



SPECIAL MEETING OF THE LADY LAKE TOWN COMMISSION

DATE: Tuesday, September 16, 2014
TIME: 3:00 p.m.
PLACE: 409 Fennell Blvd.
Town Hall Commission Chambers

ALL INTERESTED PERSONS ARE CORDIALLY INVITED TO ATTEND THIS PUBLIC MEETING

AGENDA

1. Call to Order: Mayor Ruth Kussard
2. Roll Call
3. Public Comment
4. Conceptual Presentation of Citizen's First Bank Drive-Through Facility Major Site Plan – MJSP 07/14-001 – A Development Consisting of a 330 Sq. Ft. Financial Institution Building with the Provision a Three Service Lane Drive-Through Facility - Located at 1105 Caballero Court (within The Villages Downtown Center in Spanish Springs) (Thad Carroll)
4. Adjourn

This public hearing is being conducted in a handicapped accessible location. Any handicapped person requiring an interpreter for the hearing impaired or the visually impaired should contact the Clerk's Office at least five (5) calendar days prior to the meeting and an interpreter will be provided. To access a Telecommunication Device for Deaf Persons (TDD), please call (352) 751-1565. Any handicapped person requiring special accommodation at this meeting should contact the Clerk's Office at least five (5) calendar days prior to the meeting.

Advice to the Public: If a person decides to appeal a decision made with respect to any matter considered at the above meeting or hearing, he may need a verbatim record of the proceedings including the testimony and evidence which record is not proved by the Town of Lady Lake. (F.S. 286-0105)

Please be advised that one or more members of any other Town Board or Committee may be in attendance of this meeting.



SPECIAL TOWN COMMISSION - CONCEPTUAL WORKSHOP AGENDA ITEM

REQUESTED SPECIAL COMMISSION MEETING DATE: September 16, 2014

SUBJECT: Conceptual Presentation for the Citizen's First Bank Drive-through Facility Major Site Plan - MJSP 07/14-001- A Development consisting of a 330-square-foot Financial Institution Building with the provision a Three-Lane Service Drive-Through Facility proposed at 1105 Caballero Court (AK 3840565).

DEPARTMENT: Growth Management

STAFF RECOMMENDED MOTION:

Staff recommends advancing the site plan with the proposed waivers, as it has been designed to the best practicable extent to meet site specifications as required per Town of Lady Lake Land Development Regulations and the provisions of the Village Downtown Center Memorandum of Agreement.

Applicant, Martin L. Dzuro, on behalf of the Villages Operating Company, has submitted an application for the construction of new Citizen's First Bank- Drive-Through Facility to be located at 1105 Caballero Court, within the Villages Downtown Center in Spanish Springs, identified by Alternate Key number 3840565. The applicant proposes the construction of a 330-square-foot Financial Institution Building with the provision a Three-Lane Service Drive-Through Facility. The site plan was reviewed to determine if it is in compliance with the Land Development Regulations (LDRs) including parking, setbacks, landscaping, engineering, environmental protection and commercial design standards.

The subject property is approximately .30 +/- acres and is located within The Villages Center Planned Commercial Master Plan also referenced as Spanish Springs. The property is zoned "CP" Planned Commercial which permits development and construction of the proposed facility and is in accordance with the Memorandum of Agreement adopted by the Village Center and the Tri-County Villages Development of Regional Impact (DRI). The requested use is consistent with the directives of the Comprehensive Plan and adopted Land Development Regulations.

Commercial Design Standard

Attached are the site plan and façade elevations for the Citizen's First Bank- Drive-Through Facility:

In accordance with the Land Development Regulations, **Chapter 20, Section 20-3C).3).A).**, new buildings should adopt one of the four recommended architectural styles: Frame Vernacular, Craftsman/Bungalow, Mediterranean, or Mission.

The Citizen's First Bank Drive-Through Facility building features the Mission Architectural Style Design. The building exhibits:

- ✓ Shaped Mission Roof Parapet
- ✓ Drive-through facility supported by large square piers
 - ✓ Symmetrical Façade
 - ✓ Spanish Tile Roof
- ✓ Stucco Finish on Building Exterior Walls
- ✓ Mission Style Sconce (light fixtures) on facades
 - ✓ Wide overhanging eaves
- ✓ Mission-style doors and faux windows

Tree Requirements:

In accordance with Chapter 10-Landscape and Tree Protection, the site is required to provide 48 tree caliper inches based on its .30-acre area (160"x .30). Please see the landscaping tree proposal breakdown:

Existing Trees to remain	48 tree caliper inches
Proposed Canopy & Understory Trees	21 tree caliper inches
Proposed Palms	<u>13</u> tree caliper inches
Total tree caliper inches	82 tree caliper inches

The applicant is providing significantly more than the required on-site tree caliper inches.

The following four (4) waiver(s) to the Landscaping Regulations have been proposed by the applicant:

I) Waiver to LDRs-Chapter 10, Section 10-3, b).B).1) for South Landscaping Buffer

Minimum landscaping requirement (Buffer Class Requirement-Table 10-1):
Class "A": 10' width minimum with 2 Canopy Trees, 3 Understory Trees and a continuous hedge.

Proposal: To waive two (2) understory trees.

Justification: Space limitation and constrains unique to the subject parcel that cannot be accommodated on site. The South elevation will exhibit the commercial driveway entrance directing traffic to the service lane. Additionally, adjacent mature canopy trees lie alongside this elevation.

