear buffers is a signature aspect of the established urban design of the Spanish Springs town center.

IV) Waiver to submit Irrigation Plans as required per Land Development Regulations Chapter 10, Section 10-3)(k)2)

Proposal: Applicant will modify existing irrigation system during construction since there are no As-built plans for the current system. An automatic system design-built will be constructed to meet the Villages Specifications.

Justification: The accurate preparation of the irrigation system is not possible and will not be discernible until the time of construction; therefore the applicant requests a deferral for this submittal item at this time.

Notes:

- The applicant will be preserving three (3) existing Historic Oak Trees (40", 44", and 50" respectively) along the South Elevation of the subject parcel.

Past Actions:

The **Special Town Commission Conceptual Workshop** reviewed the Site Plan application on Tuesday, October 21, 2014, providing consensus to move forward with the proposed project.

The **Technical Review Committee** members individually reviewed the application and provided comments regarding the Site Plan application on Monday, October 27, 2014.

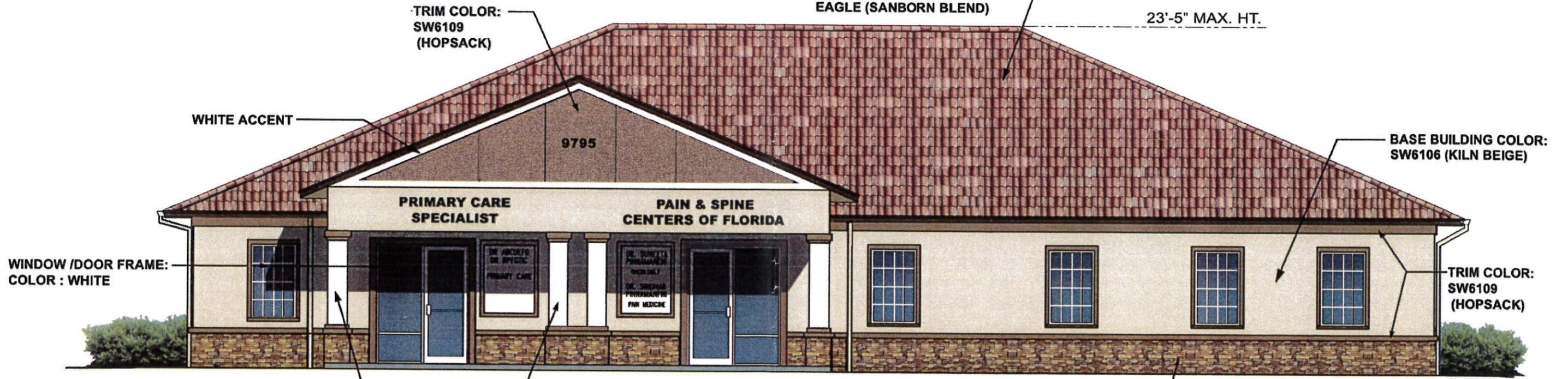
Public Meetings:

The **Town Commission** is tentatively scheduled to consider the Site Plan application on Monday, November 17, 2014 at 6:00 p.m.

WINDOW TRANSMITTANCE RATING = .57
 WINDOW REFLECTANCE RATING = .43



TRIM COLOR: SW6109 (HOPSACK)
 WINDOW FRAME: WHITE COLOR
 ROOF TILE: EAGLE (SANBORN BLEND)
WEST ELEVATION
 Scale: 1/4" = 1'-0"
 23'-5" MAX. HT.

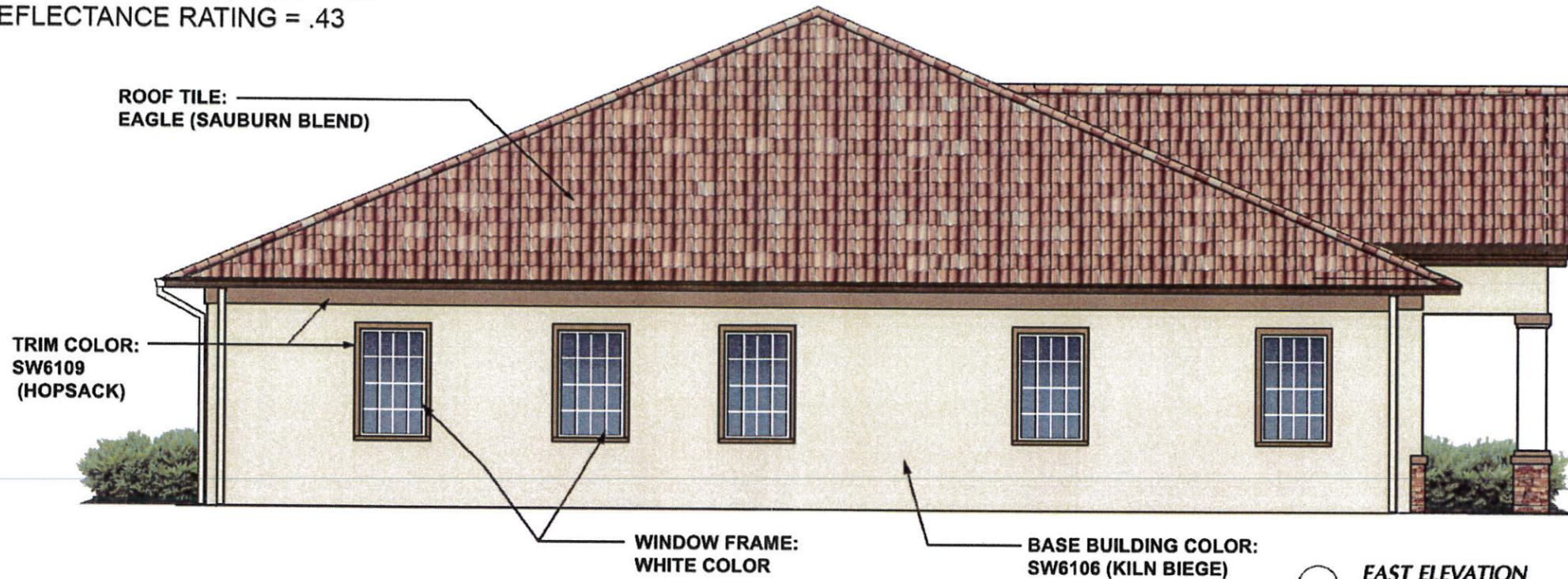


NORTH ELEVATION
 Scale: 1/4" = 1'-0"
 WHITE COLUMNS
 BASE STONE: EL DORADO (DURANGO MOUNTAIN LEDGE)

PAIN & SPINE CENTERS OF FLORIDA

DAVID P. KING JR. ARCHITECT	352-873-3737 info@dpkarchitect.net
--------------------------------	---------------------------------------

WINDOW TRANSMITTANCE RATING = .57
WINDOW REFLECTANCE RATING = .43



EAST ELEVATION
Scale: 1/4" = 1'-0"

23'-5" MAX. HT.



SOUTH ELEVATION
Scale: 1/4" = 1'-0"

PAIN & SPINE CENTERS OF FLORIDA

DAVID P. KING JR. ARCHITECT	352-873-3737 info@dpkarchitect.net
<small>STATE OF FLORIDA 12799</small>	<small>STATE OF GEORGIA 5984</small>

BASE BUILDING COLOR:
SW6106 (KILN BIEGE)

TRIM COLOR:
SW6109
(HOPSACK)

WINDOW / DOOR FRAME:
WHITE COLOR

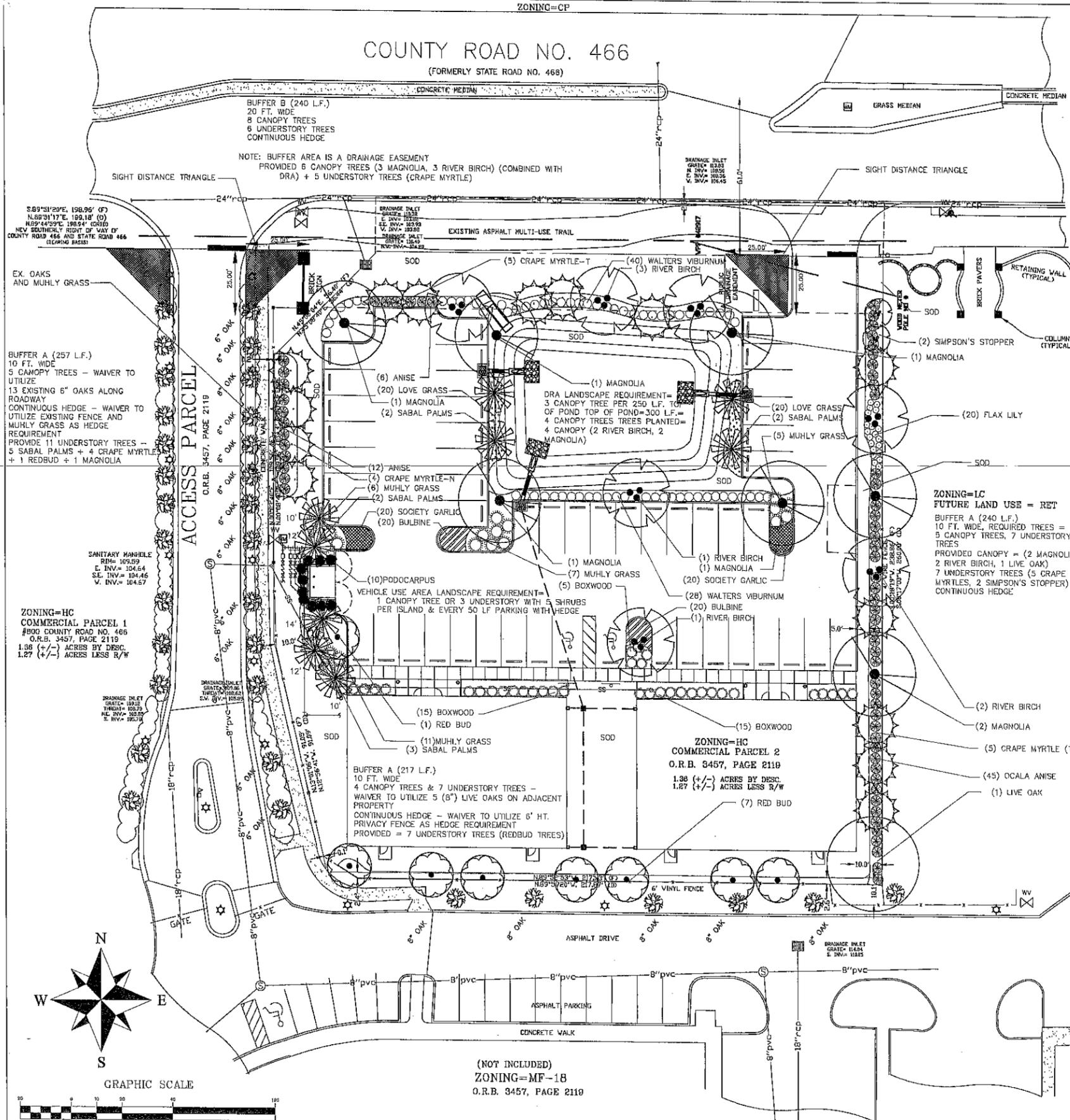
ROOF TILE:
EAGLE (SAUBURN BLEND)

WINDOW FRAME:
WHITE COLOR

BASE BUILDING COLOR:
SW6106 (KILN BIEGE)

COUNTY ROAD NO. 466
(FORMERLY STATE ROAD NO. 466)

ZONING=CP



SITE DATA:

55,321 SQ.FT. TOTAL SITE OR 1.27 ACRES ±

TREE PRESERVATION

1. THERE ARE NO EXISTING TREES ON SITE. TREES AND SHRUBS HAVE BEEN PLANTED ALONG THE ACCESS ROAD ON THE WEST SIDE OF THE PROPOSED DEVELOPMENT BY ADJACENT OWNER.
2. PROPOSED INCHES REQUIRED (TREES) = 203 CALIPER INCHES; PROVIDED = 219 INCHES
3. ADDITIONAL PLANTINGS NOT REQUIRED BY LAND DEVELOPMENT CODE ARE AT OWNERS DISCRETION

PLANT LEGEND

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE AND SPECIFICATIONS	NATIVE
①	1	QUERCUS VIRGINIANA	LIVE OAK	65 GAL MIN, 12'-14' HT., 5" SPR., 4" CALIPER SPACE MIN. 30 FT O.C.	Y
⑦	7	BETULA NIGRA	RIVER BIRCH	65 GAL MIN, 12'-14' HT., 5" SPR., 4" CALIPER 3 STEM, SPACE MIN. 30 FT O.C.	Y
⑦	7	MAGNOLIA GRANDIFLORA	D.O. BLANCHARD	65 GAL MIN, 12'-14' HT., 5" SPR., 4" CALIPER SPACE MIN. 30 FT O.C.	Y
⑩	10	LADERSTROEMIA INDICA-T	CRAPE MYRTLE(TUSCARORA)	30 GAL., MIN. 2-1/2" CAL., MULTI-TRUNK, 8' HT, 6' SPR.	N
⑩	4	LADERSTROEMIA INDICA-N	CRAPE MYRTLE(WATCHEZ)	30 GAL., MIN. 2-1/2" CAL., STANDARD-TRUNK, 8' HT, 5' SPR.	N
⑨	9	SABAL PALM	CABBAGE PALM	11" DIAMETER, MATCHING, 10', 12', 14' C.T.	Y
②	2	NYROIANTHES FRAGRANS	SIMPSON'S STOPPER	30 GAL., 2-1/2" CAL., MULTI-TRUNK, 8' HT, 6' SPR.	Y
⑧	8	CERCIS CANADENSIS	RED BUD	30 GAL., 2-1/2" CAL., MULTI-TRUNK, 8' HT, 6' SPR.	Y
⑳	29	MULBERGIA CAPILLARIS	MUHLY GRASS	3 GAL., FULL, 5' O.C.	Y
⑧③	83	VIBURNUM OBOVATUM	DWF. WALTERS VIBURNUM	3 GAL., FULL, 5' O.C.	Y
④①	41	ERAGROS SPECTABILIS	LOVE GRASS	3 GAL., FULL, 4' O.C.	Y
⑧③	83	ILICUM PARVIFLORUM	OCALA ANISE	3 GAL., FULL, 3' O.C.	Y
⑩	10	PODOCARPUS MACROPHYLUM	PODOCARPUS	3 GAL., FULL, 3' O.C.	N
⑩	35	BUXUS MACROPHILLA	BOXWOOD	3 GAL., FULL, 3' O.C.	N
⑩	20	DIANELLA SP.	FLAX LILY	1 GAL., FULL	N
④①	41	BULBINE FRUTICOSAENS	BULBINE	1 GAL., FULL	N
④①	41	TULBAGHIA VIOLACEA	SOCIETY GARLIC	1 GAL., FULL	N
MULCH	140	PINE STRAW (5616 S.F.)	BALES		
⑩		ARGENTINE BAHA (18,820 S.F. APPROX. INCLUDES DRA)			
⑩		TREE REMOVED			
⑩		TREE SAVED			
⑩		TREE BARRICADE			

LANDSCAPE NOTES:

1. ALL PLANTS SHALL BE EQUAL TO OR EXCEED FLORIDA GRADE NO. 1 AS GIVEN IN GRADES AND STANDARDS FOR NURSERY PLANTS, STATE OF FLORIDA, DEPT. OF AGRICULTURE AND CONSUMER SERVICES, LATEST EDITION
2. AN IRRIGATION SYSTEM WITH RAIN SENSOR WILL BE PROVIDED BY THE OWNER TO PROVIDE 100% COVERAGE OF ALL NEW PLANTINGS.
3. ADDITIONAL SITE LANDSCAPING MAY BE PROVIDED BY THE OWNER.
4. ALL PLANTINGS SHALL BE DRESSED WITH 2" PINE BARK MULCH OR PINE STRAW, GRADE "B" OR BETTER.
5. THE OWNER RESERVES THE RIGHT TO SUBSTITUTE OTHER PLANT MATERIALS DEPENDING UPON AVAILABILITY, COST, ETC. WITH PRIOR ZONING APPROVAL.
6. ALL TREES NOT IN BEDS SHALL HAVE A MINIMUM FIVE FOOT DIAMETER MULCH RING.
7. DISTURBED AREAS SHALL BE SODDED AND/OR SEEDED AND MULCHED.
8. EXISTING TREES SHOWN TO REMAIN SHALL BE PROTECTED DURING
9. IRRIGATION TO BE INSTALLED PRIOR TO PLANTING.
10. LANDSCAPE, IRRIGATION AND FLORIDA FRIENDLY DESIGN STANDARDS PURSUANT TO FLORIDA STATUTE 373.228 CONSTRUCTED IN ACCORDANCE WITH FLORIDA FRIENDLY BEST MANAGEMENT PRACTICES FOR PROTECTION OF WATER RESOURCES BY THE GREEN INDUSTRIES OR THE FLORIDA YARDS AND NEIGHBORHOODS PROGRAM.
11. THE CONTRACTOR SHALL ADHERE TO THE CITY OF LADY LAKE LAND DEVELOPMENT CODE, CHAPTER 10
12. ALL LANDSCAPE INSTALLATION PROFESSIONALS, IRRIGATION INSTALLATION AND MAINTENANCE PROFESSIONALS SHALL MEET ALL REQUIREMENTS IN ACCORDANCE WITH FLORIDA NURSERYMEN LANDSCAPE AND GROWERS ASSOCIATION (FNLGA)
13. ALL LANDSCAPE MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE TO FLORIDA NURSERYMEN LANDSCAPE AND GROWERS ASSOCIATION (FNLGA)

(NOT INCLUDED)
ZONING=MF-18
O.R.B. 3457, PAGE 2119

DATE: MAY 13, 2014
DRAWN BY: ELIZABETH C. HODCK
CHECKED BY: ELIZABETH C. HODCK
DRAWING NO. 14-002

ELIZABETH C. HODCK
LANDSCAPE ARCHITECTURE, L.L.C.
SWEETWATER, FLORIDA
3010 W. STATE STREET, SUITE 200
DUNEDIN, FLORIDA 32826-1000
TEL: 888-888-8888
WWW.ECHODCK.COM

REVISIONS:
DRAWING REVISION
DATE

NOT VALID UNLESS SIGNED AND SEALED BELOW

ELIZABETH C. HODCK, P.L.A., A.S.L.A. - DATE
LA # 0007026 - FLORIDA

LANDSCAPE PLAN
PREPARED FOR: PAIN & SPINE CENTERS OF FLORIDA
TOWN OF LADY LAKE, FLORIDA

SHEET
L1.1

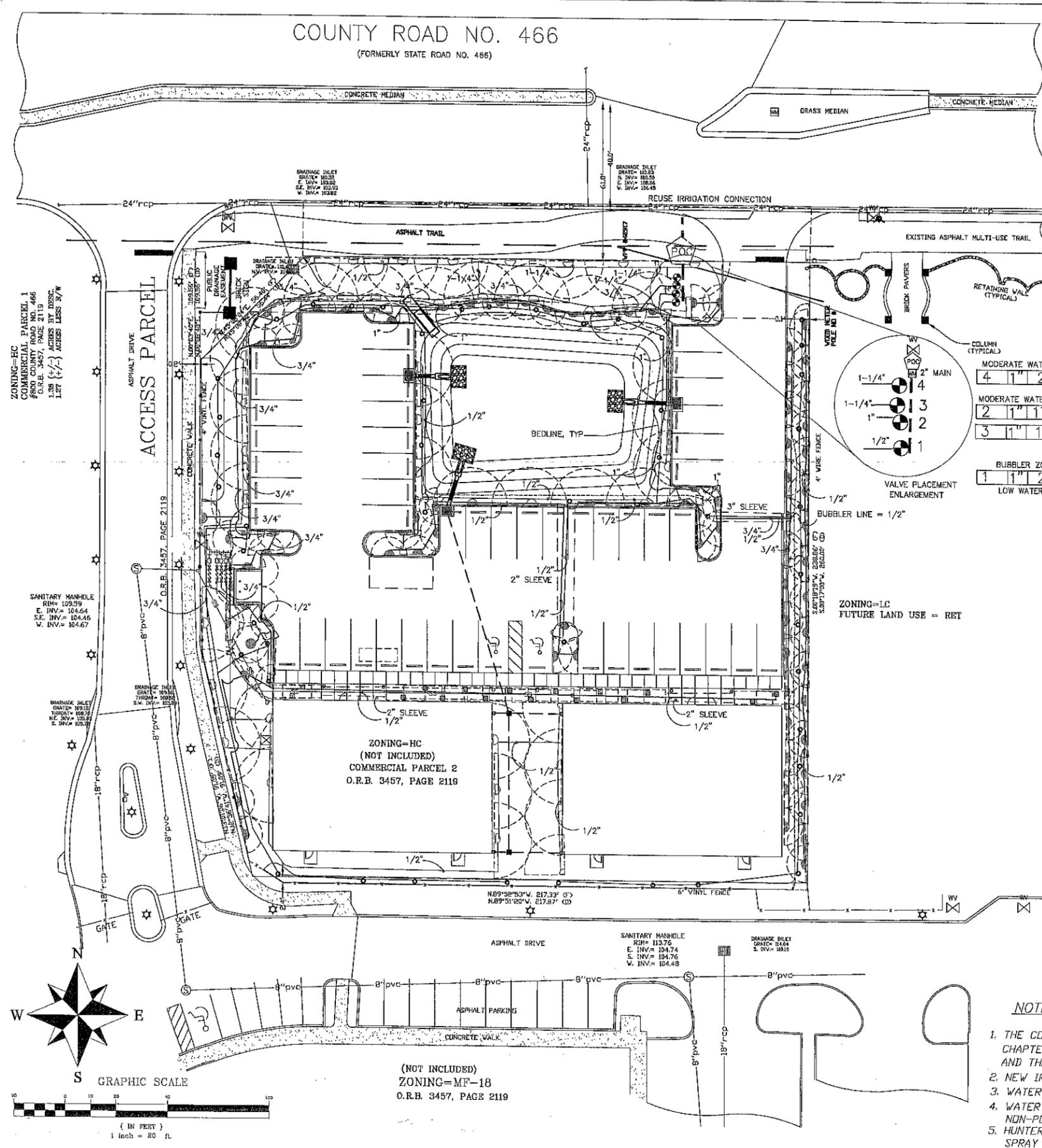
COUNTY ROAD NO. 466
(FORMERLY STATE ROAD NO. 466)

IRRIGATION CALCULATIONS (APPROXIMATIONS)

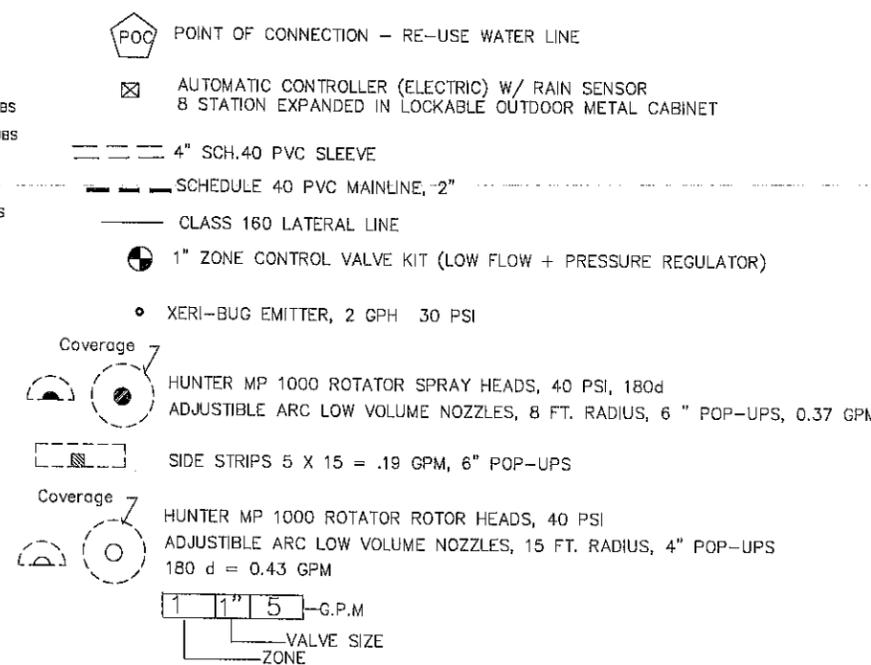
MODERATE WATER USE ZONE:
SUPPLEMENTAL WATER USE = ALL SPRAYHEADS = 77 @ 0.37 GPM +
38 @ .43 GPM
RUN FOR 15 MIN/PER DAYS OPERATING = 672 GALLONS PER DAY

LOW WATER USE ZONES
2 GPH BUBBLERS (.03 GPM) FOR 48 TREES =
2. GPM X 15 MIN./DAY = 30 GALLONS PER DAY

TREES - 2 TO 3 GALLONS PER CALIPER TRUNK DAILY FOR 1 MONTH FOR
2-4" CAL. TREES, THEN EVERY OTHER DAY FOR 3 MONTHS UNTIL
ESTABLISHED, MAY TAKE YEAR TO ESTABLISH.



IRRIGATION KEY

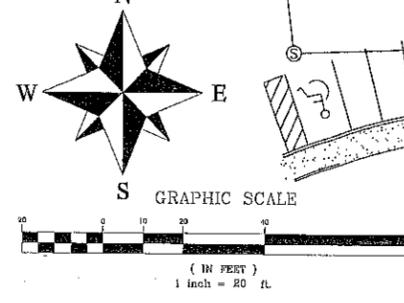


IRRIGATION PLAN REQUIREMENTS

1. TYPE OF AUTOMATED SYSTEM = ELECTRIC CONTROLLER IN OUTDOOR LOCKING CABINET OR INDOORS.
2. TYPE AND SIZE OF ELECTRICAL WIRE = TO BE DETERMINED AT FOR VALVES
3. BACKFLOW PREVENTION DEVICE = FEBCD 850 DOUBLE CHECK DR PER COUNTY REQUIREMENTS
4. DESIGN OPERATING PRESSURE OF IRRIGATION SYSTEM = 30 PSI
5. PLACEMENT OF RAIN SENSOR WILL BE MOUNTED IN OPEN AREA CLOSE TO CONTROLLER LOCATION.
6. WATER REQUIREMENTS PER ZONE = PROVIDE 1/2" TO 3/4" WATER PER ZONE, COMPLY WITH SJRWMD WATERING RESTRICTIONS DRIP/BUBBLERS = RUN TIME 15 MIN.
7. SEE DETAIL SHEET FOR INSTALLATION SPECIFICATIONS AND DETAILS.
8. RECLAIM WATER IS AVAILABLE AND RECLAIM IRRIGATION PIPE SHALL BE USED IN THE INSTALLATION.

NOTES

1. THE CONTRACTOR SHALL ADHERE TO THE LADY LAKE, FL. LAND DEVELOPMENT CODE CHAPTER 10.3 (K), FLORIDA IRRIGATION SOCIETY AND FLORIDA WATER STAR STANDARDS, SJRWMD AND THE FLORIDA BUILDING CODE, 373.62 F.S. FOR RAIN SENSOR SHUT-OFF DEVICES.
2. NEW IRRIGATION PIPING MAY BE REVISED DEPENDING ON LAYOUT OF EXISTING PIPING
3. WATER METER LOCATION TO BE DETERMINED AND MAINLINE TO BE ADJUSTED TO CONNECT ZONE CONTROLLERS.
4. WATER SOURCE SHALL BE RE-USE WATER LINE. SIGNAGE AND PURPLE PIPE AND HEADS TO NOTE RE-USE WATER, NON-POTABLE WATER USE SHALL CONFORM TO THE FLORIDA BUILDING CODE.
5. HUNTER MP ROTATOR HEADS USE 30% LESS WATER THAN CONVENTIONAL SPRAY HEADS DUE TO STREAM SPRAY SYSTEM



DATE: 11.13.2014
DRAWN BY: ELIZABETH C. HOUCK
CHECKED BY: ELIZABETH C. HOUCK
DRAWING NO.: 14-002

ELIZABETH C. HOUCK
LANDSCAPE ARCHITECTURE LLC.
INTERNET: WWW.ECHOUCK.COM
OFFICE: 1000 W. STATE ROAD 466, SUITE 100, LADY LAKE, FLORIDA 32159
PHONE: 321-928-1111

REVISIONS:
DRIVEWAY REVISION

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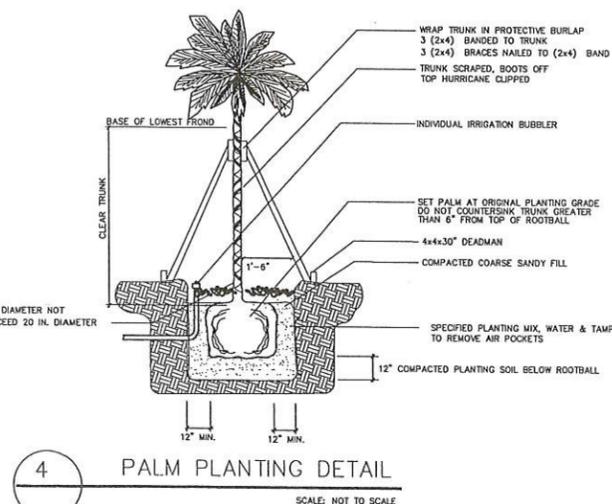
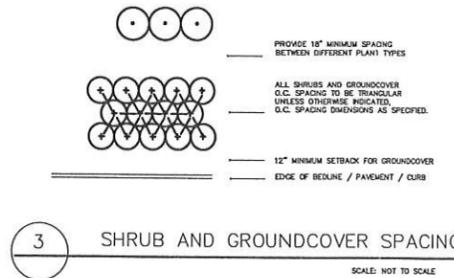
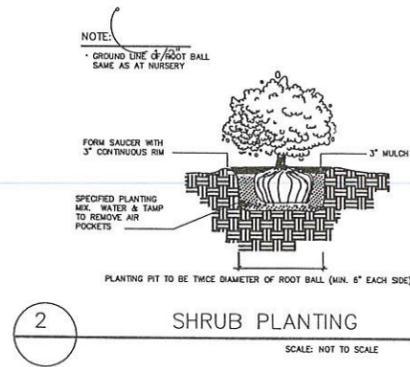
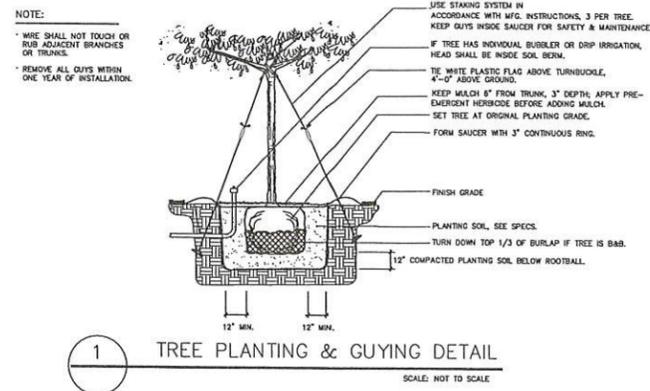
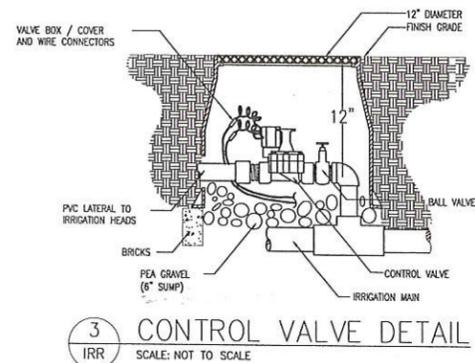
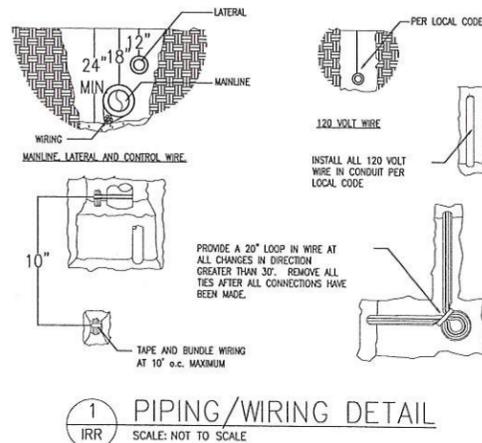
ELIZABETH C. HOUCK, P.L.A., A.S.L.A. - DATE: 11/13/2014

IRRIGATION PLAN
PREPARED FOR: PAIN & SPINE CENTERS OF FLORIDA
TOWN OF LADY LAKE, FLORIDA

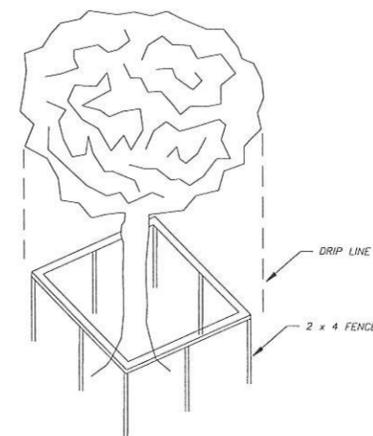
SHEET
L1.2

IRRIGATION NOTES

- This schematic irrigation plan serves primarily as a guide. The Contractor shall be entirely responsible for proper coverage and operation of the systems, including changes from the plan as necessary to adjust for actual site conditions.
- The Contractor shall be responsible for providing all labor, materials, and accessories required for complete irrigation systems meeting the performance requirements outlined herein.
- All work shall be installed in accordance with the regulations of the local, county, or other governing authorities. Fees for all permits, inspections, and impact fees required shall be included as work required.
- The water sources shall be valve/meter for re-use water system. Design data shall be verified by the Contractor prior to installation.
- A rain sensor device, Mini-Click II, or approved equal, shall be installed for each controller installed.
- All remote control valves, gate valves, ball valves, hose bibs and wire splices shall be installed in a suitable Ametek-type valve box of proper size as required for easy access to the valve. Valve boxes shall have a sump of 1 cf gravel. Valve boxes shall be set flush and sloped with the surrounding grade.
- All PVC pipe in the system less than 2" O.D. except risers, shall be Class 160 PSI Polyvinyl Chloride solvent weld pipe conforming to the ASTM-D2466, Type 1, requirements, NSF approved.
- All PVC pipe in the system greater or equal to 2" O.D. and fittings shall be Schedule 40, Type 1, NSF approved conforming to the ASTM-D2466 requirements.
- All wiring, if required, shall be U.L. U.F. wiring. A separate power wire shall be installed from the controller to each individual valve. Wiring shall be installed with main lines where possible; when not, it shall be installed in conduit. Waterproof wire connectors shall be Rainbird PT-103, or approved equal.
- Provide pressure compensating devices as necessary to reduce misting.
- Verify the presence of all sleeving before commencing work. Where piping must pass under existing concrete or pavement, it shall be jacked or jetted where possible. Only if impossible to get in place without cutting pavement, permission will be given by the Owner to cut paving. If this is necessary, all cutting and replacing of the paving to match the existing shall be included under this section of the specifications.
- All PVC piping and wiring shall be installed in the trenches with a minimum of 12" of cover and a maximum depth of 24", except where specific permission is obtained from the Landscape Architect and/or Owner for less cover due to existing conditions. Where necessary because of landscaping, cover shall be as deep as required.
- All flex pipe shall be buried to a depth of at least 4" (or covered with 3" of mulch) except where the tubing daylight over newly planted rootballs.
- All emitters and flood bubblers shall be installed at the rootball and be minimally visible above the mulch.
- The Contractor shall warrant the installation workmanship for a period of one year from date of job completion and retainage release. The Contractor shall further see to the fulfillment of all manufacturer's warranties and shall provide an Owner's Manuals. A reproducible as-built copied from the original showing all dimensioned system components shall be required for final job acceptance.



TREE PROTECTION DIAGRAM:



NO PLACEMENT OF MATERIAL, MACHINERY, TEMPORARY SOIL DEPOSITS OR ADDITIONAL FILL OR ASPHALT PAVEMENT FOR VEHICULAR CIRCULATION SHALL BE PLACED ANY CLOSER TO ANY TREE THAN ONE-HALF OF THE DRIP LINE OR 9 FEET, WHICHEVER IS LESS. NO ATTACHMENTS OR WIRES, EXCEPTING PROTECTIVE GUIDE WIRES, SHALL BE ATTACHED TO ANY TREE. NO CHANGE OF GRADE MORE OR LESS THAN SIX (6) INCHES MAY BE MADE WITHIN THE DRIP LINE OF A TREE UNLESS SHOWN ON THE APPROVED SITE DEVELOPMENT PLAN.

LANDSCAPE NOTES

- All plants shall be Florida No. 1 or better, as outlined under Grades and Standards for Nursery Plants, Division of Plant Industries, State of Florida, latest edition.
- All work shall be performed in accordance with standard and accepted nursery practices in a workmanlike manner.
- The Landscape Contractor shall be responsible for finish grading all areas of the site. Rough grade will be within 2" of finish grade. The Landscape Contractor shall be responsible for any grade disturbed by his work.
- The Landscape Contractor shall be responsible for the thorough removal of existing weeds and grass in the areas to be planted, including application(s) of appropriate herbicides before and after plant installation.
- Soil used for planting shall consist of two parts of the existing soil and one part domestic peat moss (or sandy fill in heavy soils), mixed with two lbs. fertilizer per cubic yard. Fertilizer shall be SLOW RELEASE for new plantings.
- Terra-Sorb, or approved equal, shall be incorporated into the planting soil of all trees in sandy soils only at the following rates:
 15 gallon containers = one (3 oz.) Handy Pac
 30 gallon containers = two (3 oz.) Handy Pac
 Up to 3" caliper = one (3 oz.) Handy Pac
 4" to 5" caliper = two (3 oz.) Handy Pac
 Broadcast 1/2 throughout the planting pit; mix 1/2 with backfill.
- All plant beds shall be top-dressed with 3" of pine bark nuggets.
- The Landscape Architect reserves the right to field locate or review flagged locations of any or all plant material.
- All balled and burlapped trees shall be hardened-off at the supplier's for a minimum of 30 days prior to shipping. All suppliers must be approved by the Landscape Architect prior to delivery and installation of the trees; any tree which shows signs of stress shall be replaced immediately at no charge to the Owner.
- All trees will be staked per detail sheet or by another method approved by the Landscape Architect. Mulched tree rings shall encompass guys.
- No substitutions shall be permitted without prior approval from the Landscape Architect.
- Guaranty (from time of job completion and retainage release):
 Trees and shrubs = 1 year
- Irrigation System to include backflow device and to be designed at 100% coverage using well water supply. Rainsensor to be installed at controller pursuant to F.S. Chapter 373.

DATE: 11.2014
 DRAWN BY: ELIZABETH C. HOUCK
 CHECKED BY: ELIZABETH C. HOUCK
 ELIZABETH C. HOUCK
 DRAWING NO. 14-002

ELIZABETH C. HOUCK
 LANDSCAPE ARCHITECTURE, LLC.
 LANDSCAPE ARCHITECTURAL SERVICES
 SITE PLANS • CONSULTATION • CONSTRUCTION DOCUMENTS
 1000 S. UNIVERSITY BLVD. SUITE 200 • GAITHERSBURG, MD 20878

REVISIONS:

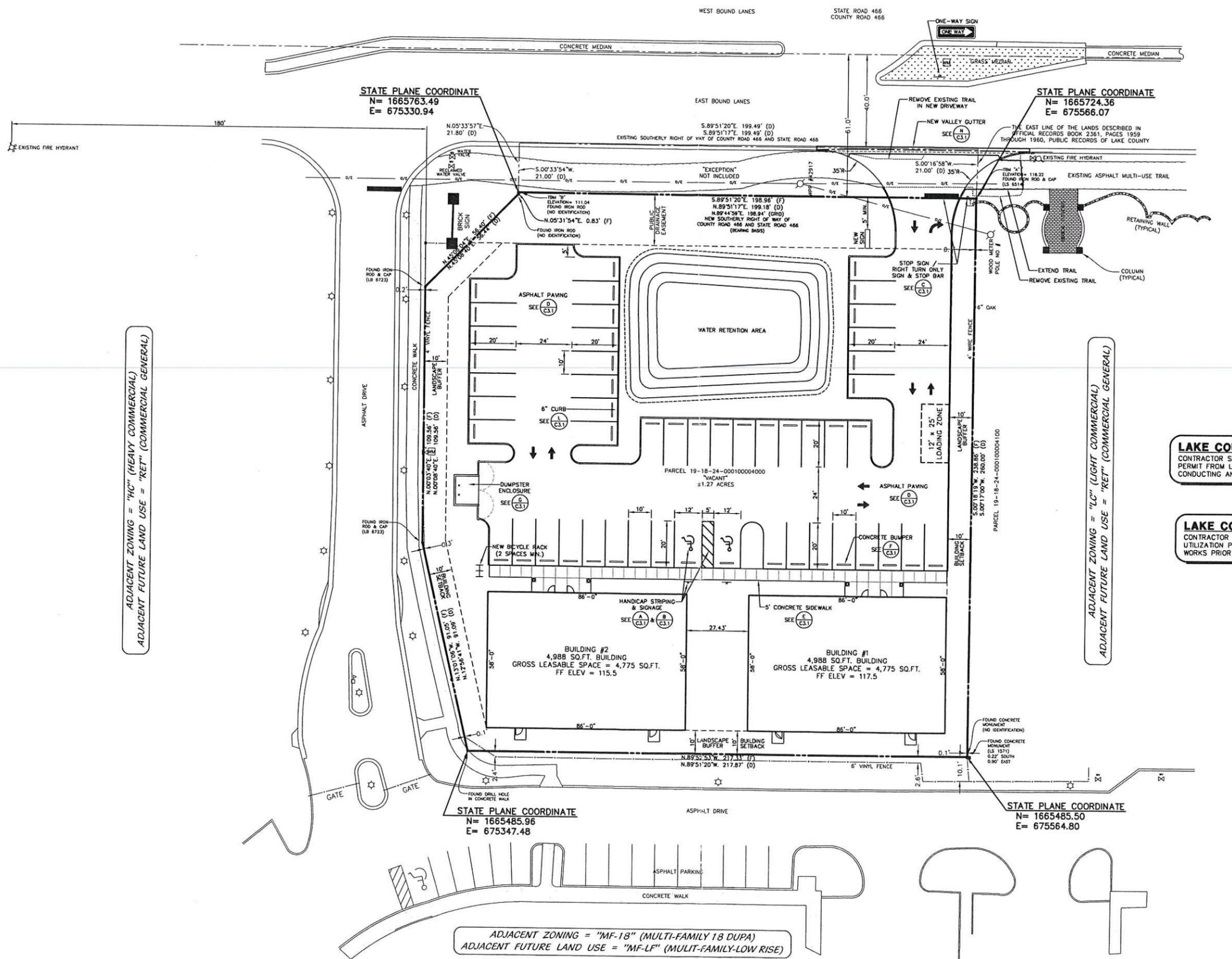
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ELIZABETH C. HOUCK, P.L.L.C. A.S.L.A. - DATE 11/16/2014 - FLORIDA

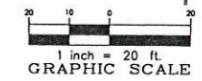
LANDSCAPE DETAILS
 PREPARED FOR: PAIN & SPINE CENTERS OF FLORIDA
 TOWN OF LADY LAKE, FLORIDA

SHEET
 L1.3

ADJACENT ZONING = "CP" (PLANNED COMMERCIAL)
 ADJACENT FUTURE LAND USE = "RET" (COMMERCIAL GENERAL)



GEOMETRY PLAN
 SCALE: 1"=20'



RIDDLE - NEWMAN ENGINEERING, INC.
 115 NORTH CANAL STREET
 LEESBURG, FLORIDA 34748
 PHONE (352) 787-7482
 FAX (352) 787-7412
 keith@riddle-n.com
 CA# 0002883

RIDDLE NEWMAN ENGINEERING INC.

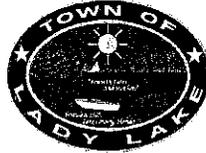
REV #1	REV #2	REV #3	REV #4

KEITH E. RIDDLE, P.E.
 FLA. REGIS. NO. 38800

DRAWN	R.S.H.
CHECKED	K.E.R.
SCALE	1"=20'
DATE	8/5/14
PROJECT NO.	14.09

GEOMETRY PLAN
 PAIN & SPINE CENTERS OF FLORIDA
 TOWN OF LADY LAKE
 FLORIDA

SHEET #
C2.1



SPECIAL TOWN COMMISSION - CONCEPTUAL WORKSHOP AGENDA ITEM

REQUESTED MEETING DATE: November 18, 2014

SUBJECT: Conceptual Presentation of the Texas Roadhouse Restaurant MJSP 11/14-001- The construction of a 7,163-Square-foot High Turnover (Sit-Down) Restaurant proposing 281 seats - To be located at 745 N. Hwy 27/441 (AK 3861958).

DEPARTMENT: GROWTH MANAGEMENT

STAFF RECOMMENDATION:

Staff recommends having applicant submit the Major Site Plan Application to advance the proposed project to the construction phase.

SUMMARY:

Benchmark Lady Lake 25 Associates, LLC is the property owner of a 2.01 +/- acre parcel located on 745 North Highway 27/441, just south of the Sam's Club and north of the Town Hall Municipal Complex Building. The parcel originally received Major Site Plan approval back on August 4, 2008, by the Town Commission for the construction of 16,100 square feet of retail under the project name of Sam's Outparcel. The property has a Heavy Commercial Zoning Designation; which allows for the proposed Restaurant land use.

Under the Sam's Outparcel Parcel, the applicant was granted site approval for 5-foot building and landscaping buffers along the North and South Elevations. Shortly after this approval, the Landscaping Buffer Codes changed in 2009, so the applicant would like to still pursue a 5-foot landscaping buffer for the North and South Elevations on this project primarily to accommodate a 5-foot concrete sidewalk on both sides.

The applicant will also be pursuing the following waivers/variances:

- Two (2) landscaping Waivers in accordance to **Chapter 10, Section 10-3. b).1):**
 - North Elevation/Buffer 3- Waive four (4) Canopy Trees due to existing off-site landscaping.
 - West Elevation/Buffer 2- Substitute the required six (6) canopy trees for Understory Trees due to Overhead Utility Line conflict along North Highway 27/441.

- As per LDRs- **Chapter 20-Section 20-3C.10.L)**- Parking lots with two (2) or more double rows will have a continuous landscaped strip between the sections. This landscaped strip will run parallel to the circulation flow and shall be a minimum of six (6) feet wide.
- Administrative Variance as per **Chapter 3, Section 13-3).b).4).** to address Parking Deficiency in the amount of ten (10) percent or less of required parking spaces.
- Potential variance to address Monument Sign Separation Requirement

At this time, the developer is ready to move forward with the Restaurant proposal and prior to submitting the major site plan application; the applicant would like to showcase the development proposal and exterior building elevations for the Town Commission's feedback. The building doesn't exhibit one of the four (4) preferred architectural styles; however, **Chapter 20, Section 20-3C). 3).** has provisions to submit elevations where the compatibility of the proposed building will be reviewed for consistency with adjacent architecture on a case-by-case basis. The building elevations won't exceed the maximum allowed three (3) exterior colors. A similar product is the Longhorn Steakhouse within the Village Crossroads Plaza.

The developer has submitted an introduction letter; which is contained within your packets. Please also find the following items:

- Approved Site Plan for the Sam's Out Parcel
- New Proposed Site Plan for Texas Roadhouse
- Exterior Building Elevations for Texas Roadhouse

The applicant is expected to make full site plan submittal within the next few weeks.

FISCAL IMPACT: \$ _____

- Capital Budget
- Operating
- Other

ATTACHMENTS: Ordinance(s) Resolution Budget Resolution

Other – Site Plan

Support Documents/Contracts Available for Review in Manager's Office

 DEPARTMENT HEAD

Submitted 11/12/14 Date

FINANCE DEPARTMENT

Approved as to Budget Requirements Date

TOWN ATTORNEY 

Approved as to Form and Legality Date

TOWN MANAGER



Approved Agenda Item for: 11-19-14 Date

11-12-14

BOARD ACTION: Approved as Recommended Disapproved

Tabled Indefinitely Continued to Date Certain Approved w/Modification



4053 Maple Road
Suite 200
Amherst, NY 14226-1058
t (716) 833-4986
f (716) 833-2954
benchmarkgrp.com

November 6, 2014

Wendy Then, Town Planner
Thad Carroll, Director
Town of Lady Lake
Growth Management Department
409 Fennell Blvd.
Lady Lake, FL 32159

RE: Sam's of Lady Lake – Outparcel

Dear Wendy & Thad,

We are pleased to present to you for your Town Commission's review and consideration of our proposed development of a free-standing national restaurant, Texas Roadhouse on the 2.01 acre parcel with an address of 745 N. Hwy 27/441, Lady Lake, Florida 32159 (Sam's of Lady Lake outparcel).

This national restaurant has executed a lease with our company to build a 7,163 square foot sit-down, full-service restaurant. The restaurant will employ 20 full and part-time employees. Their hours of operation are 3:00 p.m. to 11:00 p.m., 7 days per week.

Our company's entity, Benchmark Lady Lake 25 Associates LLC, will continue to be the owner of record of the parcel. Our company will be responsible for the construction of all site work including grading, paving of parking area, site lighting, irrigation, and landscaping. The tenant's contractor will construct the building and the dumpster enclosure.

We are excited and pleased to be able to bring another national restaurant chain to the Lady Lake market. It restates how dynamic a market we have in Lady Lake that national retailers continue to consider locating in our market.

Please allow us to be put on the agenda for your November 18th Special Commission Meeting.

Our civil engineer for this project is Kimley-Horn and associates. The Tenant's architect is Greenberg-Farrow.

I look forward to addressing the Commissioners on November 18th and answering any questions they may have.

Thank you as always for your assistance and your consideration.

Yours truly,

Martin J. DelleBovi
Executive Vice President
Director of Real Estate

MJD/tlm

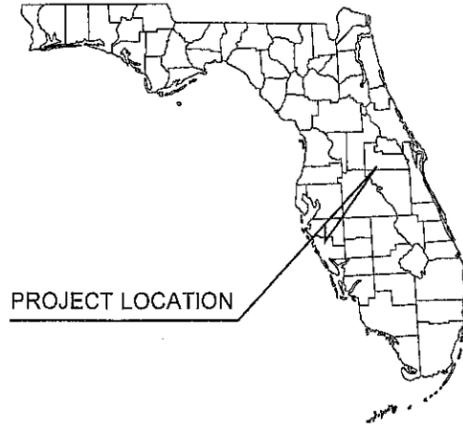
CONSTRUCTION PLANS

FOR

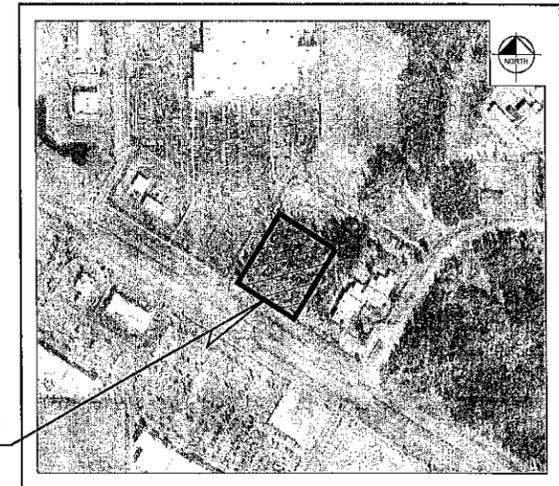


PARCEL ID #: 08-18-24-015002700200

TOWN OF LADY LAKE, FLORIDA
NOVEMBER 5, 2014



PROJECT LOCATION



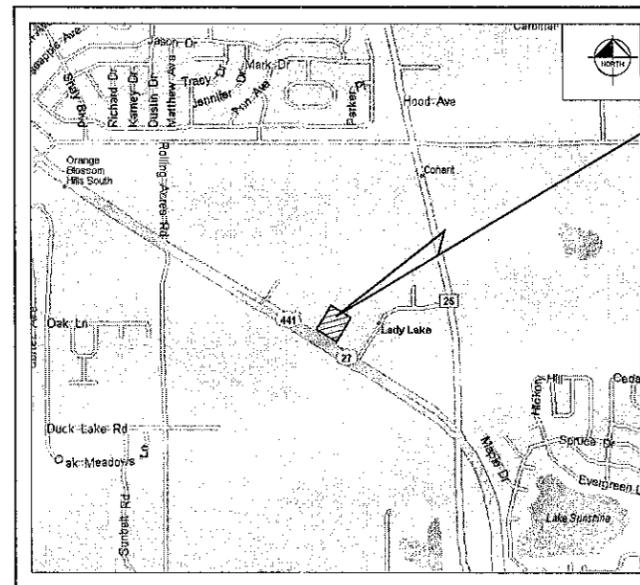
PROJECT LOCATION

AERIAL PHOTOGRAPH
N.T.S.

LEGAL DESCRIPTION

COMMENCE AT THE MOST SOUTHEASTLY CORNER OF LOT 1, HOME DEPOT SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 57, PAGE 22, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; THENCE RUN SOUTH 88° 09' 18" EAST ALONG THE NORTHEASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 27/441, ALSO BEING STATE ROAD NO. 28 AND 500 PER RIGHT-OF-WAY MAP LABELED SECTION 11040 AND DATED 8-01-03, A DISTANCE OF 60.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF SECOND STREET; THENCE CONTINUE SOUTH 88° 09' 18" EAST ALONG THE NORTHEASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 27/441, A DISTANCE OF 617.68 FEET TO THE POINT OF BEGINNING; THENCE DEPARTING SAID NORTHEASTERLY RIGHT-OF-WAY LINE RUN NORTH 31° 51' 47" EAST, A DISTANCE OF 325.00 FEET; THENCE RUN SOUTH 58° 08' 13" EAST, A DISTANCE OF 270.00 FEET; SOUTH 31° 52' 45" WEST A DISTANCE OF 324.92 FEET TO A POINT ON THE AFORESAID NORTHEASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 27/441; THENCE RUN NORTH 58° 09' 18" WEST, A DISTANCE OF 286.90 FEET ALONG NORTHEASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 27/441 TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 2.01 ACRES, 87,724 SQUARE FEET, MORE OR LESS.



PROJECT LOCATION

SECTION 08, TOWNSHIP 18S, RANGE 24E

LOCATION MAP
N.T.S.

SHEET INDEX

- C0.0 COVER SHEET
- C1.0 - C1.1 GENERAL NOTES
- C2.0 STORM WATER POLLUTION PREVENTION PLAN
- C3.0 DEMOLITION PLAN
- C4.0 SITE PLAN
- C5.0 PAVING, GRADING AND DRAINAGE PLAN
- C6.0 UTILITY PLAN
- C7.0 - C7.1 CONSTRUCTION DETAILS
- C7.2 - C7.3 TOWN OF LADY LAKE UTILITY DETAILS
- L-1.0 LANDSCAPE PLAN

PROJECT TEAM

DEVELOPER
BENCHMARK LADY LAKE 25 ASSOCIATES LLC
4053 MAPLE ROAD
AMHERST, NY 14226
CONTACT: OWEN MIETUS
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FAX: (716) 991-1290
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3 EXECUTIVE DRIVE, SUITE 150
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CONTACT: DAWN SCHAFFRAN
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EMAIL: dschaffran@greenbergfarrow.com

ENGINEER
KIMLEY HORN AND ASSOCIATES
3660 MAGUIRE BLVD., SUITE 200
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SANFORD, FLORIDA 32772-2808
PHONE: 407-322-6841
FAX: 407-330-0539

LANDSCAPE ARCHITECT:
URBAN RESOURCE GROUP
A DIVISION OF KIMLEY-HORN AND ASSOCIATES, INC.
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SARASOTA, FL 34232
CONTACT: CHRIS HICE, RLA, ARLA
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FAX: (841) 822-2351
EMAIL: chris.hice@kimley-horn.com

PREPARED BY
Kimley»Horn

© 2014 KIMLEY-HORN AND ASSOCIATES, INC.
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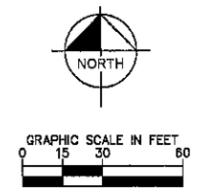
JAY R. JACKSON, P.E.
FL P.E. NO. 64247

NO.	REVISIONS	DATE	BY

TEXAS ROADHOUSE - LADY LAKE
SEPTEMBER 05, 2014
ENGINEER'S PROJECT No. 049372010

Drawing name: K:\DRL_Civil\049372010 Texas Roadhouse-Lady Lake\CADD\CONST\PlanSheets\CO.0-COVER.dwg CO.0-COVER Nov 05, 2014 4:15pm by: robert.spence
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of any information contained on this document without written authorization and captioned by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Plotted By: Emma, Robert, Sheet: S11, TexasRoadhouseLLC, Layout: C4.0 - SITE, November 05, 2014, 04:16:02PM, K:\SPL_Civil\049372010, Texas Roadhouse - Lady Lake\CADD\CIVIL\PlanSheet\C4.0 - SITE.dwg
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SITE DATA:

PROJECT AREA:	2.01 ACRES (87,555.60 SF)
EXISTING USE:	VACANT
PROPOSED USE:	RESTAURANT
ZONING:	HC
BUILDING AREA:	7,163 SF
MAX. ALLOWABLE IMPERVIOUS AREA:	80% (1,508 AC) (70,044.48 SF)
PROPOSED IMPERVIOUS AREA:	20
NUMBER OF EMPLOYEES:	20
PROPOSED IMPERVIOUS AREA:	0.16 AC (7,163 SF)
BUILDING:	0.05 AC (2,274 SF)
CONCRETE (SIDEWALKS, ETC.):	1.28 AC (55,655 SF)
ASPHALT DRIVE AND PARKING AREA:	1.46 AC (65,092 SF)
TOTAL IMPERVIOUS AREA:	0.20 AC (8,785.55 SF)
PROPOSED PERVIOUS (OPEN) AREA:	0.48 AC (20,932.5 SF)
10% INTERNAL PERVIOUS AREA REQUIRED:	0.48 AC (20,932.5 SF)
PROVIDED:	

BUILDING SETBACKS:

FRONT(S.R. 441)	REQUIRED	PROVIDED
FRONT	80' MAX	10'
REAR	15'	21'
SIDES	5'	26'

PARKING REQUIRED:

1 SPACE PER 2 SEATS:	141 SPACES
(201 SEATS / 2) =	
1 SPACE PER 2 EMPLOYEES:	10 SPACES
(20 EMPLOYEES / 2) =	
TOTAL PARKING SPACES:	151 SPACES

PARKING PROVIDED:

HANDICAP SPACES	5 SPACES
REGULAR SPACES	132 SPACES
TOTAL SPACES	137 SPACES

BICYCLE PARKING REQUIRED:

0.03 SPACES PER REQUIRED VEHICULAR PARKING (137/0.03) =	4 SPACES
---	----------

BICYCLE PARKING PROVIDED:

BICYCLE PARKING	4 SPACES
-----------------	----------

LOADING ZONE:

REQUIRED (12'x25')	2 LOADING ZONES
LOADING WILL BE PERFORMED DURING OFF HOURS	

NOTE:
NO FENCES OR WALLS ARE PROPOSED ON THIS DEVELOPMENT.

NO.	REVISIONS	DATE	BY

Kimley»Horn

© 2014 KIMLEY-HORN AND ASSOCIATES, INC.
3680 MAGUIRE BOULEVARD, SUITE 200, ORLANDO, FL 32803
PHONE: 407-898-1511
WWW.KIMLEY-HORN.COM CA 00000696

LICENSED PROFESSIONAL
JAY R. JACKSON, P.E.
FLORIDA LICENSE NUMBER 54247

KHA PROJECT 049372010
DATE 11/05/2014
SCALE AS SHOWN
DESIGNED BY RWS
DRAWN BY RWS
CHECKED BY JRU DATE

SITE PLAN





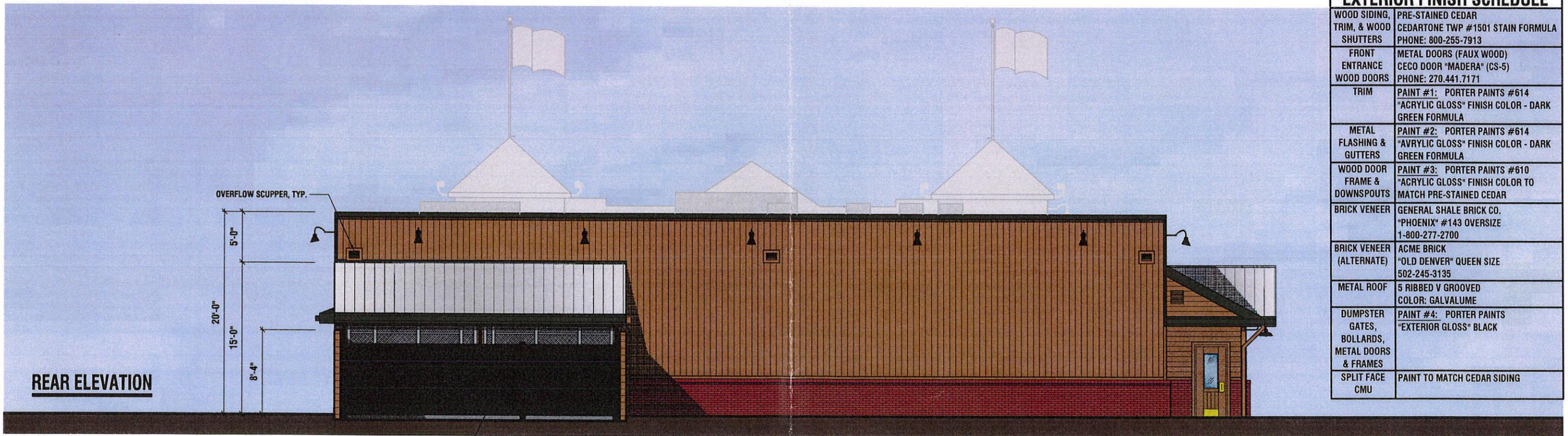
BRICK PILASTER

BRICK WAINSCOT

METAL DOWNSPOUT
PAINT #3

- 5-RIB V-GROOVE METAL ROOF
- 6" LAP CEDAR SIDING
- ACCENT LIGHT FIXTURE, TYP.
- FIXED PRE-STAINED CEDAR SHUTTER
- METAL FLASHING, PAINT #2
- WHITE LED
- 5-RIB V-GROOVE METAL ROOF
- METAL GUTTER, PAINT #2
- STAINED WOOD AND GLASS WINDOWS
- 8" LAP CEDAR SIDING

FRONT ELEVATION



OVERFLOW SCUPPER, TYP.

STEEL BOLLARDS WITH METAL WALL
PANEL GATES BEYOND, PAINT #4

REAR ELEVATION

EXTERIOR FINISH SCHEDULE	
WOOD SIDING, TRIM, & WOOD SHUTTERS	PRE-STAINED CEDAR CEDARTONE TWP #1501 STAIN FORMULA PHONE: 800-255-7913
FRONT ENTRANCE WOOD DOORS	METAL DOORS (FAUX WOOD) CECO DOOR "MADERA" (CS-5) PHONE: 270.441.7171
TRIM	PAINT #1: PORTER PAINTS #614 "ACRYLIC GLOSS" FINISH COLOR - DARK GREEN FORMULA
METAL FLASHING & GUTTERS	PAINT #2: PORTER PAINTS #614 "AVRYLIC GLOSS" FINISH COLOR - DARK GREEN FORMULA
WOOD DOOR FRAME & DOWNSPOUTS	PAINT #3: PORTER PAINTS #610 "ACRYLIC GLOSS" FINISH COLOR TO MATCH PRE-STAINED CEDAR
BRICK VENEER	GENERAL SHALE BRICK CO. "PHOENIX" #143 OVERSIZE 1-800-277-2700
BRICK VENEER (ALTERNATE)	ACME BRICK "OLD DENVER" QUEEN SIZE 502-245-3135
METAL ROOF	5 RIBBED V GROOVED COLOR: GALVALUME
DUMPSTER GATES, BOLLARDS, METAL DOORS & FRAMES	PAINT #4: PORTER PAINTS "EXTERIOR GLOSS" BLACK
SPLIT FACE CMU	PAINT TO MATCH CEDAR SIDING

6



SPECIAL TOWN COMMISSION – CONCEPTUAL WORKSHOP AGENDA ITEM

REQUESTED MEETING DATE: November 18, 2014

SUBJECT: Resolution 2014-102 - Conceptual Presentation of alternative Historic Tree removals for the Plaza Professional Center (AK 3808678), tabled from May 5, 2014 meeting.

DEPARTMENT: GROWTH MANAGEMENT

STAFF RECOMMENDED MOTION:

Staff is not providing a recommendation at this time as to which alternative should be pursued, as a formal application has not been filed for the request. Further, both proposals require a variance; therefore, which tree or trees should be removed would be the discretion of the Town Commission and how they would rather see the property developed. Given the many trees that do exist in the office park and the effort made to find an alternative, staff does recommend that one option be chosen for tree removal.

SUMMARY

At this time the property owners, Brian W. Warwick, Janet R. Varnell, and Ellen Robards, have submitted an alternative proposal for the development of a new building in the Plaza Professional Center, which proposes the removal of two (2) historic trees. In lieu of the prior proposal to remove one historic tree, the property owners have elected to propose a change of the location of the building which requires the removal of a 45" Live Oak and a 42" Live Oak. The owners also reassessed the size of the prior tree finding that it is a tree with a 60" diameter.

At this time, Mr. Warwick on behalf of the other property owners is seeking direction as to whether he should resume the application for Resolution 2014-102, for the removal of one (1) historic tree; or, if he should proceed with the alternative proposal for two (2) historic trees. At this time, documentation is limited regarding the new proposal, as a formal application again has not been filed. Mr. Warwick has stated that he intends to summarize his alternative proposal and exhibit photos of the alternative trees at the meeting on November 18, 2014. The tree locations have been provided in the packet.

FISCAL IMPACT: \$ 0

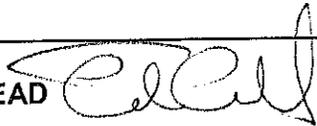
- Capital Budget
- Operating
- Other

ATTACHMENTS: Ordinance(s) Resolution Budget Resolution

Other

Support Documents/Contracts Available for Review in Manager's Office

DEPARTMENT HEAD



Submitted

11/12/18

Date

FINANCE DEPARTMENT

Approved as to Budget Requirements

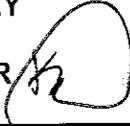
Date

TOWN ATTORNEY

Approved as to Form and Legality

Date

TOWN MANAGER



Approved Agenda Item for:

11/19/18

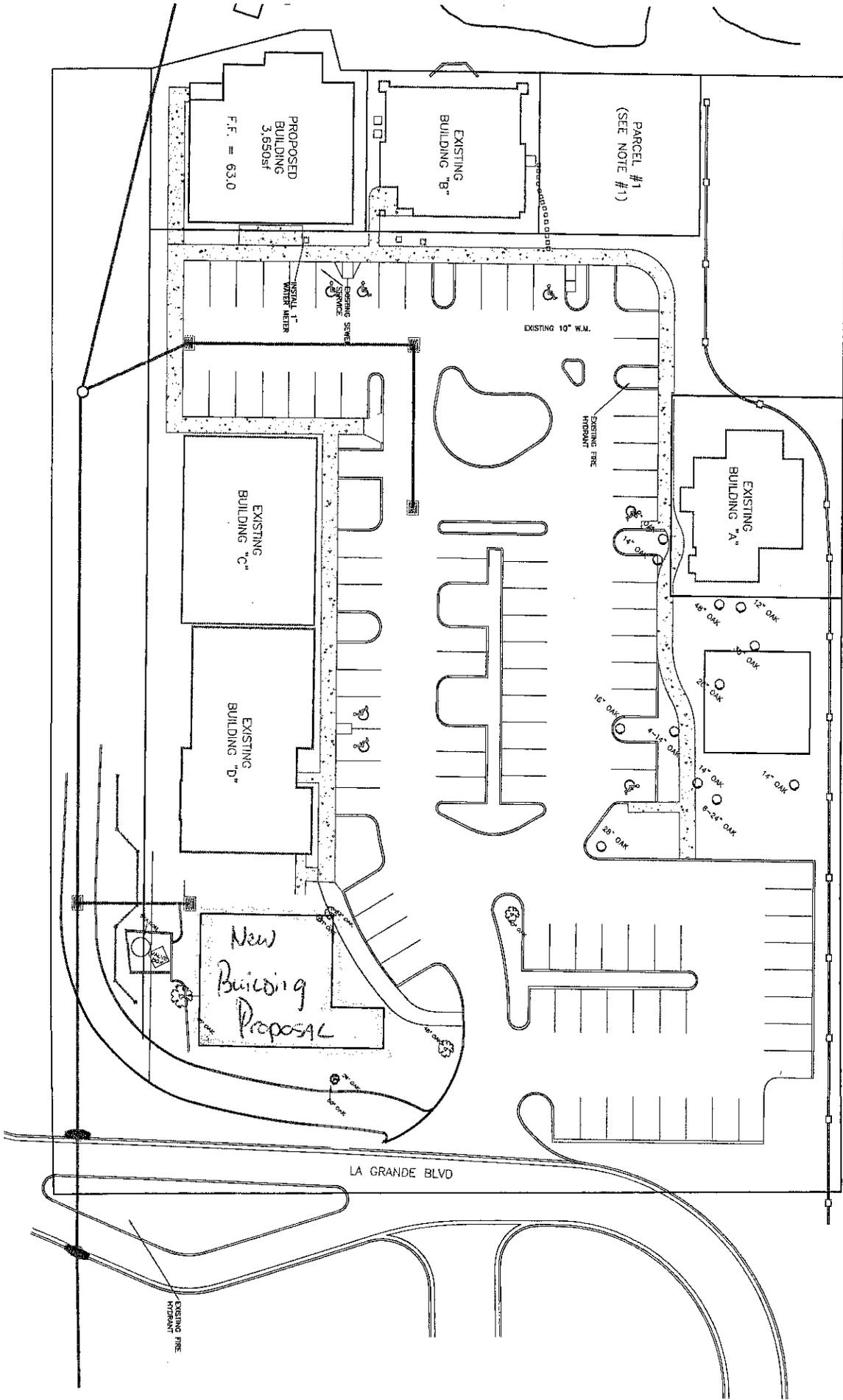
Date

11/12/18



BOARD ACTION: Approved as Recommended Disapproved

Tabled Indefinitely Continued to Date Certain Approved w/Modification



PARCEL #1
(SEE NOTE #1)

EXISTING
BUILDING "B"

PROPOSED
BUILDING
3,650sf
F.F. = 63.0

EXISTING
BUILDING "A"

EXISTING
BUILDING "C"

EXISTING
BUILDING "D"

New
Building
Proposal

EXISTING 10" W.M.

EXISTING FIRE
HYDRANT

EXISTING SEWER
EXISTING 1" WATER METER

LA GRANDE BLVD

EXISTING FIRE
HYDRANT

GRAPHIC SCALE

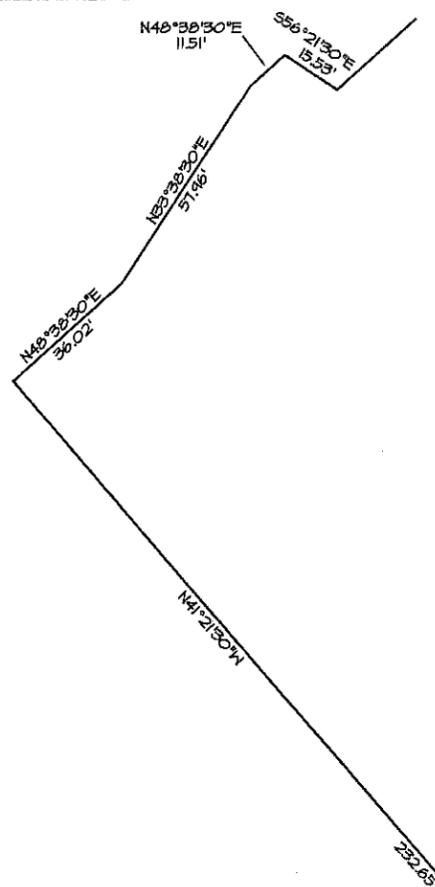


NOTES:

- 1) BEARINGS ARE BASED ON THE SOUTHEASTERLY LINE OF THE PARCEL DESCRIBED HEREON, HAVING A RADIAL BEARING OF S. 47°4'59" W., ASSUMED MERIDIAN.
- 2) UNDERGROUND IMPROVEMENTS, IF ANY, WERE NOT LOCATED.
- 3) INTERIOR IMPROVEMENTS, IF ANY, AS SHOWN.
- 4) LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP OR ANY OTHER INSTRUMENT OF RECORD BY THIS FIRM.
- 5) CERTIFICATION LIMITED TO PARTIES NAMED HEREON.
- 6) THE LANDS SHOWN HEREON APPEAR TO LIE WITHIN ZONE "X" & "A" AREAS AS PER THE NATIONAL FLOOD INSURANCE PROGRAMS FLOOD INSURANCE RATE MAP (FIRM), PANEL 84 OF 80, MAP NUMBER 12066G0154 E, EFFECTIVE DATE, DECEMBER 18, 2012.
- 7) REPRODUCTIONS OF THIS PLAT ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- 8) BOUNDARY INFORMATION SHOWN HEREON HAS TAKEN FROM SITE PLAN PREPARED BY PARKER & GRANT, JOB NO. 66099, DATED, 3-11-06. THIS IS NOT A BOUNDARY SURVEY. ADDITIONAL IMPROVEMENTS EXIST, NOT SHOWN AT CLIENT'S OR HIS/HER AGENT'S REQUEST.

ABBREVIATIONS:

- N = NORTH
- S = SOUTH
- E = EAST
- W = WEST
- FD. = FOUND
- RLS = REGISTERED LAND SURVEYOR
- LB = LICENSED BUSINESS
- CONC. = CONCRETE
- ELEC. = ELECTRIC
- TV. = TELEVISION
- Δ = DELTA
- R = RADIUS
- L = LENGTH
- C = CHORD
- CB = CHORD BEARING

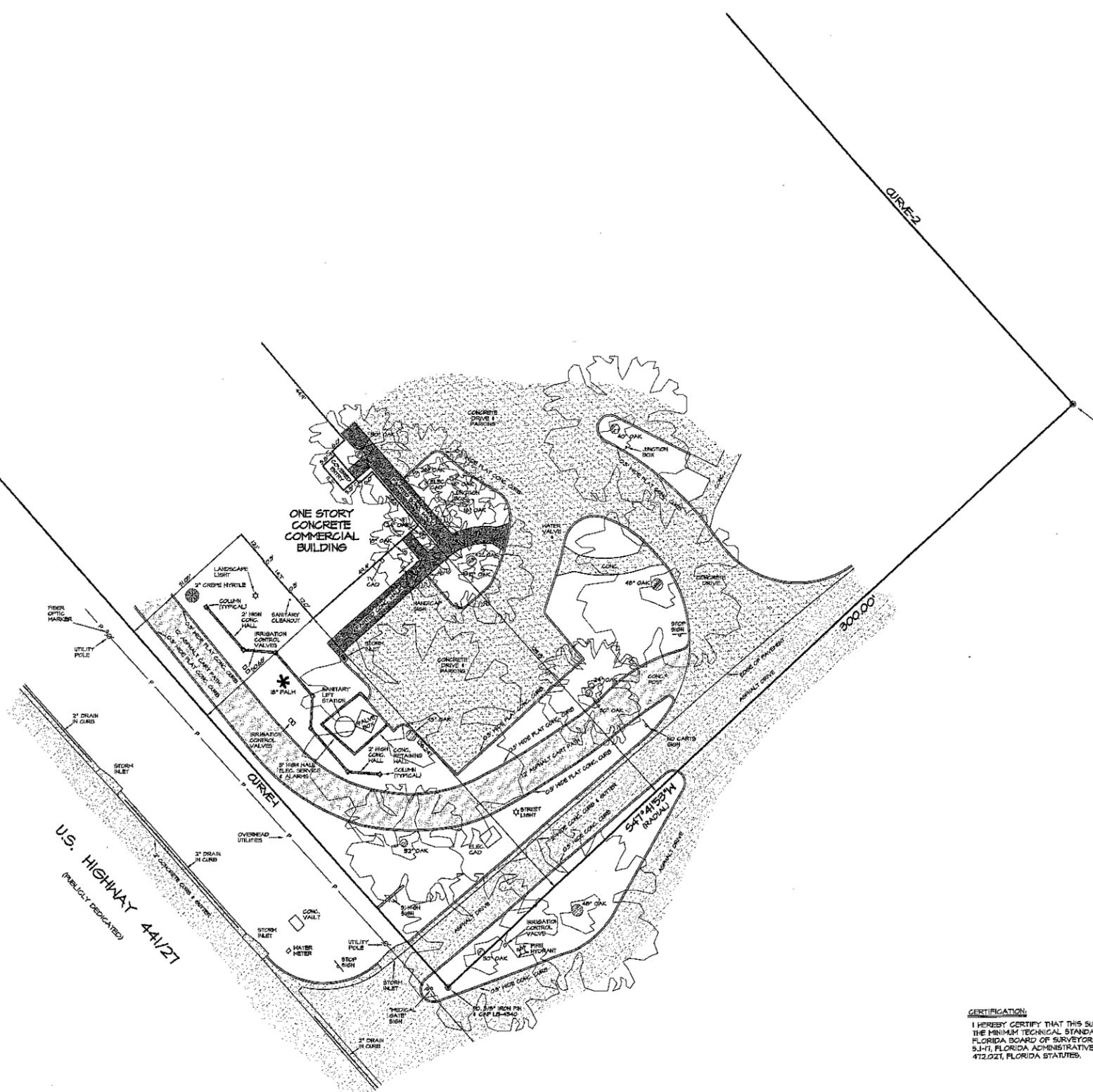


CURVE-1
 $\Delta = 00^{\circ}56'38''$
 $R = 11354.20'$
 $L = 187.13'$
 $C = 187.13'$
 $CB = N41^{\circ}44'44''W$

CURVE-2
 $\Delta = 00^{\circ}56'38''$
 $R = 11054.20'$
 $L = 182.21'$
 $C = 182.21'$
 $CB = S41^{\circ}44'44''E$

DESCRIPTION:

FOR A POINT OF BEGINNING, BEGIN AT SOUTHWEST CORNER OF LOT 45B, ORANGE BLOSSOM GARDENS, UNIT 4, AS RECORDED IN PLAT BOOK 26, PAGE 95 OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, THENCE S. 41°30' E., 18.32 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 11054.20 FEET THENCE SOUTHEASTERLY ALONG AND WITH THE ARC OF SAID CURVE, A CHORD BEARING AND DISTANCE OF S. 41°44'15\"/>



CERTIFICATION:
 I HEREBY CERTIFY THAT THIS SURVEY AND PLAT CONFORMS TO THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 51.F1, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 412.021, FLORIDA STATUTES.

DONALD S. WADE
 PROFESSIONAL SURVEYOR & MAPPER
 FLORIDA CERTIFICATE NO. 4685

PHONE: (352)753-6311	WSI PROFESSIONAL SURVEYING & MAPPING WADE SURVEYING, INC. L.S. 6314	FAX: (352)753-0374
1609 TRACY AVENUE	LADY LAKE, FLORIDA 32159	
PARTIAL HORIZONTAL AS-BUILT SURVEY certified to: BURNED OFFICE PARK		
DATE OF FIELD WORK	06/06/14	
FIELD BOOK/PAGE	1521 / 13-14	
DATA FILE	11-3222	
SECTION, TOWNSHIP, RANGE	07-18-24	
SCALE OF DRAWING	1" = 20'	
DRAWN BY	14-522	
A PARCEL OF LAND LYING SOUTHWESTERLY OF ORANGE BLOSSOM GARDENS, UNIT 4, PLAT BOOK 26, PAGES 95, 150, LAKE COUNTY, FLORIDA.		

DATE	R.W.H.	DATE	06/19/14
DATE	W.C.	DATE	0-04/00
NO.	247671/1-02	SHEET	1 OF 1

AMENDED HISTORIC TREE VARIANCE APPLICATION

Parcel No. 3808678 – Brian W. Warwick, et al.

The real property in question is located within the La Plaza Grande Professional Center. The lot in question is the last remaining office space to be developed. The deed to this parcel specifies that a commercial building of “up to 4,286 square feet” is to be constructed on this site. In fact, the owners have been paying maintenance costs to the owner’s association for several decades based upon a building size of 4,286 square feet.

I. Initial Tree Variance Application

Within the last year, these owners requested a Historic Tree Variance to remove a 60” live oak tree from the property to accommodate a building and parking area to be located on the East side of the property. However, when it became clear that the Council was not going to allow removal of this tree, the owner indefinitely tabled the request. As a result of the inability to remove this first tree, the owners lost the sale of the property at considerable cost. Thereafter, additional surveys were completed and new site plans drawn to accommodate two smaller buildings on the property. However, this alternative location still requires the removal of two smaller historic trees.

II. Alternative Tree Variance Application

The owners are now requesting an alternative Historic Tree Variance to remove two Historic Trees; (1) a 45” live oak tree; and (2) a 42” live oak tree that lie directly within the building pad of the new proposed office space in the alternative location on the west side of the property. Because there shall remain many other historic trees within the parcel, the removal of these trees will not have a significant impact.

The La Plaza Grande Professional Center subdivision was created and given approval nearly 30 years ago. It is so highly populated with historic trees that it bears more resemblance to a natural tree stand than a commercial professional office subdivision. Removal of these two trees will have very little impact on the subdivision because there are more large historical trees in the tiny subdivision than any other professional office in the area. In fact, the existing trees will actually benefit from the increased available sunlight occasioned by the removal of the subject trees.

The current canopy of the trees in the subdivision already covers the vast majority of the parking lot and common areas. The proximity of the trees and their root structures to the building footprint will cause substantial harm to the trees. Removing the concrete parking area that currently surrounds the trees at issue, digging the footings for the foundation and pouring the new slab over the root structure will damage existing roots and make the tree unstable and dangerous. More importantly, the building cannot be built under the tree because it simply will not fit.

The Other Factors to be considered weigh in favor of granting the variance:

1. **Diminution in Value of Surrounding properties.** As stated above, the existing trees already within the subdivision provide for an extensive canopy which shades the entire parking lot and the majority of common areas. Removing the trees in question will actually allow the existing trees more sunlight and water so that they will continue to flourish. Building the final buildings, adding additional parking, and completing the subdivision will be beneficial for all owners within the subdivision. Thus, there will be no diminution in value to the surrounding properties if the trees in question are removed.
2. **Permit would be a benefit to the public interest.** The Town of Lady Lake approved a building site within the La Plaza Grande Professional Center nearly 30 years ago. The completion of the building(s) on this location will bring additional revenue and business to the city and will allow the other residents of the professional center to finalize their subdivision and the parking area can finally be turned over to the association. Accordingly, the granting of this permit would be beneficial to the public interest.
3. **Denial would result in unnecessary hardship to the owner.** As explained above, the owner paid fair market value for a building to be built within an established subdivision that was deeded for a 4,286 square foot commercial office building. This alternative plan allows for the retention of the extremely large 60" live oak tree which the Town was concerned with previously. Failure to grant the variance would result in the owners having to essentially forfeit the property as there is simply not adequate space for the building, the parking and the trees.
4. **Use must not be contrary to the spirit of the code.** The Historic Tree Variance is intended to retain historic trees when possible. The parcel in question has more historic trees located within the property such that the removal of these two trees will not significantly reduce the canopy. Instead, by removing these two trees, the larger live oak tree that was the subject of the previous application can be saved as well as many other historic trees within the parcel. Therefore, this application is consistent with the spirit of the code rather than contrary to it.
5. **Financial damages is not the only reason for the permit.** The dangers associated with the overhanging limbs and the damage to the trees that will be caused to the root system from the construction process shows that financial damages are not the only reason for the requested variance.
6. **Physical hardships may be considered.** This Variance request does not involve any physical disabilities of the applicant.



TOWN COMMISSION AGENDA ITEM

REQUESTED MEETING DATE: May 5, 2014 – Continued from April 21, 2014

SUBJECT: Resolution 2014-102 –Plaza Professional Center– Variance Request to Authorize the removal of One (1) 38" Historic Tree to Accommodate the construction of a new office building on the last remaining parcel at the Site –302 La Grande Blvd. (Alternate Key #3808678).

DEPARTMENT: GROWTH MANAGEMENT

STAFF RECOMMENDED MOTION:

Staff recommends approval of a motion to table Resolution 2014-102 to a date uncertain, as per the applicant's request, in an effort to allow more time to explore what other alternatives may exist to save the tree and provide adequate parking for the proposed building.

Tabling the item will also provide additional time to formulate a site plan that would be suitable for presentation and approval by the Villages Development Review Committee (DRC) prior to bringing a final proposal to the Town Commission for their consideration. The applicant is tasked with providing all required spaces for approval by the Villages, as well as the other tenants of the professional park, even though the Town Commission may be willing to grant a variance to the parking requirements in an effort to preserve the tree.

SUMMARY

Applicant, Fran Dann-Akin, on behalf of property owners Brian W. Warwick, Janet R. Varnell, and Ellen Robards, has submitted an application for a variance in accordance with Chapter 10, Section 10-4.f) of the Land Development Regulations (LDRs) which states that on all properties, the removal of historic trees shall require a variance from the Planning and Zoning Board and then Town Commission.

The applicant proposes the removal of a 38" Historic Live Oak Tree to accommodate the construction of up to 4,300-square-foot of new office building space on the last remaining parcel at the Plaza Professional Center Site. The applicant states that due to the fact that the historic tree lies directly within the building pad, it is required to be removed. Additionally, the applicant indicated that the tree exhibits excessive lean

which would endanger any future building erected and the root structure of the tree will suffer substantial damage during and after construction if the tree were to remain (Please see Justification Statement attached). The conceptual parking plan proposes 25 spaces; the requirement for a 4,300 square foot facility is 22 spaces (1 space per 200 Square Feet).

The application originally referenced the project as being within La Plaza Grande Professional Center; however, now it has been corrected to properly identify the Plaza Professional Center as the correct property reference of the site, which is just north of the La Plaza Grande Professional Center.

When reviewing an application for a variance, the Planning and Zoning Board and the Town Commission shall consider the following requirements and criteria according to Chapter 3, Section 14 f) – Review criteria for variances in the Land Development Regulations:

1. No diminution in value of surrounding properties would be suffered.
2. Granting the permit would be of benefit to the public interest.
3. Denial of the permit would result in unnecessary hardship to the owner seeking it.
4. The use must not be contrary to the spirit of this Code.
5. Financial disadvantages and/or inconveniences to the applicant shall not of themselves constitute conclusive evidence of unnecessary and undue hardship and be grounds to justify granting of a variance.
6. Physical hardships such as disabilities of any applicant may be considered grounds to justify granting of a variance at the discretion of the Town Commission.

The subject property lies in Section 07 Township 18 South Range 24 East, Lady Lake Florida. The Future Land Use Map designation for the site is Commercial General-Retail Sales & Services (RET) and is zoned Planned Commercial (CP). The subject property is located at 302 La Grande Blvd. within the Plaza Professional Center (Alternate Key 3808678); within the town limits of the Town of Lady Lake, Florida. Resolution 2014-102 was reviewed by Town Attorney, Derek Schroth, on Tuesday, February 25, 2014, and determined correct in form.

Notices to inform the surrounding property owners (16) within 150' of the subject property of the proposed variance were mailed by certified mail return receipt on Monday, February 24, 2014. The property was posted on Tuesday, February 25, 2014.

Comments:

- The applicant is aware that a \$3,800 fee is due to the Town to mitigate the removal of the tree and is prepared to make payment to the Tree Bank pending approval of the resolution.
- If the variance is granted, the applicant will continue with the Site Plan application process for approval of the improvements proposed at the remaining vacant lot. All landscaping buffer requirements and planting would have to be satisfied during this process.

New Findings:

- A minor site plan (MSP #07/04-004) was approved on July 19, 2004, for the Allergy, Sinus and Asthma Center within the Plaza Professional Center (see plan attached and letter from Town Manager to Dr. Neuzil). On the plan it was indicated that on the subject parcel there was to be a future building; the conceptual location and parking area was on the plan. The future building was indicated to be 4,300 square feet. Ninety-nine (99) spaces would be the total parking provided for the professional park.
- The applicant has supplied a few alternatives since the last report. Alternative "A" was done in conjunction with Michael Pape, Registered Landscape Architect, shifting the building away from the tree; however only allowing 17 of the 22 necessary parking spaces.
- Alternative "B" was completed as a result of discussions with Town Staff to see if the provision of Golf Cart Parking will be sufficient to meet the 99 spaces count for the professional plaza. Though the Commission may be favorable to granting a parking variance in an effort to save the tree, the applicant contends that the landowners as well as the Villages will require the full provision of spaces.
- Alternative "C" was submitted on April 28th, 2014, and has not been reviewed by the Villages for comment; this alternative would put all of the parking on the area currently proposed for the new building and parking. Additional trees may need to be removed for this alternative, though of lesser diameter than the present proposal. There is utility between the "New Building" location and the golf cart path which access may need to remain open. The applicant is evaluating that with his engineer.
- Bill Jones, Villages Architect, has stated that he has no problem removing the tree if the square footage and parking requirements can be met; however, he has requested that a plan be approved by the Villages Development Review Committee (DRC) before the tree is removed (see e-mail 04/21/14).
- It has been recommended to the applicant to that he denote all of the Historic Trees within the professional park if he wishes to accurately detail the difficulty he claims to have with providing the adequate space for development within the property. In addition, it has also been recommended that he obtain a suitable plan from the property owners and the Villages, before presenting to the Commission for approval in an effort to avoid coming back to the Commission for other variances prior to development in the future.

Past Actions:

At the March 17, 2014 Commission Meeting, the Town Commission requested that an alternative plan be presented to determine whether the tree could be saved if the building or parking configuration were changed. At the April 7th Meeting, again Resolution 2014-02 was continued to the April 21st Meeting. At the April 21st Meeting, the item was again continued to a date certain; the purpose for the postponement is to verify whether the Town approved a previous site plan, and also to allow the applicant to make adjustments to the plan.

The **Technical Review Committee** reviewed the application for Resolution 2014-102 at its regular meeting on Tuesday, February 18, 2014, recommending approval with a 3-0 vote.

On March 10, 2014, the **Planning and Zoning Board** reviewed Resolution 2014-102 at their regular meeting and recommended approval to the Town Commission by a 3-1 vote.

At the March 17, 2014 meeting, the **Town Commission** approved tabling Resolution No. 2014-102 to the April 7, 2014 Commission Meeting.

At the April 7, 2014 meeting, the **Town Commission** approved tabling Resolution No. 2014-102 to the April 21, 2014 Commission Meeting.

At the April 21, 2014 meeting, the **Town Commission** approved tabling Resolution No. 2014-102 to the May 5, 2014 Commission Meeting.

FISCAL IMPACT: \$ 0

- Capital Budget
- Operating
- Other

ATTACHMENTS: Ordinance(s) Resolution Budget Resolution

Other

Support Documents/Contracts Available for Review in Manager's Office

D
4-29-14

DEPARTMENT HEAD *[Signature]*

Submitted 4/29/14

Date

FINANCE DEPARTMENT

Approved as to Budget Requirements

Date

TOWN ATTORNEY

Approved as to Form and Legality

Date

TOWN MANAGER *[Signature]*

Approved Agenda Item for: 5/5/14

Date

4/29

BOARD ACTION: Approved as Recommended Disapproved

Tabled Indefinitely Continued to Date Certain Approved w/Modification

RESOLUTION NO. 2014-102

A RESOLUTION GRANTING A VARIANCE TO AUTHORIZE THE REMOVAL OF ONE HISTORIC TREE IN ACCORDANCE WITH CHAPTER 10, SECTION 10-4).f), OF THE TOWN OF LADY LAKE LAND DEVELOPMENT REGULATIONS, ON PROPERTY OWNED BY BRIAN W. WARWICK, JANET R. VARNELL, AND ELLEN R. ROBARDS, LOCATED AT 302 LA GRANDE BLVD., WITHIN THE PLAZA PROFESSIONAL CENTER (ALTERNATE KEY 3808678), WITHIN THE TOWN LIMITS OF THE TOWN OF LADY LAKE, FLORIDA.

WHEREAS, Brian W. Warwick, Janet R. Varnell, and Ellen R. Robards, the property owners of certain real property located in the Town of Lady Lake, Florida, more particularly described in Exhibit "A", have petitioned for a variance from the provisions of Chapter 10, Section 10-4).f), which requires a variance for the removal of historic trees; and

WHEREAS, the applicants are requesting to be allowed to remove one (1) historic tree on the property located at 302 La Grande Blvd., within the Plaza Professional Center (Alternate Key 3808678), within the town limits of the Town of Lady Lake, Florida; and

WHEREAS, the Town Commission of the Town of Lady Lake held a public hearing to consider the variance request and having heard evidence and testimony on said request, found it to be consistent with the Lady Lake Comprehensive Plan and requirements for variances set forth in the Land Development Regulations of the Town of Lady Lake.

NOW, THEREFORE, BE IT RESOLVED that the Town Commission of the Town of Lady Lake, Florida, hereby grants a variance from the provisions of Chapter 10, Section 10-4).f) of the Town of Lady Lake Land Development Regulations, which requires a variance for the removal of historic trees, and to allow for the removal of one (1) historic tree on the property located at 302 La Grande Blvd., within the Plaza Professional Center (Alternate Key 3808678), within the town limits of the Town of Lady Lake, Florida.

This Resolution shall take effect immediately upon its final adoption by the Town Commission.

RESOLVED this 5th day of May, 2014, in Lady Lake, Florida, by the Lady Lake Town Commission.

**TOWN OF LADY LAKE
LAKE COUNTY, FLORIDA**

Ruth Kussard, Mayor

ATTEST:

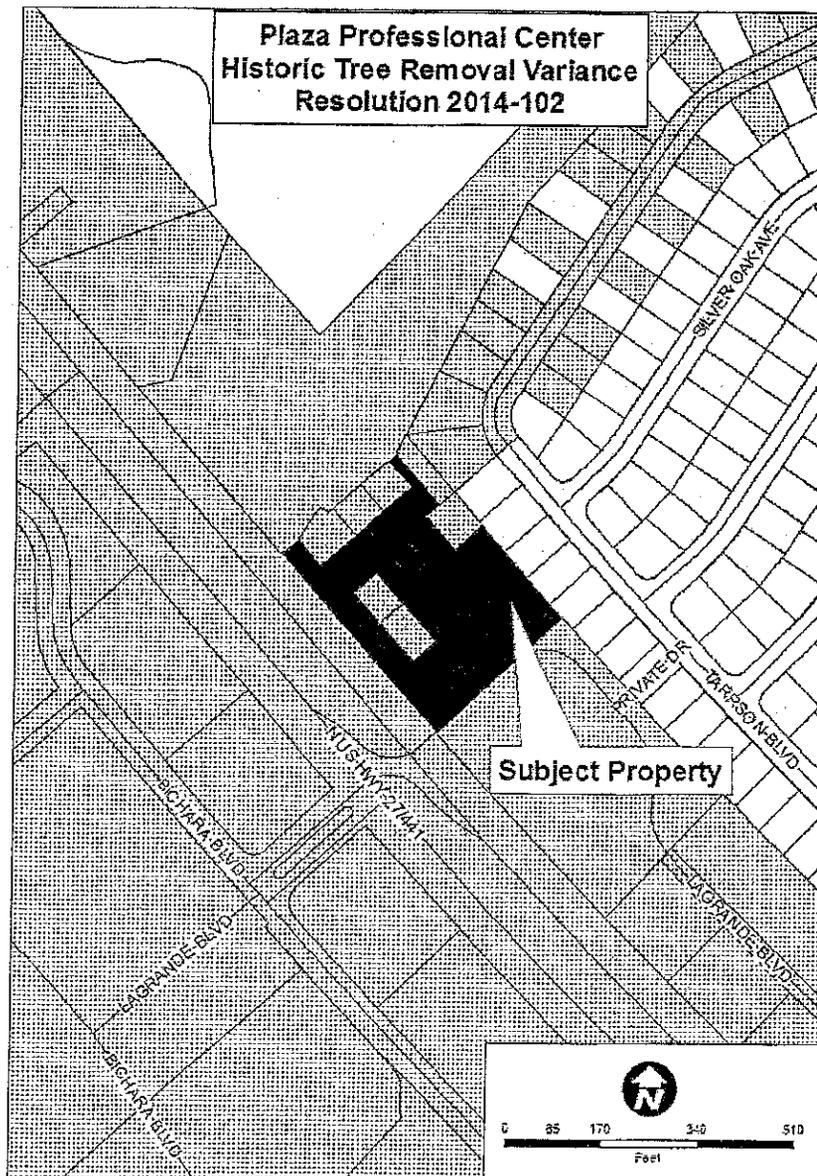
Kristen Kollgaard, Town Clerk

APPROVED AS TO FORM:

Derek Schroth, Town Attorney

EXHIBIT "A"
LEGAL DESCRIPTION

FROM S'LY COR OF LOT 457 ORANGE BLOSSOM GARDENS UNIT 4 PB 26 PG 55, RUN S 41-21-30 E 75 FT FOR POB, CONT S 41-21-30 E 38.32 FT TO THE BEGINNING OF A CURVE CONCAVE NE'Y & HAVING A RADIUS OF 11059.20 FT, THENCE SE'LY ALONG THE ARC OF SAID CURVE THRU A CENTRAL ANGLE OF 0-56-38, AN ARC LENGTH OF 182.19 FT, THENCE S 47-41-53 W 300 FT TO A POINT ON NE'LY R/W LINE OF US HWY 441, SAID POINT BEING ON A CURVE CONCAVED NE'LY & HAVING A RADIUS OF 11359.20 FT & A RADIAL BEARING OF S 47D-41-53 W, THENCE NW'LY ALONG THE ARC OF SAID CURVE & SAID NE'LY R/W LINE THRU A CENTRAL ANGLE OF 0-56-38, AN ARC LENGTH OF 187.13 FT TO THE END OF SAID CURVE, THENCE N 41-21-30 W 232.65 FT, N 48-38-30 E 36.02 FT, S 41-21-30 E 60 FT, N 48-38-30 E 208.93 FT, N 41-21-30 W 60.02 FT, N 48-38-30 E 20.12 FT, S 41-21-30 E 119.33 FT, S 48-38-30 W 30 FT, S 41-21-30 E 75 FT, N 48-38-30 E 65 FT TO POB--LESS FROM S'LY COR OF LOT 457 ORANGE BLOSSOM GARDENS UNIT 4 RUN S 48-30-30 W 199 FT, S 41-21-34 E 17.32 FT FOR POB, CONT S 41-21-34 E 157 FT, S 48-38-26 W 50.84 FT, N 41-21-34 W 157 FT, N 48-38-26 E 50.84 FT TO POB--ORB 2684 PG 22 |



Thad Carroll

From: Brian Warwick [bwarwick@varnellandwarwick.com]
Sent: Tuesday, April 29, 2014 6:53 PM
To: Thad Carroll
Cc: Wendy Then
Subject: Warwick Tree Variance Application

Mr. Carroll,

Thank you for your time and attention these past two weeks as we attempt to work towards a solution regarding the development of our site. As you know, we are currently investigating two alternative plans for keeping the historic tree. At this point, there are three (3) issues that prevent us from being able to present the Commissioners with a definitive plan for moving forward.

First, there are several sewer, water and electric easements on the property that must be located and investigated to determine whether any of the alternative building sites would be feasible. Once located, an engineer will have to determine whether the lines can be moved and the costs associated. This process may also involve contacting several different utilities.

Second, and probably most importantly, the parking situation has to be addressed for any alternative site. I have received word from the current owners that the parking situation in its current form is often crowded already and that an alternative plan that does not include at least the 99 spaces initially contemplated would over-tax the existing parking and burden the existing businesses and their customers. Additionally, the doctors that are currently set to take over this proposed new building have approximately 10 full time employees and would see more than 100 patients a day. Finally, because this site is within the older section of The Villages, there are very few customers/patients that visit this location via golf cart. Any proposed plan that calls for golf cart parking would therefore not satisfy the parking requirements of the entire development.

Third, whatever we do should be approved by The Villages Commercial ARC. It seems irrational and a waste of everyone's time for us to move forward with an alternative plan that satisfies the concerns of the Commissioners but then fails to pass approval with ARC. Thus, we propose to have approval from ARC for whatever alternative plan that can be arranged before coming back to the Commissioners for final approval. The alternative may have us starting from scratch again shortly.

For all these reasons, I am respectfully requesting that the Town of Lady Lake allow me to table this Tree Variance to a future date uncertain so that we can investigate the alternative plans as set forth above.

Brian W. Warwick
VARNELL & WARWICK, P.A.
P.O. BOX 1870
LADY LAKE, FL 32158
TEL: (352) 753-8600
bwarwick@varnellandwarwick.com
www.varnellandwarwick.com

This email is covered by the Electronic Communications Privacy Act, 18 U.S.C §§2510-2521 and is legally privileged. This e-mail message and any files transmitted with it are also subject to the attorney-client

Thad Carroll

From: Brian Warwick [bwarwick@varnellandwarwick.com]
Sent: Wednesday, April 23, 2014 6:16 PM
To: Thad Carroll
Subject: RE: Tree Variance

Thad,

I have not heard back from the Villages. I took my dog to the Village Veterinarian who is located within the development this morning at 11 am. When I arrived, I had to park near my vacant lot because there were no parking spaces available. While I waited, I went out and counted the empty spaces and there were only 13 spaces unoccupied, and some of those were handicapped. (I have photos).

The doctors have 11 full time employees, including themselves, and they see approximately 120 patients per day, most of which do not travel by golfcart. By the way, there were no golf carts in the entire parking lot this morning when it was full. With 11 more vehicles parked in the lot full time (employees), the doctors are very concerned that there will simply be not enough full size parking to accommodate both their employees and their patients. I now have a third group that I am trying to accommodate. Just what I need, right?

I asked the vet whether parking was ever a problem and she said that it sometimes gets so busy that their patients have to park over near our lot and walk across the parking lot already. She said that many more visitors would likely over burden the entire parking lot. I am trying to obtain a letter from her.

Thank you again for your help. It's truly appreciated.

Brian W. Warwick
VARNELL & WARWICK, P.A.
P.O. BOX 1870
LADY LAKE, FL 32158
TEL: (352) 753-8600
bwarwick@varnellandwarwick.com
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From: Thad Carroll [mailto:tc Carroll@ladylake.org]
Sent: Wednesday, April 23, 2014 5:55 PM
To: Brian Warwick

Cc: Wendy Then
Subject: RE: Tree Variance

Mr. Warwick,

This was in the file with the other plan. I would have to maybe see if other site plans specific to those buildings exist, but that would have to be tomorrow at least. I will also find out when we adopted our historic tree ordinance. Was the Villages not receptive to the golf cart parking alternative?

Thad Carroll, AICP, LEED Green Associate
Growth Management Director
Town of Lady Lake
(352) 751-1521
tcarroll@ladylake.org

Note: The Growth Management Department's office hours are Monday - Thursday 7:30 am - 6:00 pm

Fla. Stat. 668.6076 "Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing."

From: Brian Warwick [<mailto:bwarwick@varnellandwarwick.com>]

Sent: Wednesday, April 23, 2014 5:26 PM

To: Thad Carroll

Cc: Wendy Then

Subject: RE: Tree Variance

Thad,

Thank you very much. This is exactly what I requested.

When I reviewed the 1990 approved plan it shows two smaller proposed buildings on the 441 side of the development. Because we know that two larger buildings were constructed at some point in this location, shouldn't there be another approved site plan somewhere in the records?

Also, do you know the date that the Ancient Tree ordinance was passed? I apologize for all these questions but I am trying to put something together before the deadline and, as you know, I have to be in Court tomorrow and Tampa on Friday.

Thanks again for all your work on this issue.

Brian W. Warwick
VARNELL & WARWICK, P.A.
P.O. BOX 1870
LADY LAKE, FL 32158
TEL: (352) 753-8600
bwarwick@varnellandwarwick.com
www.varnellandwarwick.com

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From: Thad Carroll [<mailto:tcarroll@ladylake.org>]
Sent: Wednesday, April 23, 2014 5:13 PM
To: Brian Warwick
Cc: Wendy Then
Subject: RE: Tree Variance

Mr. Warwick,

Please review the attachments to verify that they are consistent with your request.

Thad Carroll, AICP, LEED Green Associate
Growth Management Director
Town of Lady Lake
(352) 751-1521
tcarroll@ladylake.org

Note: The Growth Management Department's office hours are Monday - Thursday 7:30 am - 6:00 pm

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From: Brian Warwick [<mailto:bwarwick@varnellandwarwick.com>]
Sent: Wednesday, April 23, 2014 3:59 PM
To: Thad Carroll
Subject: RE: Tree Variance

Actually, both if they have the stamps of approval. I just want to show that the prior plans both provided for 99 total parking spaces. Thanks.

*****PLEASE NOTE OUR NEW MAILING ADDRESS BELOW*****

Brian W. Warwick
VARNELL & WARWICK, P.A.
P.O. BOX 1870
LADY LAKE, FL 32158
TEL: (352) 753-8600
bwarwick@varnellandwarwick.com
www.varnellandwarwick.com

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From: Thad Carroll [<mailto:tcarroll@ladylake.org>]
Sent: Wednesday, April 23, 2014 3:56 PM
To: Brian Warwick
Subject: Re: Tree Variance

The plan in 1986 or the 2004? Just confused when you said revised plan? But yes, I can send them.

Sent from my Verizon Wireless 4G LTE DROID

Brian Warwick <bwarwick@varnellandwarwick.com> wrote:

Thad,

Can you send me a copy of the originally approved site plan that showed the revised parking area? Also, can you make that part of the meeting documents next week?

*****PLEASE NOTE OUR NEW MAILING ADDRESS BELOW*****

Brian W. Warwick

VARNELL & WARWICK, P.A.

P.O. BOX 1870

LADY LAKE, FL 32158

TEL: (352) 753-8600

bwarwick@varnellandwarwick.com

www.varnellandwarwick.com

**Plaza Professional Center
Historic Tree Removal Variance
Resolution 2014-102**

Subject Property



0 85 170 340 510
Feet



April 23, 2014

To the Commissioners of the Town of Lady Lake,

The La Plaza Grande Center is a busy, successful medical and financial office park. In 2002, we relocated the Village Veterinarian into the plaza. Parking is satisfactory at this time because we have 2 vacant lots where our staff can park allowing the clients easy access to our buildings. When the Warwick's build their medical office, their clients and staff will reduce the number of available parking spaces in the community parking lot.

A tree can be removed which would allow for additional parking spaces. It has been suggested by the City Commission to save the tree and reduce the number of required and regulated parking spots. While I am a tree hugger at heart, I disagree with this opinion.

In my opinion, preventing the number of required parking spaces to be a disservice to the owners of the properties, the business owners, and the clientele. There are regulations governing parking spaces so all businesses can adequately accommodate their clientele and staff.

When we bought, I expected the regulations to remain in tact. The businesses do not have access to another parking lot where the staff can park. If the number of regulated parking spaces are reduced, it will adversely affect our businesses and services we can provide to the citizens of Lady Lake.

Respectfully submitted,

Anita Valdez

Thad Carroll

From: Wendy Then
Sent: Tuesday, April 22, 2014 7:23 AM
To: Jones, Bill - Design
Cc: Thad Carroll
Subject: RE: Plaza Professional Center - Historic Tree Issue - Update

Good Morning Bill,

I will place this communication in the file. Thank you for your follow up.

Wendy Then
Town Planner
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159
352-751-1582
352-751-1514- Fax

-----Original Message-----

From: Jones, Bill - Design [<mailto:Bill.Jones@thevillages.com>]
Sent: Monday, April 21, 2014 10:05 AM
To: Wendy Then
Subject: FW: Plaza Professional Center - Historic Tree Issue - Update

Hey Wendy, I wanted to follow up on the Historic Tree Issue at Plaza Professional Center - the Warwick Property. We do not have an issue with removing the tree provided there is an approved site and building plan that meets the square footage and parking requirements. We feel that the parking count 5/1,000 SF is appropriate for this center. A 4,300 SF building with the required staff and patient load is most likely going to exceed the 22 parking spaces required.

I know there is a special meeting this evening and I wanted to know that we are not against the tree removal if there is a legitimate plan that works. Thanks as always. Bj

Bill Jones, A.I.A.
Design Architect
1020 Lake Sumter Landing
The Villages, FL 32162

Phone: 352-753-6276
Cell: 352-551-4804

From: Jones, Bill - Design
Sent: Monday, April 21, 2014 9:41 AM
To: Mark, Gary; Mathews, Tracy
Cc: Dzuro, Marty
Subject: Plaza Professional Center - Historic Tree Issue - Update

Hey guys, I got a call from Marty Dzuro last week stating that there is going to be a special meeting at the Town of Lady Lake tonight (4-21-14) to discuss the removal of the historic tree. Marty said that the doctors that want to purchase the property can not come up with a floor plan that works for them without removing the tree.

Mike Pape and I met with Ed Abshire (civil engineer for Warwick) on Friday to discuss the latest on the Warwick Property. We tried a couple different layout ourselves to get the right size building and parking count. We were unable to get both the building SF and the parking to work.

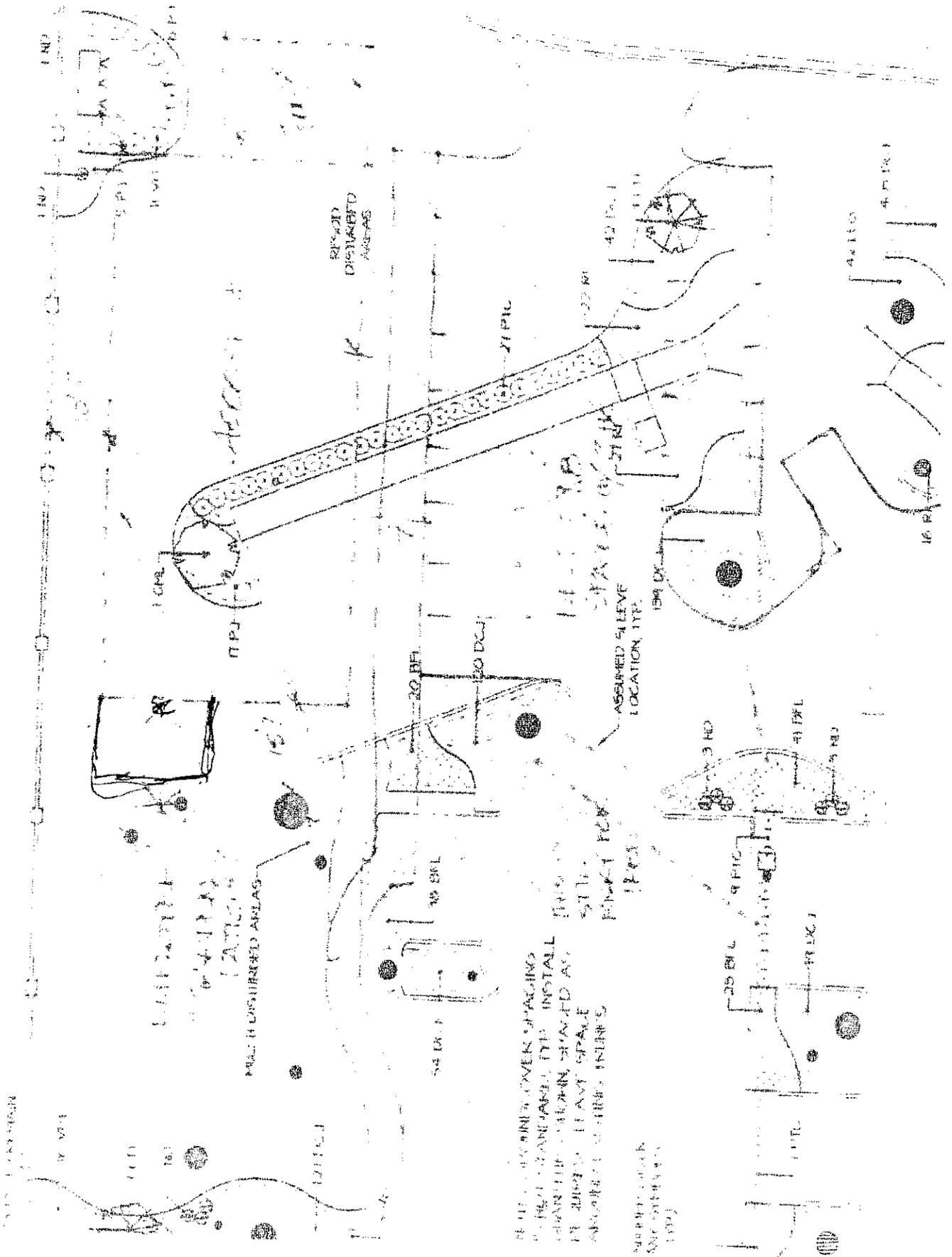
Our opinion is that even with the tree removed it would be difficult to meet the parking requirements and fit the 4,300 SF building. I think our position should be that if the tree must come down to make the site buildable to the allowable square footage, a plan proving that there is a design that will work and be approved by The Villages DRC before the tree is removed.

The question now is, should I attend the meeting this evening or just send Wendy. Then our thoughts that a approved plan be submitted to the town and The Villages prior to the removal of the tree. Let me know your thoughts on this. Bj

Bill Jones, A.I.A.
Design Architect
1020 Lake Sumter Landing
The Villages, FL 32162

Phone: 352-753-6276
Cell: 352-551-4804

Alternative A



MULTIPLE COVER SPACING
 TO BE INSTALLED TYP. INSTALL
 SPACING TO BE INSTALLED AS
 PER 100' LEAVE SPACE
 AVAILABLE FOR TRAFFIC

ASSUMED 5th LEVEL
 LOCATION, TYP.

MULTI-DISTURBED AREAS

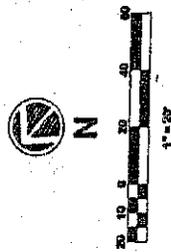
RIPPLED DISTURBED
 AREAS

ASSUMED 5th LEVEL
 LOCATION, TYP.

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ALTERNATIVE C

<p>DATE: _____ DRAWN BY: _____ CHECK BY: _____</p>	<p>WARWICK SITE PLAN</p> <p>LADY LAKE, FLORIDA</p>	<p>DATE: _____ DRAWN BY: _____ CHECK BY: _____</p>
<p>5434 SE 11TH STREET, MAITLAND, FLORIDA 32751 P.O. BOX 2770 BELLEVUE, FL 34421-2770 PHONE: (352) 245-8572 FAX: (352) 245-8577 CAD 9930</p> <p>BLSHER ENGINEERING, INC.</p>		

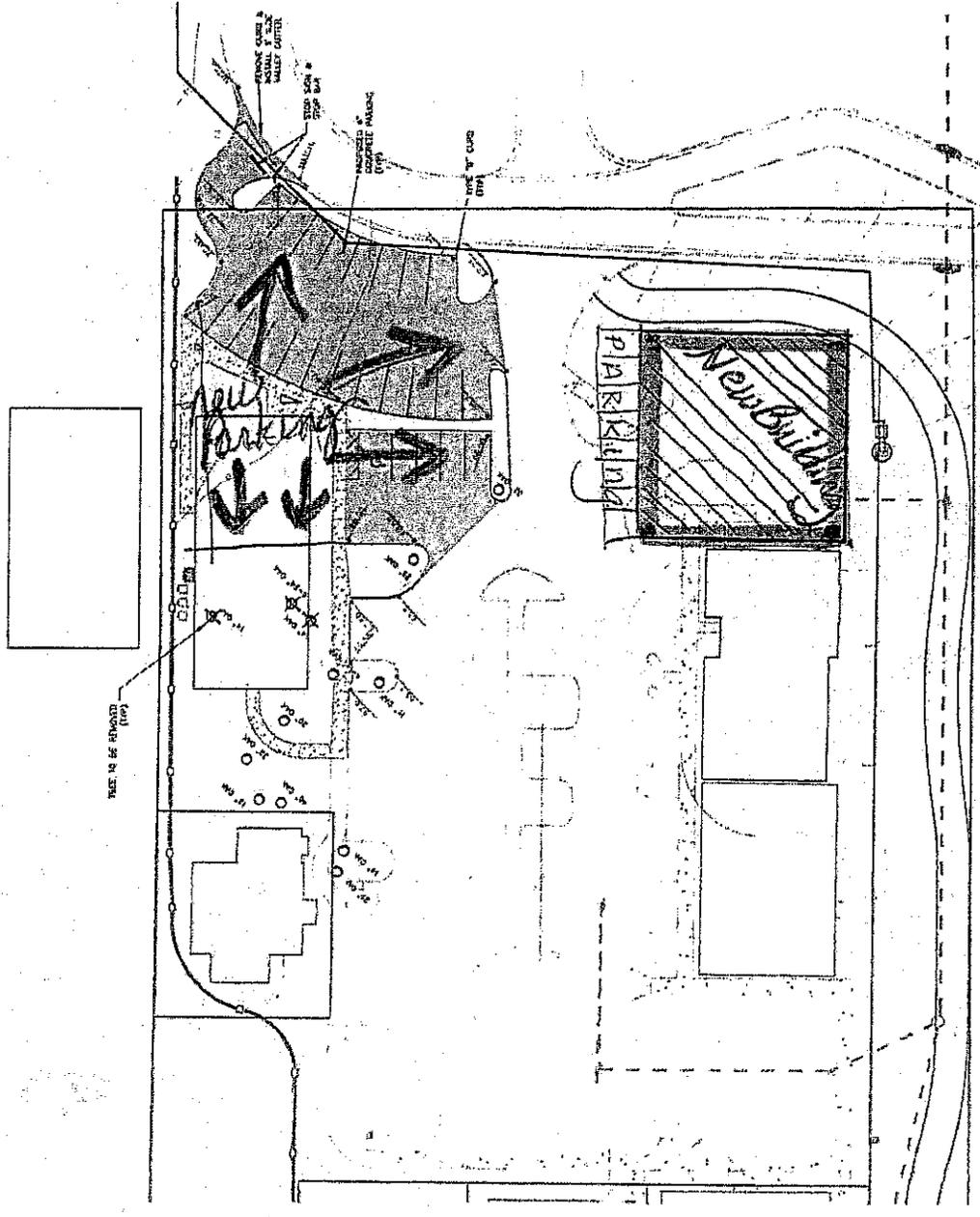


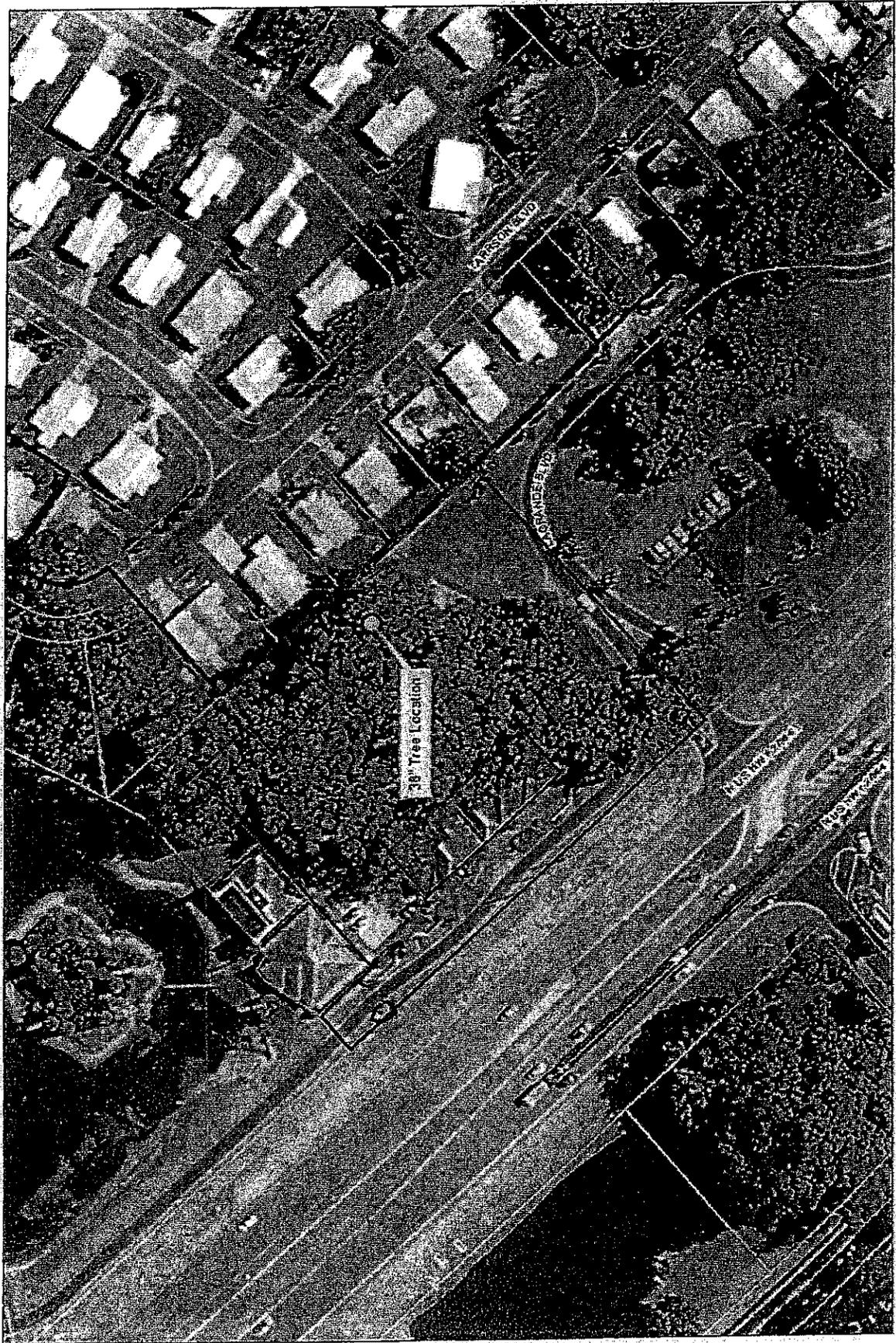
NOTES:

1. THE INFRASTRUCTURE FOR THIS PROJECT WAS APPROVED AS THE "BUNDLED OFFICE PARK" SITE PLAN DATED 11-17-16.
2. ALL UTILITIES SHOWN ARE EXISTING.

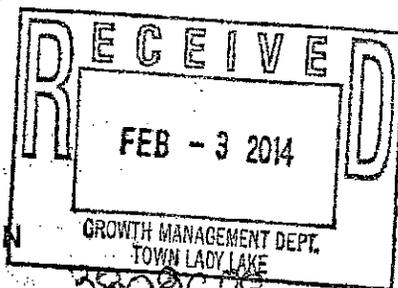
PARKING DATA

EXISTING	BUILDING AREA	# PARKING SPACES REQUIRED
BUILDING A	2,000 sq ft	18
BUILDING B	2,482 sq ft	19
BUILDING C	3,120 sq ft	17
BUILDING D	3,843 sq ft	16
ALLEY CENTER	3,654 sq ft	15
PROPOSED		
BUILDING	BUILDING AREA	# PARKING SPACES REQUIRED
THIS PROJECT	4,300 sq ft	215
TOTAL PARKING REQUIRED		99
PARKING PROVIDED		
EXISTING PARKING		74
PROPOSED PARKING (PRELIMINARILY APPROVED)		25
TOTAL PARKING PROVIDED		99





TOWN OF LADY LAKE
HISTORIC TREE VARIANCE APPLICATION



Tax Identification # C20=069

1. Owner's name: Brian Warwick, Janet Warwick, Ellen Edwards
Mailing Address: 20 La Plaza Grande Blvd, The Villages, FL
Telephone/Email: 352-753-8600
2. Applicant's Name: Fran Dann-Akin
Mailing Address: Foxfire Realty
127 Hwy 27/441, Lady Lake, FL 32159
Telephone/Email: 352-266-7795 Fran@VillagesCommercialProperties.com
3. Contact Person for Posting: Fran Dann-Akin
Mailing Address: Foxfire Realty
127 Hwy Hwy 27/441, Lady Lake, FL 32159
Telephone/Email: 352-266-7795 Fran@VillageCommercialProperties.com
4. Applicant is: Owner Agent Purchaser Lessee Optionee
5. Property Address/Location: 20 La Plaza Grande Blvd, The Villages
32159
6. Legal Description: See Attached
7. The variance requested is as follows: Removal of trees as indicated
in tree survey.
8. The variance is necessary for the following reasons: Insureability
and safety of perspective building.
9. Is your situation due to unique circumstances not created by you or your predecessor in title? Explain such circumstances: Yes.
Tree was in existance prior to development of
Burnsed Office Park. This is the last remaining
parcel to be built on, which is why this tree has
not previously been removed, despite the maturity
of the tree over the last 27 years. This tree
was not contemplated in the original site plan.
Therefore owner should not be unfairly burdened
with the costs and risks occasioned by this tree.

10. Do special conditions and circumstances exist which are peculiar to your land or structure and which are not applicable to other lands or structures in the same district? Explain such conditions or circumstances: Yes

The tree in question would hang directly over any structure to be built. Initial surveys have indicated tree would be a risk.

11. Would literal interpretation of the provisions of the Code deprive you of rights commonly enjoyed by other property owners in the same district? Explain such rights: Yes.

It would prevent the land owners from building on property as originally contemplated by the site development plan of 3-17-86.

12. A variance, as requested, will not permit, establish or enlarge any use or structure that is not permitted in the district. Does your request meet this criterion?

Yes

13. Have any land use applications been filed within the last year in connection with this property? Yes No. If yes, briefly describe the nature of the request:

This application must be accompanied by proof of ownership and authorization from the owner if represented by an agent or contract purchaser. It must also include a drawing showing the exact locations and dimensions of all existing and proposed buildings and additions, required setbacks, existing easements and clearly delineate the specific variance requested.

I certify that the statements in this application are true to the best of my knowledge.

Man Dann-Akin Man Dann-Akin
Signature of Applicant

PLEASE SUBMIT THE APPLICATION, ACCOMPANIED BY THE APPROPRIATE REVIEW FEES AND FORTY-TWO (42) COPIES OF ALL APPLICABLE INFORMATION DOCUMENTATION AS REQUIRED BY THE LADY LAKE LAND DEVELOPMENT REGULATION, ADOPTED AUGUST 15, 1994 TO THE GROWTH MANAGEMENT DEPARTMENT. ADDITIONAL COPIES OF APPLICATION AND PLANS WILL BE REQUIRED PRIOR TO CONSIDERATION AT THE PLANNING AND ZONING BOARD AND TOWN COMMISSION MEETINGS.

Office Use:
Date Application Received: 02-3-2014 Received by: WThon

APPLICANT'S AFFIDAVIT

STATE OF FLORIDA
COUNTY OF LAKE

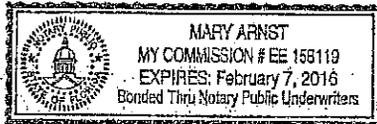
Before me, the undersigned authority personally appeared Brian Warwick, who being by me first duly sworn on oath, deposes and says:

- (1) That he affirms and certifies that he understands and will comply with all ordinances, regulations, and provisions of the Town of Lady Lake, Florida, and that all statements and diagrams submitted herewith are true and accurate to the best of his knowledge and belief, and further, that this application and attachments shall become part of the Official Records of the Town of Lady Lake, Florida, and are not returnable.
- (2) That he desires approval for:
Tree Variance
- (3) That the submittal requirements for the application have been completed and attached hereto as part of this application.

Brian Warwick
Affiant (Applicant's Signature)

The foregoing instrument was acknowledged before me this 28th day of January, 2014, by Brian Warwick who is personally known to me or who has produced Personally Known as identification and who did (did not) take an oath.

Mary Arnst
Notary Public

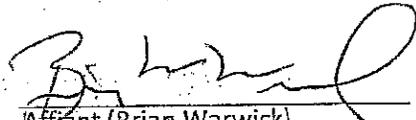


OWNER'S AFFIDAVIT

STATE OF FLORIDA
COUNTY OF LAKE

Before me, the undersigned authority personally appeared Brian Warwick, Janet R. Varnell and Ellen Robards, who being by me first duly sworn on oath, deposes and says:

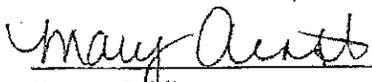
- (1) That he is the fee-simple owner of the property legally described on page one of this application.
- (2) That he desires approval for: Historic Tree Removal Variance.
- (3) That he has appointed Fran Dann-Akin to act as agent in his behalf to accomplish the above. The Owner is required to complete the APPLICANT'S AFFIDAVIT of this application if no agent is appointed to act in his stead.

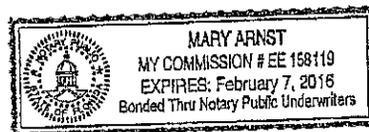

Affiant (Brian Warwick)


Affiant (Janet R. Varnell)


Affiant (Ellen Robards)

The foregoing instrument was acknowledged before me this 7th day of January 2014, by Brian Warwick, Janet Varnell and Ellen Robards who is personally known to me or who has produced _____ as identification and who did (did not) take an oath.


Notary Public



NOTE

All applications shall be signed by the owner of the property, or some person duly authorized by the owner to sign. This authority authorizing a person other than the owner to sign must be attached.

Warranty Deed - Page 2

Parcel ID Number: 07-18-24-0001-000-02300

approximately 3542 square feet, leaving the right to construct approximately 4284 square feet, which right is hereby transferred to Grantee, without warranty of any kind, including, without limitation, any warranty as to the exact number of square feet being transferred.

EXHIBIT A

PARCEL "1":
COMMENCE AT THE MOST SOUTHERLY CORNER OF LOT 457 OF ORANGE BLOSSOM GARDENS, UNIT 4, AS RECORDED IN PLAT BOOK 26, PAGE 55, IN THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, RUN THENCE
S.41 21'30"E. 75.00 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; FROM SAID POINT OF BEGINNING CONTINUE
S.41 21'30"E. 38.32 FEET TO THE BEGINNING OF A CURVE CONCAVED NORTHEASTERLY AND HAVING A RADIUS OF 11,059.20 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 00 56'38" AN ARC LENGTH OF 182.19 FEET; THENCE
S.47 41'53"W. 300.00 FEET TO A POINT ON THE NORTHEASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 27/441, SAID POINT BEING ON A CURVE CONCAVED NORTHEASTERLY AND HAVING A RADIUS OF 11,359.20 FEET AND A RADIAL BEARING OF S.47 41'53"W.; THENCE
NORTHWESTERLY ALONG THE ARC OF SAID CURVE AND SAID NORTHEASTERLY RIGHT-OF-WAY LINE THROUGH A CENTRAL ANGLE OF 00 56'38" AN ARC LENGTH 187.13 FEET TO THE END OF SAID CURVE; THENCE
N.41 21'30"W. ALONG SAID NORTHEASTERLY RIGHT-OF-WAY LINE 232.65 FEET; THENCE LEAVING SAID NORTHEASTERLY RIGHT-OF-WAY LINE RUN
N.48 38'30"E. 36.02 FEET; THENCE S.41 21'30"E. 60.00 FEET; THENCE N.48 38'30"E. 208.93 FEET; THENCE N.41 21'30"W. 60.02 FEET; THENCE N.48 38'30"E. 20.12 FEET; THENCE S.41 21'30"E. 119.33 FEET; THENCE S.48 38'30"W. 30.00 FEET; THENCE
S.41 21'30"E. 75.00 FEET; THENCE N.48 38'30"E. 65.00 FEET TO THE POINT OF BEGINNING, LESS AND EXCEPT PARCEL "2" DESCRIBED AS FOLLOWS: A TRACT OF LAND SITUATED IN THAT PART OF GOVERNMENT LOT 3, SECTION 7, TOWNSHIP 18 SOUTH, RANGE 24 EAST, LYING NORTHEAST OF U.S. HIGHWAY NO. 27/441 (200 FEET WIDE), BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE MOST SOUTHERLY CORNER OF LOT 457, ORANGE BLOSSOM GARDENS, UNIT NO. 4, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 26, PAGES 55 AND 56, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, THENCE RUN
S.48 38'30"W. ALONG A PROJECTION OF THE SOUTHEASTERLY BOUNDARY LINE OF SAID LOT 457 A DISTANCE OF 199.00 FEET; THENCE S.41 21'34"E. 17.32 FEET TO THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING, CONTINUE S.41 21'34"E. 70.50 FEET; THENCE
S.48 38'26"W. 50.84 FEET; THENCE N.41 21'34"W. 70.50 FEET; THENCE N.48 38'26"E. 50.84 FEET TO THE POINT OF BEGINNING;
ALSO LESS PARCEL "3" DESCRIBED AS FOLLOWS: A TRACT OF LAND SITUATE IN THAT PART OF GOVERNMENT LOT 3, SECTION 7, TOWNSHIP 18 SOUTH, RANGE 24 EAST, LYING NORTHEAST OF U.S. HIGHWAY NO. 441/27 (200 FEET WIDE), BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE MOST SOUTHERLY CORNER OF LOT 457, ORANGE BLOSSOM GARDENS, UNIT NO. 4, AS PER PLAT THEREOF, RECORDED IN PLAT BOOK 26, PAGES 55 AND 56, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; THENCE RUN S.48 38'30"W. ALONG A PROJECTION OF THE SOUTHEASTERLY BOUNDARY LINE OF SAID LOT 457, A DISTANCE OF 199.00 FEET; THENCE S.41 21'34"E., 87.82 FEET TO THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING, CONTINUE S.41 21'34"E., 86.50 FEET; THENCE S.48 38'26"W., 50.84 FEET; THENCE N.41 21'34"W., 86.50 FEET; THENCE N.48 38'26"E., 50.84 FEET TO THE POINT OF BEGINNING

Property Record Card

General Information

Alternate Key:	3808678	Parcel:	07-18-24- 000100002300
Owner Name:	WARWICK BRIAN W ET AL	Millage:	00LL (Lady Lake) : 17.6629
Owner Address:	20 LA GRANDE BLVD LADY LAKE, FL 32159	Property Location:	LADY LAKE FL 32159
Legal Description:	<p>FROM S'LY COR OF LOT 457 ORANGE BLOSSOM GARDENS UNIT 4 PB 26 PG 55, RUN S 41-21-30 E 75 FT FOR POB, CONT S 41-21-30 E 38.32 FT TO THE BEGINNING OF A CURVE CONCAVE NE'Y & HAVING A RADIUS OF 11059.20 FT, THENCE SE'LY ALONG THE ARC OF SAID CURVE THRU A CENTRAL ANGLE OF 0-56-38, AN ARC LENGTH OF 182.19 FT, THENCE S 47-41-53 W 300 FT TO A POINT ON NE'LY RW LINE OF US HWY 441, SAID POINT BEING ON A CURVE CONCAVED NE'LY & HAVING A RADIUS OF 11359.20 FT & A RADIAL BEARING OF S 47D-41-53 W, THENCE NW'LY ALONG THE ARC OF SAID CURVE & SAID NE'LY RW LINE THRU A CENTRAL ANGLE OF 0-56-38, AN ARC LENGTH OF 187.13 FT TO THE END OF SAID CURVE, THENCE N 41-21-30 W ALONG SAID NE'LY RW LINE 232.65 FT, N 48-38- 30 E 36.02 FT, S 41-21-30 E 60 FT, N 48-38-30 E 208.93 FT, N 41-21-30 W 60.02 FT, N 48-38-30 E 20.12 FT, S 41-21-30 E 119.33 FT, S 48-38-30 W 30 FT, S 41-21-30 E 75 FT, N 48-38-30 E 65 FT TO POB--LESS FROM S'LY COR OF LOT 457 ORANGE BLOSSOM GARDENS UNIT 4 RUN S 48-30-30 W 199 FT, S 41-21-34 E 17.32 FT FOR POB, CONT S 41-21-34 E 157 FT, S 48-38-26 W 50.84 FT, N 41-21-34 W 157 FT, N 48-38-26 E 50.84 FT TO POB-- ORB 2684 PG 22 </p>		

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Just Value
1	VACANT COMMERCIAL (1000)	0	0		4284	SF	\$0.00	\$155,081.00
2	VACANT COMMERCIAL (1000)	0	0		89203.09	SF	\$0.00	\$9.00

Miscellaneous Improvements

There is no improvement information to display.

Sales History

O.R. Book / Page	Sale Date	Instrument	Q/U	Vac./Imp.	Sale Price
2062 / 175	1/18/2002	WD	Q	V	\$126,000.00
2684 / 22	10/21/2004	WD	Q	V	\$215,000.00
3715 / 549	8/2/2008	QC	M	V	\$100.00

Value

Total Just Value:	\$155,090.00
Assessed Value: =	\$155,090.00
Total Exempt Value: =	\$0.00
Total Taxable Value: =	\$155,090.00
Millage Rate: <input checked="" type="checkbox"/> x	0.0176629
Base Ad-Valorem Tax: =	\$2,739.35
Non-Exempt School Levies: +	\$0.00
Estimated Ad-Valorem Tax: =	\$2,739.35

* The just values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes. The amounts shown may not include all exemptions. The estimated tax totals do not reflect Non-Ad Valorem assessments. (Fire Fees, Solid Waste, etc.) Please consult the Tax Collector for actual taxation amounts.

Truth In Millage (TRIM) Notice

- Notice of Proposed Property Taxes & Proposed or Adopted Non-Ad Valorem Assessments

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HISTORIC TREE VARIANCE APPLICATION

Parcel No. 3808678 – Owner Brian W. Warwick, et al.

The real property in question is located within the La Plaza Grande Professional Center. The parcel includes the entire subdivision and all of its common areas excepting the existing buildings. However, there is only one buildable footprint permitted which allows for a 4300 square foot building and it will be the last remaining office space to be developed. There are more than 30 old growth large Oak trees situated on this heavily wooded parcel which is nearly covered in canopy. In fact, the owners have been paying maintenance costs to the owner's association for several decades based upon a future building size of 4300 square feet. The owners are requesting a Historic Tree Variance to remove one single 38" DBH live oak tree that lies directly within the building pad of the approved office space.

A Historic Tree Variance is required for this property for three primary reasons: (1) the location of the tree would prevent or substantially reduce the buildable space to such an extent that the value of the property would be substantially diminished; (2) even if a substantially smaller building were constructed, it could not be insured due to the overhanging branches of the tree in question; and (3) safety concerns would continue for the building as a result of damages caused to the tree during construction and damage caused by extensive pruning that would be required in order to obtain insurance.

The La Plaza Grande Professional Center subdivision was created and given approval in 1987, nearly 30 years ago. It is so highly populated with historic trees that it bears more resemblance to a natural tree stand than a commercial professional office subdivision. Removal of this tree will have very little impact on the subdivision because there are more large historical trees in the tiny subdivision than any other professional office subdivision in The Villages. In fact, the existing trees will actually benefit from the increased available sunlight occasioned by the removal of the subject tree, as recognized by the Arborist in his Tree Report.

The current canopy of the trees in the subdivision already covers the vast majority of the parking lot and common areas. The subject tree may even be considered a "hazardous tree" because it presents a danger of falling due to excessive lean. The existing canopy is so dense that the tree in question has grown outward and over the top of the established building location in order to reach available sunlight. The proximity of the tree and its root structure to the existing footprint will cause substantial harm to the tree. Digging the footings for the foundation and pouring the new slab over the root structure will damage existing roots and make the tree unstable and dangerous. The hazard created by the excessive lean of the tree and the size of the root structure cannot be remedied or controlled without requiring the landowner to, essentially, give up their right to build on the long-approved footprint entirely.

The reason that the lean of the tree and the root structure result in such a substantial burden on the property owners is two-fold. First, the lean of the tree will endanger any future building structure such that it is rendered virtually uninsurable. Even if the tree is trimmed to the extent required by insurers, such trimming will likely kill the tree. Second, the root structure of the tree in question is located well within the approved building footprint and it will undoubtedly suffer substantial damage during construction even if the building were built around the tree. The current owners paid fair market value for an approved commercial building pad that would accommodate a 4300 square foot commercial building. A building of this size and location has been approved for nearly 30 years. It would be fundamentally unfair and too severe a penalty, if not an unconstitutional taking, for the Town to prohibit the removal of this tree under these circumstances.

The Other Factors to be considered weigh in favor of granting the variance:

1. **Diminution in Value of Surrounding properties.** As stated above, the existing trees already within the subdivision have created an extensive canopy which shades the entire parking lot and the majority of common areas. Removing the tree in question will actually allow the existing trees more sunlight and water so that they will continue to flourish. Building the final building and completing the subdivision will be beneficial for all owners within the subdivision. Thus, there will be no diminution in value to the surrounding properties of the tree in question is removed.
2. **Permit would be a benefit to the public interest.** The Town of Lady Lake approved a building site within the La Plaza Grande Professional Center nearly 30 years ago. The completion of the building on this location will bring additional revenue and business to the city and will allow the other residents of the professional center to finalize their subdivision. Accordingly, the granting of this permit would be beneficial to the public interest.
3. **Denial would result in unnecessary hardship to the owner.** As explained above, the owner paid fair market value for a building pad that was designed to hold a 4300 sq./ft commercial office building. Failure to grant the permit would result in the owners having to build a substantially smaller building and/or to build around the tree which would severely increase the costs. Finally, the insurance issues surrounding an overhanging tree whose roots have been damaged by construction of the building would be excessive and an unnecessary hardship on the owner.
4. **Use must not be contrary to the spirit of the code.** The variance application was designed specifically for situations like this where the costs associated with leaving the tree are so great that it makes more sense to remove the subject tree. Therefore, this application is consistent with the spirit of the code rather than contrary to it.

Bryan Stanga
FL-5502AD



Tree #3

TREE STRUCTURE EVALUATION

Property Owner & Address Tree evaluation for Foxfire Realty Date _____

Location in Landscape Largest Tree Inspection Goal Determine health

Arborist(s) Bryan Stanga Type of Inspection Type 2

Tree Species Quercus Virginia Estimated Age of Tree 100

Targets (List) Parking lot Within Canopy Within X 15X Ht Rating _____

Site Use Intensity _____ Exposed Site Lone Tree Edge Tree Recently Thinned Stand

Notes _____

Species Live Oak DBH 38" Height 60ft Architecture _____

Crown Small Med Large for trunk size Dead Branches _____ % Max Size _____

Hinge(s) _____ Max Size _____ Dense Branch Ends Abrupt Bend Prev. Topped Prev. Failure _____

Weedly Attached Sprouts _____ Notes Tree is healthy

Scaffold Limbs Weedy Attached _____ Included Bark _____ Cracks _____ Seams _____ Sweet _____ Decay _____

Cavity _____ Size _____ Prev. Failure _____ Lightning Inj _____ Notes low cratched tree

Stem Lean _____ % Co-Dominant Stems # 6 Ht of crotch 4ft Stem Diam _____ Incl. Bark _____ Poor Taper _____

Decay _____ Cavity Opening _____ Size _____ Cank _____ Dead Bark _____ Seam _____ Crack _____ Sweep _____ Lightning Inj _____

Notes _____

Root Flare Exposed Buried Fin Depth _____ Mulch Depth _____ Soil Heaving _____ Missing Roots _____ Root Decay _____ Conks _____

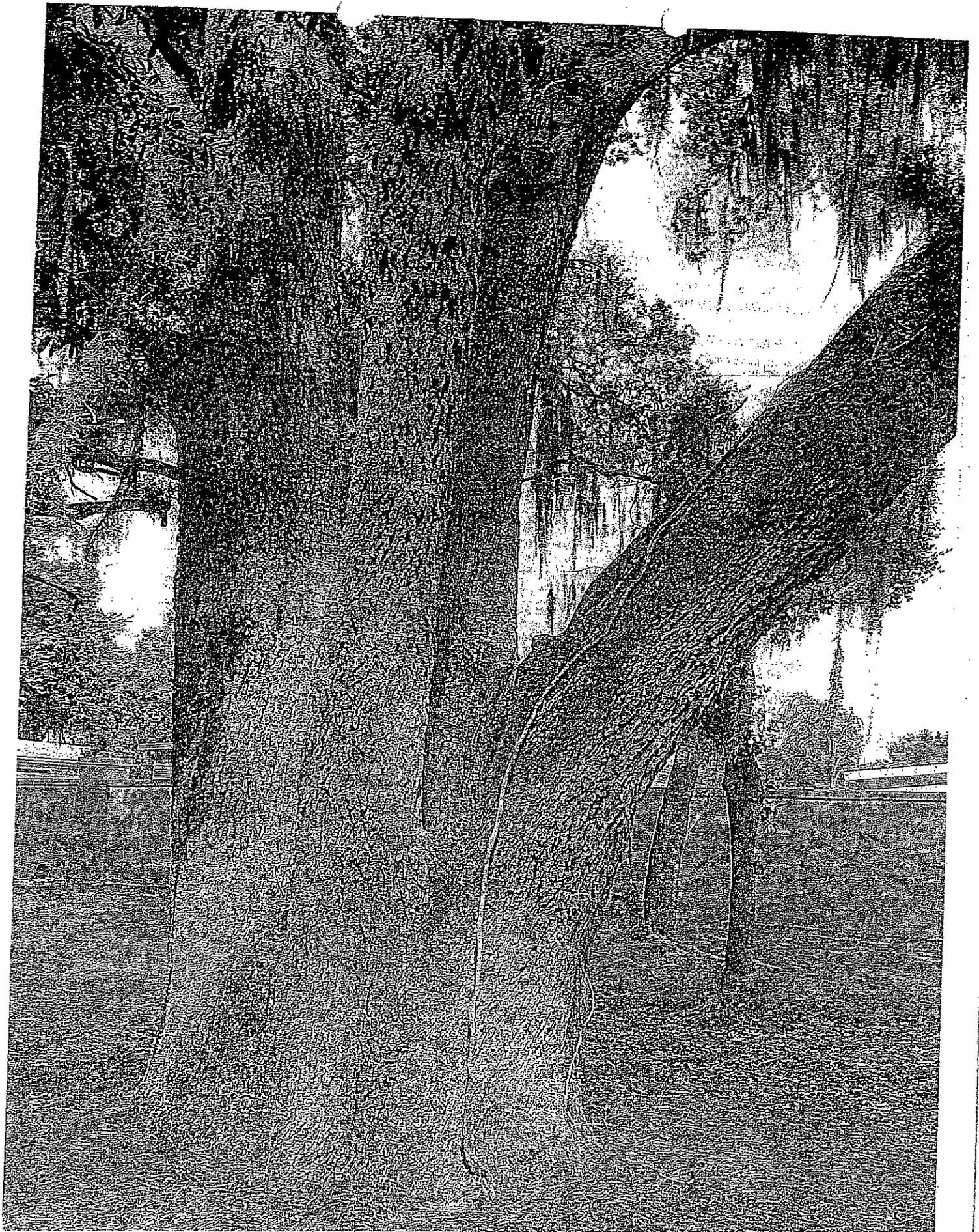
Notes _____

Root Zone Cut within 3X DBH _____ Prev. Failures _____ Shallow Soil _____ Wet Soil _____ Soil Cracks _____ Grade Changes _____

Root Cut _____ Distance From Stem _____ Notes _____

Decay Quantification: Diam _____ Bark Thickness _____

Describe Condition/Concern: Large canopy tree no sign of disease. Buyer is looking to remove tree and replace with canopy trees.



Fran Dann

From: Bryan Stanage <bryan@stanagetreeservice.com>
Sent: Monday, January 27, 2014 4:19 PM
To: Fran@FranDann.com
Subject: Tree Evaluation for parcel # C20=069

Property owners are looking to build a professional building on this site, and there are 4 Live Oak Trees in the area where they look to build. Two of the smaller trees have been topped and have poor structure, one of the trees is a very large Live Oak Tree that has 6 low attached stems, and the last tree is located two feet away from sidewalk and surface roots will eventually be an issue. Customers are willing to mitigate this area, with small canopy trees. If these trees where saved, I don't think they would survive the construction damage, a sign of this damage can take up to 10 years to show up. There are many Large Live Oak Trees on the surrounding properties, their canopies will react to the new sunlight and fill the voids after these trees are removed. My professional opinion is that it wouldn't be wise to tree to preserve these trees, it would be better to remove all 4 trees, and replace with new canopy trees.

Thank You,
Bryan Stanage
Stanage Tree Service
(352) 636-3527

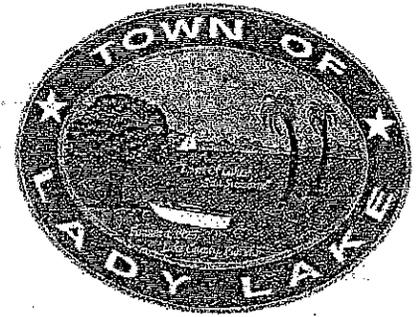
Check us out at
www.StanageTreeService.com

Municipal Complex, 409 Fennell Boulevard, Lady Lake, Florida 32159 USA

352-751-1500

FAX 352-751-1510

www.ladylake.org



February 24, 2014

RE: Variance Resolution 2014-102

Dear Property Owner:

This is to notify you that an application has been filed requesting a variance in accordance with the provisions of Chapter 10, Section 4(f) entitled Site Development and Tree Removal of the Lady Lake Land Development Regulations which states a resolution granting a variance must be authorized by the Planning and Zoning Board and then Town Commission for the removal of a historic tree.

Applicant, Fran Dann-Akin, on behalf of property owners Brian W. Warwick, Janet R. Varnell, and Ellen Robards, proposes the removal of a 38" Historic Live Oak Tree to accommodate the construction of a new office building on the last remaining parcel at the La Plaza Grande Professional Center Site. The applicant states that due to the fact that the historic tree lies directly within the building pad, it's required to be removed. Additionally, the applicant indicated that the tree exhibits excessive lean which would endanger any future building erected and the root structure of the tree will suffer substantial damage during and after construction if the tree were to remain.

The general location of the property is 302 La Grande Blvd., within the La Plaza Grande Professional Center (Alternate Key 3808678) within the town limits of the Town of Lady Lake, Florida.

Public hearing dates on the petitions are scheduled for the following dates:

PLANNING AND ZONING BOARD- Monday, March 10, 2014 at 6:00 p.m.

COMMISSION MEETING- Monday, March 17, 2014 at 6:00 p.m.

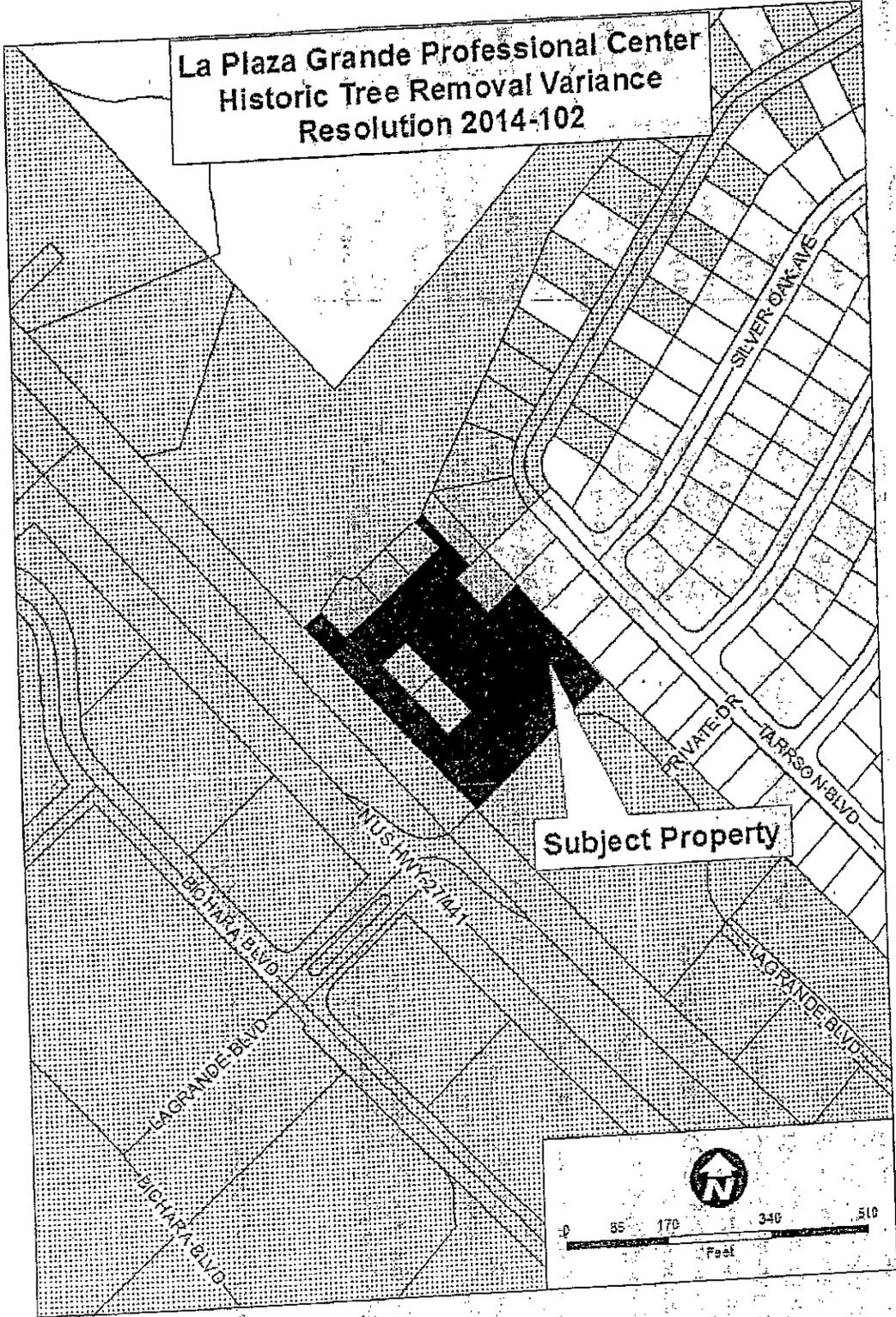
You are invited to attend these public hearings to be held in the Town Hall Commission Chambers, 409 Fennell Boulevard, Lady Lake, Florida. The petitions may be inspected at Town Hall during regular business hours in the Growth Management Department.

All persons wishing to cross-examine any party at the public hearings are required to file a Notice to Appear with the Town Clerk at least five (5) days prior to said public hearing in order to be heard at the time and place aforesaid. However, if a person only wishes to speak or testify, and not cross-examine a party, the Notice of Appearance form does not need to be filled out. Any person wishing to appeal a decision of this public body should ensure himself that a verbatim record of the proceedings is made. If you have any questions regarding this matter, please call Town Planner Wendy Then at (352) 751-1582 or via email at WThen@ladylake.org.

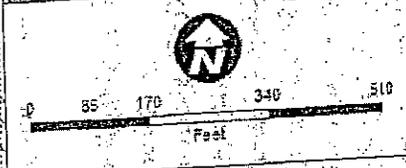
Sincerely,

Growth Management Dept.
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159

**La Plaza Grande Professional Center
Historic Tree Removal Variance
Resolution 2014-102**



Subject Property



AltKey	OwnerName	OwnerAddress	OwnerCity	OwnerState	OwnerZip
1484014	WYMAN IRA O & MARY LOU	412 MAPLE TER	EAST BRADY	PA	16028
1484022	WINHOLD PATRICIA A	928 TARRSON BLVD	LADY LAKE	FL	32159
1484031	ROWNTREE DAVID A & LUCIA T	129 BROADLEAF CRESENT	ANCASTER	FL	32159
1484049	TUCKER EARCILE ROBERT	2021 SW 1ST AVE	OCALA	FL	34471
1535956	RITTER IRENE D ESTATE	365 WEST 1ST ST	ELMIRA	NY	14901
2695994	TALIAFERRO MARION R TRUSTEE	932 TARRSON BLVD	LADY LAKE	FL	32159
2701170	RAFTER RUTHE	934 TARRSON BLVD	LADY LAKE	FL	32159
2795450	R & F PROPERTIES OF LAKE COUNTY INC	849 HAWK LNDG	FRUITLAND PAR FL	FL	34731
2809213	ANDERSON INA	938 TARRSON BLVD	LADY LAKE	FL	32159
2888814	BURBANK LINDSEY D JR & JUDY C	307 LA GRANDE BLVD	LADY LAKE	FL	32159
2888873					
2889098	E T ENTERPRISES OF LADY LAKE LLC	PO BOX 1804	LADY LAKE	FL	32158
2897872	TUCKER MYRA	304 LA PLAZA GRANDE	LADY LAKE	FL	32159
304241	GTMJ INVESTMENT GROUP LLC	1020 LAKE SUMTER LNDG	THE VILLAGES	FL	32162
304390	VALDEZ ROSS M TRUSTEE	300 LAKEELLA RD	FRUITLAND PAR FL	FL	34731
465091					
761075	LENNOX WILLIAM M & SHIRLEY ANN	936 TARRSON BLVD	LADY LAKE	FL	32159
748557	VILLAGE CENTER COMMUNITY DEVELOPMENT DISTRICT	3201 WEDGEWOOD LN	THE VILLAGES	FL	32162

1 Plaza Grande Professional Center - Historic Tree Removal Variance Application



TOWN COMMISSION AGENDA ITEM

REQUESTED MEETING DATE: April 21, 2014 – Continued from April 7, 2014

SUBJECT: Resolution 2014-102 – Plaza Professional Center– Variance Request to Authorize the removal of One (1) 38" Historic Tree to Accommodate the construction of a new office building on the last remaining parcel at the Site –302 La Grande Blvd. (Alternate Key #3808678).

DEPARTMENT: GROWTH MANAGEMENT

STAFF RECOMMENDED MOTION:

Approval of Resolution #2014-102 – Request to Authorize the removal of One (1) 38" Historic Tree to Accommodate the construction of a new office building on the last remaining parcel at the Site –302 La Grande Blvd.

SUMMARY

Applicant, Fran Dann-Akin, on behalf of property owners Brian W. Warwick, Janet R. Varnell, and Ellen Robards, has submitted an application for a variance in accordance with Chapter 10, Section 10-4).f) of the Land Development Regulations (LDRs) which states that on all properties, the removal of historic trees shall require a variance from the Planning and Zoning Board and then Town Commission.

The applicant proposes the removal of a 38" Historic Live Oak Tree to accommodate the construction of up to 4,300-square-foot of new office building space on the last remaining parcel at the Plaza Professional Center Site. The applicant states that due to the fact that the historic tree lies directly within the building pad, it is required to be removed. Additionally, the applicant indicated that the tree exhibits excessive lean which would endanger any future building erected and the root structure of the tree will suffer substantial damage during and after construction if the tree were to remain (Please see Justification Statement attached). The conceptual parking plan proposes 25 spaces; the requirement for a 4,300 square foot facility is 22 spaces (1 space per 200 Square Feet).

The application originally referenced the project as being within La Plaza Grande Professional Center; however, now it has been corrected to properly identify the Plaza Professional Center as the correct property reference of the site, which is just north of the La Plaza Grande Professional Center.

When reviewing an application for a variance, the Planning and Zoning Board and the Town Commission shall consider the following requirements and criteria according to Chapter 3, Section 14 f) – Review criteria for variances in the Land Development Regulations:

1. No diminution in value of surrounding properties would be suffered.
2. Granting the permit would be of benefit to the public interest.
3. Denial of the permit would result in unnecessary hardship to the owner seeking it.
4. The use must not be contrary to the spirit of this Code.
5. Financial disadvantages and/or inconveniences to the applicant shall not of themselves constitute conclusive evidence of unnecessary and undue hardship and be grounds to justify granting of a variance.
6. Physical hardships such as disabilities of any applicant may be considered grounds to justify granting of a variance at the discretion of the Town Commission.

The subject property lies in Section 07 Township 18 South Range 24 East, Lady Lake Florida. The Future Land Use Map designation for the site is Commercial General-Retail Sales & Services (RET) and is zoned Planned Commercial (CP). The subject property is located at 302 La Grande Blvd. within the Plaza Professional Center (Alternate Key 3808678); within the town limits of the Town of Lady Lake, Florida. Resolution 2014-102 was reviewed by Town Attorney, Derek Schroth, on Tuesday, February 25, 2014, and determined correct in form.

Notices to inform the surrounding property owners (16) within 150' of the subject property of the proposed variance were mailed by certified mail return receipt on Monday, February 24, 2014. The property was posted on Tuesday, February 25, 2014.

Comments:

- The applicant is aware that a \$3,800 fee is due to the Town to mitigate the removal of the tree and is prepared to make payment to the Tree Bank pending approval of the resolution.
- If the variance is granted, the applicant will continue with the Site Plan application process for approval of the improvements proposed at the remaining vacant lot. All landscaping buffer requirements and planting would have to be satisfied during this process.

Past Actions:

At the March 17, 2014 Commission Meeting, the Town Commission requested that an alternative plan be presented to determine whether the tree could be saved if the building or parking configuration were changed. At the April 7th Meeting, again Resolution 2014-02 was continued to the April 21st Meeting. At this time, Applicant, Fran Dann-Akin, has determined that the potential occupant of the property does not wish to reduce the parking spaces provided on the property, and that by saving the tree, some parking will need to be reduced. The applicant has stated that given that this is a medical facility, they would like to provide as much parking as possible, as the provision of parking is already somewhat of a

problem in the medical park. No alternative plan has been provided for the consideration by the Town Commission.

The **Technical Review Committee** reviewed the application for Resolution 2014-102 at its regular meeting on Tuesday, February 18, 2014, recommending approval with a 3-0 vote.

On March 10, 2014, the **Planning and Zoning Board** reviewed Resolution 2014-102 at their regular meeting and recommended approval to the Town Commission by a 3-1 vote.

At the March 17, 2014 meeting, the **Town Commission** approved tabling Resolution No. 2014-102 to the April 7, 2014 Commission Meeting.

At the April 7, 2014 meeting, the **Town Commission** approved tabling Resolution No. 2014-102 to the April 21, 2014 Commission Meeting.

FISCAL IMPACT: \$ 0

- Capital Budget
 Operating
 Other

ATTACHMENTS: Ordinance(s) Resolution Budget Resolution

Other

Support Documents/Contracts Available for Review in Manager's Office

DEPARTMENT HEAD *[Signature]* Submitted 2/14/14 Date

FINANCE DEPARTMENT Approved as to Budget Requirements Date

TOWN ATTORNEY Approved as to Form and Legality Date

TOWN MANAGER *[Signature]* Approved Agenda Item for: 4/21/14 Date 4/14

BOARD ACTION: Approved as Recommended Disapproved

Tabled Indefinitely Continued to Date Certain Approved w/Modification

CONSENSUS TO TABLE TO 5/5/14

CC: TIAAD - G.M.



TOWN COMMISSION AGENDA ITEM

REQUESTED MEETING DATE: April 7, 2014 – *Continued from March 17, 2014*

SUBJECT: Resolution 2014-102 –Plaza Professional Center– Variance Request to Authorize the removal of One (1) 38" Historic Tree to Accommodate the construction of a new office building on the last remaining parcel at the Site –302 La Grande Blvd. (Alternate Key #3808678).

DEPARTMENT: GROWTH MANAGEMENT

STAFF RECOMMENDED MOTION:

Staff Recommends granting a continuance of Resolution 2014-102 to the April 21, 2014, Town Commission Meeting, as requested by the applicant, to allow additional time to prepare an alternative building/parking site plan.

SUMMARY

Applicant, Fran Dann-Akin, on behalf of property owners Brian W. Warwick, Janet R. Varnell, and Ellen Robards, has submitted an application for a variance in accordance with Chapter 10, Section 10-4).f) of the Land Development Regulations (LDRs) which states that on all properties, the removal of historic trees shall require a variance from the Planning and Zoning Board and then Town Commission.

The applicant proposes the removal of a 38" Historic Live Oak Tree to accommodate the construction of up to 4,300-square-foot of new office building space on the last remaining parcel at the Plaza Professional Center Site. The applicant states that due to the fact that the historic tree lies directly within the building pad, it is required to be removed. Additionally, the applicant indicated that the tree exhibits excessive lean which would endanger any future building erected and the root structure of the tree will suffer substantial damage during and after construction if the tree were to remain (Please see Justification Statement attached).

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When reviewing an application for a variance, the Planning and Zoning Board and the Town Commission shall consider the following requirements and criteria according to

Chapter 3, Section 14 f) – Review criteria for variances in the Land Development Regulations:

1. No diminution in value of surrounding properties would be suffered.
2. Granting the permit would be of benefit to the public interest.
3. Denial of the permit would result in unnecessary hardship to the owner seeking it.
4. The use must not be contrary to the spirit of this Code.
5. Financial disadvantages and/or inconveniences to the applicant shall not of themselves constitute conclusive evidence of unnecessary and undue hardship and be grounds to justify granting of a variance.
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The subject property lies in Section 07 Township 18 South Range 24 East, Lady Lake Florida. The Future Land Use Map designation for the site is Commercial General-Retail Sales & Services (RET) and is zoned Planned Commercial (CP). The subject property is located at 302 La Grande Blvd. within the Plaza Professional Center (Alternate Key 3808678); within the town limits of the Town of Lady Lake, Florida. Resolution 2014-102 was reviewed by Town Attorney, Derek Schroth, on Tuesday, February 25, 2014, and determined correct in form.

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Comments:

- The applicant is aware that a \$3,800 fee is due to the Town to mitigate the removal of the tree and is prepared to make payment to the Tree Bank pending approval of the resolution.
- Upon approval of this variance resolution, the applicant will continue with the Site Plan application process for approval of the improvements proposed at the remaining vacant lot. All landscaping buffer requirements and planting would have to be satisfied during this process.

Past Actions:

The **Technical Review Committee** reviewed the application for Resolution 2014-102 at its regular meeting on Tuesday, February 18, 2014, recommending approval with a 3-0 vote.

On March 10, 2014, the **Planning and Zoning Board** reviewed Resolution 2014-102 at their regular meeting and recommended approval to the Town Commission by a 3-1 vote.

At the March 17, 2014 meeting, the **Town Commission** approved tabling Resolution No. 2014-102 to the April 7, 2014 Commission Meeting.

FISCAL IMPACT: \$ 0

- Capital Budget
- Operating
- Other

ATTACHMENTS: Ordinance(s) Resolution Budget Resolution

Other

Support Documents/Contracts Available for Review in Manager's Office

DEPARTMENT HEAD

[Handwritten Signature]

Submitted 3/31/14

Date

FINANCE DEPARTMENT

Approved as to Budget Requirements

Date

TOWN ATTORNEY

Approved as to Form and Legality

Date

TOWN MANAGER

[Handwritten Signature]

Approved Agenda Item for: 4-1-14

Date

BOARD ACTION: Approved as Recommended Disapproved

Tabled Indefinitely

Continued to Date Certain Approved w/Modification

APRIL 21, 2014 @ 6 PM

- CONSENSUS APPROVAL

CC: TFRAD - G.M.

3-31-14

4/1/14



PLANNING & ZONING BOARD AGENDA ITEM

REQUESTED BOARD MEETING DATE: March 10, 2014

SUBJECT: Resolution 2014-102 – La Plaza Grande Professional Center–
Variance Request to Authorize the removal of One (1) 38"
Historic Tree to Accommodate the construction of a new
office building on the last remaining parcel at the Site –302 La
Grande Blvd. (Alternate Key #3808678).

DEPARTMENT: GROWTH MANAGEMENT

STAFF RECOMMENDED MOTION:

1. Motion to forward Resolution 2014-102 to the Town Commission with the Recommendation of Approval.
2. Motion to forward Resolution 2014-102 to the Town Commission with the Recommendation of Denial.

Staff is in support of Motion Number 1.

SUMMARY

Applicant, Fran Dann-Akin, on behalf of property owners Brian W. Warwick, Janet R. Varnell, and Ellen Robards, has submitted an application for a variance in accordance with Chapter 10, Section 10-4.f) of the Land Development Regulations (LDRs) which states that on all properties, the removal of historic trees shall require a variance from the Planning and Zoning Board and then Town Commission.

The applicant proposes the removal of a 38" Historic Live Oak Tree to accommodate the construction of up to 4,300-square-foot of new office building space on the last remaining parcel at the La Plaza Grande Professional Center Site. The applicant states that due to the fact that the historic tree lies directly within the building pad, it's required to be removed. Additionally, the applicant indicated that the tree exhibits excessive lean which would endanger any future building erected and the root structure of the tree will suffer substantial damage during and after construction if the tree were to remain (Please see Justification Statement attached).

When reviewing an application for a variance, the Planning and Zoning Board and the Town Commission shall consider the following requirements and criteria according to Chapter 3, Section 14 f) – Review criteria for variances in the Land Development Regulations:

2. Granting the permit would be of benefit to the public interest.
3. Denial of the permit would result in unnecessary hardship to the owner seeking it.
4. The use must not be contrary to the spirit of this Code.
5. Financial disadvantages and/or inconveniences to the applicant shall not of themselves constitute conclusive evidence of unnecessary and undue hardship and be grounds to justify granting of a variance.
6. Physical hardships such as disabilities of any applicant may be considered grounds to justify granting of a variance at the discretion of the Town Commission.

The subject property lies in Section 07 Township 18 South Range 24 East, Lady Lake Florida. The Future Land Use Map designation for the site is Commercial General-Retail Sales & Services (RET) and is zoned Planned Commercial (CP). The subject property is located at 302 La Grande Blvd. within the La Plaza Grande Professional Center (Alternate Key 3808678), within the town limits of the Town of Lady Lake, Florida. The application is complete and ready for review by the Planning & Zoning Board for their recommendation. Resolution 2014-102 was reviewed by Town Attorney, Derek Schroth, on Tuesday, February 25, 2014, and determined correct in form.

Notices to inform the surrounding property owners (16) within 150' of the subject property of the proposed variance were mailed by certified mail return receipt on Monday, February 24, 2014. The property was posted on Tuesday, February 25, 2014.

Note:

Upon approval of this variance resolution, the applicant will continue the with Site Plan application process for approval of the improvements proposed at the remaining vacant lot. All landscaping buffer requirements and planting would have to be satisfied during this process.

Past Actions:

The **Technical Review Committee** reviewed the application for Resolution 2014-102 at its regular meeting on Tuesday, February 18, 2014, recommending approval with a 3-0 vote.

Public Hearings:

The **Town Commission** will review the application for Resolution 2014-102 for final consideration at its regular meeting on Monday, March 17, 2014 at 6:00 p.m.

FISCAL IMPACT: \$ _____

- Capital Budget
- Operating
- Other

ATTACHMENTS: Ordinance(s) Resolution Budget Resolution

Other

Support Documents/Contracts Available for Review in Manager's Office

D
-4-17

DEPARTMENT HEAD

[Handwritten Signature]

Submitted 3/4/14

Date

FINANCE DEPARTMENT

Approved as to Budget Requirements

Date

TOWN ATTORNEY

Approved as to Form and Legality

Date

TOWN MANAGER

[Handwritten Signature]

Approved Agenda Item for: 3/10/14

Date 3/11/14

BOARD ACTION: Approved as Recommended Disapproved
NOTE: 3/10/14 3-1 (MAYENIE)

Tabled Indefinitely Continued to Date Certain

Approved with Modification

CC: THAD - G.M.



VARIANCE COMMENTS AND RECOMMENDATIONS

Meeting of February 18, 2014

TO: Technical Review Committee

FROM: Wendy Then, Town Planner

SUBJECT: La Plaza Grande Professional Center
Resolution No. 2014-102 – Historic Tree Removal Variance

APPLICANT: Fran Dann-Akin, on behalf of property owners Brian W.
Warwick, Janet R. Varnell, and Ellen Robards

DATE: February 11, 2014

SUMMARY:

Applicant, Fran Dann-Akin, on behalf of property owners Brian W. Warwick, Janet R. Varnell, and Ellen Robards, has submitted an application for a variance in accordance with Chapter 10, Section 10-4.f) of the Land Development Regulations (LDRs) which states that on all properties, the removal of historic trees shall require a variance from the Planning and Zoning Board and then Town Commission.

The applicant proposes the removal of a 38" Historic Live Oak Tree to accommodate the construction of up to 4,300-square-foot of new office building space on the last remaining parcel at the La Plaza Grande Professional Center Site. The applicant states that due to the fact that the historic tree lies directly within the building pad, it's required to be removed. Additionally, the applicant indicated that the tree exhibits excessive lean which would endanger any future building erected and the root structure of the tree will suffer substantial damage during and after construction if the tree were to remain (Please see Justification Statement attached).

When reviewing an application for a variance, the Planning and Zoning Board and the Town Commission shall consider the following requirements and criteria according to Chapter 3, Section 14 f) – Review criteria for variances in the Land Development Regulations:

1. No diminution in value of surrounding properties would be suffered.
2. Granting the permit would be of benefit to the public interest.
3. Denial of the permit would result in unnecessary hardship to the owner seeking it.
4. The use must not be contrary to the spirit of this Code.
5. Financial disadvantages and/or inconveniences to the applicant shall not of themselves constitute conclusive evidence of unnecessary and undue hardship and be grounds to justify granting of a variance.
6. Physical hardships such as disabilities of any applicant may be considered grounds to justify granting of a variance at the discretion of

The subject property lies in Section 07 Township 18 Range 24, Lady Lake Florida. The Future Land Use Map designation for the site is Commercial General-Retail Sales & Services (RET) and is zoned Planned Commercial (CP). The subject property is located at 302 La Grande Blvd. within the La Plaza Grande Professional Center (Alternate Key 3808678); within the town limits of the Town of Lady Lake, Florida. The application is complete and ready to be transmitted to the Planning & Zoning Board for their recommendation.

Notices to inform the surrounding property owners (16) within 150' of the subject property of the proposed variance will be mailed by certified mail return receipt on Monday, February 24, 2014. The property will also be posted on Monday, February 24, 2014.

Note:

Upon approval of this variance resolution, the applicant will continue the with Site Plan application process for approval of the improvements proposed at the remaining vacant lot.

Public Hearings:

The Planning and Zoning Board will review the application for Resolution 2014-102 at its regular meeting on Monday, March 10, 2014 at 6:00 p.m.

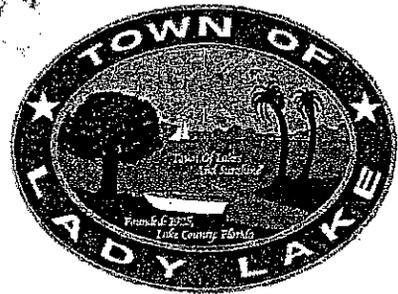
The Town Commission will review the application for Resolution 2014-102 for final consideration at its regular meeting on Monday, March 17, 2014 at 6:00 p.m.

Municipal Complex, 409 Fennell Boulevard, Lady Lake, Florida 32159 USA

352-751-1500

FAX 352-751-1510

www.ladylake.org



July 19, 2004

Ed Neuzil, PH.D.
926 N. Highway 27/441
Lady Lake, FL 32159

RE: MSP #07/04-004

Dear Dr. Neuzil:

On July 19, 2004, the Technical Review Committee approved a Minor Site Plan for the approval of the Allergy, Sinus and Asthma Center. This letter is to serve a formal communication providing final, minor site plan approval for the proposed Allergy, Sinus and Asthma Center.

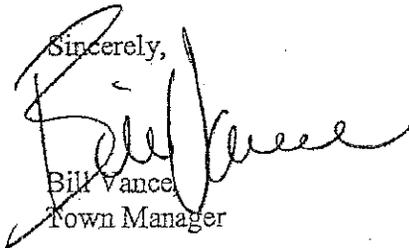
In accordance with Chapter 7, Section 10(a) of the Land Development Regulations (LDRs), this site plan will expire if construction has not commenced prior to July 19, 2005. You may request an extension of the approval for this site plan by submitting a written request to the Town Manager prior to the expiration date.

If development is continuously proceeding prior to July 19, 2005, the Town Manager may grant one or more extensions not to exceed two (2) years per Chapter 7, Section 10(b) of the LDRs.

If construction has not commenced prior to July 19, 2005 and an extension is requested, the request will be reviewed and considered following the same process as the original approval in accordance with Chapter 7, Section 10(B)(2,3) the LDRs.

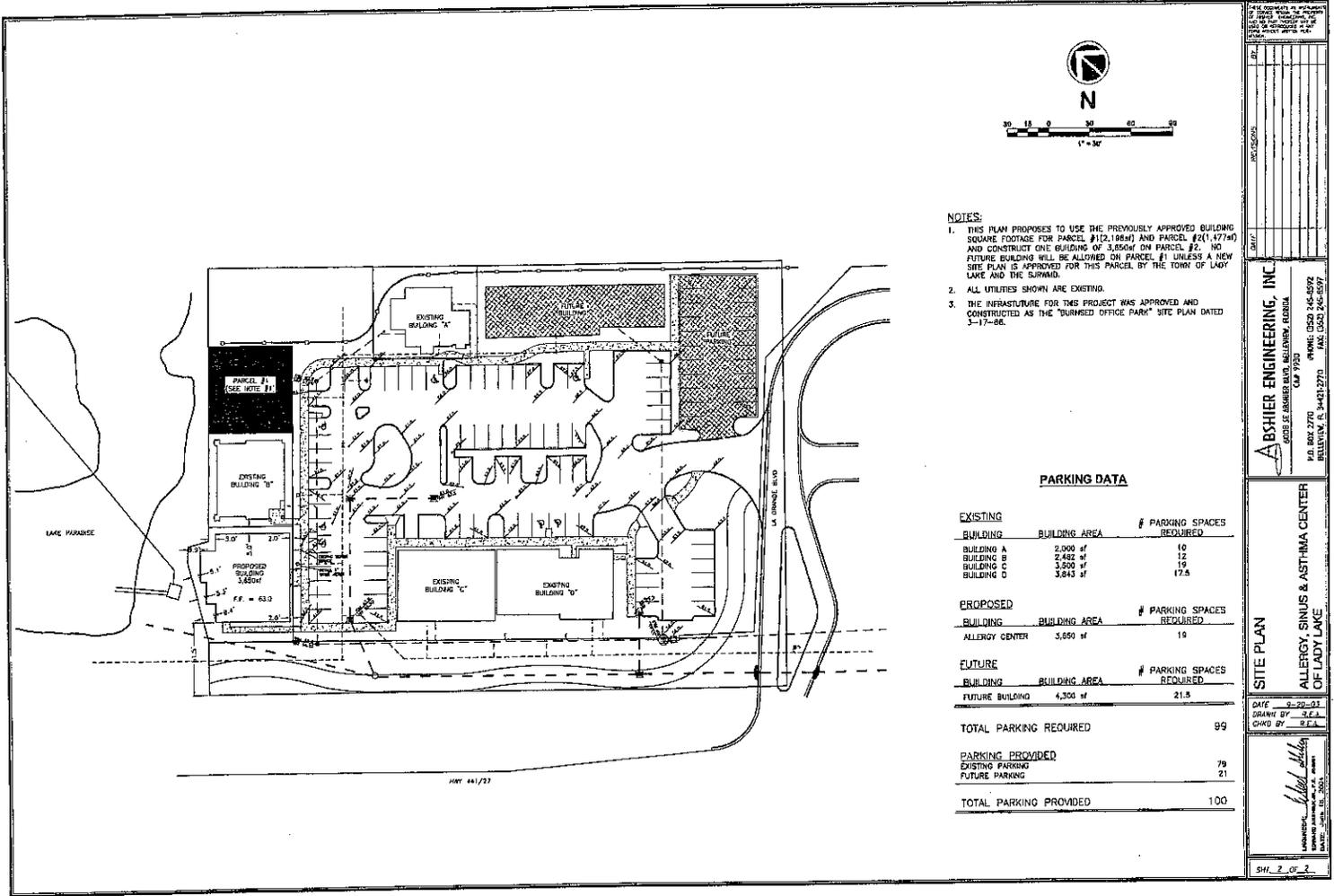
If you find any question with any of the information, please contact this office at your earliest convenience.

Sincerely,



Bill Vance
Town Manager

Cc: Ed Abshier
File(s)



- NOTES:**
1. THIS PLAN PROPOSES TO USE THE PREVIOUSLY APPROVED BUILDING SQUARE FOOTAGE FOR PARCEL #1(2,188sf) AND PARCEL #2(1,477sf) AND CONSTRUCT ONE BUILDING OF 3,850sf ON PARCEL #2. NO FUTURE BUILDING WILL BE ALLOWED ON PARCEL #1 UNLESS A NEW SITE PLAN IS APPROVED FOR THIS PARCEL BY THE TOWN OF LADY LAKE AND THE SURROUNDING.
 2. ALL UTILITIES SHOWN ARE EXISTING.
 3. THE INFRASTRUCTURE FOR THIS PROJECT WAS APPROVED AND CONSTRUCTED AS THE "BURNESE OFFICE PARK" SITE PLAN DATED 3-17-86.

PARKING DATA

EXISTING		# PARKING SPACES REQUIRED
BUILDING	BUILDING AREA	
BUILDING A	2,000 sf	10
BUILDING B	2,482 sf	12
BUILDING C	3,800 sf	19
BUILDING D	3,843 sf	17A
PROPOSED		# PARKING SPACES REQUIRED
BUILDING	BUILDING AREA	
ALLERGY CENTER	5,650 sf	19
FUTURE		# PARKING SPACES REQUIRED
BUILDING	BUILDING AREA	
FUTURE BUILDING	4,300 sf	21.5
TOTAL PARKING REQUIRED		99
PARKING PROVIDED		
EXISTING PARKING		79
FUTURE PARKING		21
TOTAL PARKING PROVIDED		100

SHEET NO. 2 OF 2
 DATE 9-20-01
 DRAWN BY S.E.L.
 CHECKED BY R.E.A.
 PROJECT: ALLERGY, SINUS & ASTHMA CENTER OF LADY LAKE
 PREPARED BY: [Signature]
 DATE: [Signature]
 PROJECT NO.: [Signature]
 SHEET NO.: [Signature]

ABSHIER ENGINEERING, INC.
 6020 E. BURNHAMME RD., SUITE 100
 TAMPA, FL 33611
 TEL: 813.270.1100 FAX: 813.270.1101
 WWW.ABSHIER.COM