II) Waiver to LDRs-Chapter 10, Section 10-3, b).B).1) for East Landscaping Buffer

Minimum landscaping requirement (Buffer Class Requirement-Table 10-1):

Class "A": 10' width minimum with 2 Canopy Trees, 3 Understory Trees and a continuous hedge.

Proposal: To waive two (2) canopy trees and one (1) understory trees.

Justification: Space limitation and constrains unique to the subject parcel that cannot be accommodated on site. The preservation of the 40" Oak Tree on this elevation combined with the proposed trees will be sufficient to create the landscaping environment and look desired for this small site.

III) Waiver to LDRs-Chapter 10, Section 10-3, b).B).1) for West Landscaping Buffer

Minimum landscaping requirement (Buffer Class Requirement-Table 10-1):
Class "A": 10' width minimum with 2 Canopy Trees, 3 Understory Trees and a continuous hedge.

Proposal: To waive three (3) understory trees.

Justification: The proposed trees will be sufficient to create the landscaping environment and look desired for this small site. Also a reduction of overcrowding plant material is necessary due to the presence of existing off-site canopy tree on the West elevation.

IV) Waiver to submit Irrigation Plans as required per Land Development Regulations Chapter 10, Section 10-3)k)2)

Proposal: Applicant will modify existing irrigation system during construction since there are no As-built plans for the current system. An automatic system design-built will be constructed to meet the Villages Specifications.

Justification: The accurate preparation of the irrigation system is not possible and will not be discernible until the time of construction; therefore the applicant requests a deferral for this submittal item at this time.

Notes:

- The applicant will be preserving an existing 40" Historic Oak Tree on the subject parcel.

Public Meetings:

The **Technical Review Committee** members individually reviewed the application on Thursday, August 28, 2014, and provided outstanding comments regarding the Site Plan application.

The applicant also has proposed two (2) variance applications to go concurrent with the Citizen's First Bank Drive-through Facility site plan, which the Town Commission will review at the 10/06 regular Town Commission meeting for final consideration; at the September 8, 2014 **Planning and Zoning Board** meeting, recommendations were made for denial of both variances:

Approved as Recommended Disapproved

Tabled Indefinitely

Continued to Date Certain

Approved with Modification

**TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW**



1. Applicant's Name: The Villages Operating Company, Martin L. Dzuro, Vice President
Telephone/Email: 352-753-6260 marty.dzuro@thevillages.com
Applicant is: Owner Developer Lessee Agent Optionee
2. Owner's Name: The Villages Operating Company, Martin L. Dzuro, Vice President
Address: 1045 Lake Sumter Landing, The Villages, FL 32162
Telephone/Email: 352-753-6260 marty.dzuro@thevillages.com
3. Engineer's Name: Farner Barley & Associates, Inc., Jeffrey A. Head, P.E.
Address: 4450 NE 83rd Road, Wildwood, FL 34785
Telephone/Email: 352-748-3126 jhead@farnerbarley.com
Reg. Number: 58058
4. Architect's Name: KP Studio Architects, Ed Plaster Jr., V.P.
Address: 537 NE 83rd Avenue, Ocala, FL 34470
Telephone/Email: 352-622-7163 eplaster@kpstudioarchitect.com
Registration Number: _____
5. Landscape Architect: Mike Pape & Associates, Inc.
Address: 2351 SE 17th Street, Ocala, FL 34471
Telephone/Email: 352-351-3500 mail@mpala.net
Registration Number: _____
6. Project Name: Citizens First Bank Drive Thru at Spanish Springs
Physical Location/Address: 1105 Caballero Court, The Villages, FL
11. The property is located in the vicinity of the following streets:
Caballero Court & Paige Place

TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW
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8. Area of property 12,364 Square Feet 0.28 Acres
9. The exact legal description of the property as shown on the Tax Receipt or the Warranty Deed, or attach a separate sheet to the application form:
See plans

10. The property is currently zoned: PUD
11. Briefly describe the proposed project: 330 sf drive thru teller building with paved access lanes
If for storage, what type of material will be stored? N/A
12. Have any development reviews and/or approvals been granted to this property?
Yes ___ No X If yes, list the type, date and result:

13. Has any Variance been granted concerning this property? Yes ___ No X
If yes, list the Case Number and briefly describe the nature of the Variance.

14. The plans shall be drawn on 24" x 36" sheets as a minimum, at the largest scale feasible. The plans or any portion thereof involving engineering, shall be certified by a professional engineer or landscape architect as required by SJRWMD. The following information must be included on the site plan:

General Information

- X a. Name of project.
- X b. General statement of intended use of site.
- X c. Legal description of the property and size of parcel in acres or square feet.
- X d. Name and address of owner.

TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW

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- X e. Name, address and phone number of owner's agent.
- X f. Name, address, signature and registration of the professionals preparing the plans.
- X g. Date, north arrow and scale shall be designated and where appropriate, the same scale shall be used on all sheets.
- X h. Vicinity map showing relationship of proposed development to the surrounding streets and thoroughfares, shall be at a scale no smaller than one inch equals five thousand two hundred eighty feet (1" = 5,280' or 1" = Mile).
- X i. Linear dimensions of the site.
- X j. Existing topography with a maximum of one (1) foot contour intervals for the proposed site.
- X k. Finished grading elevations.
- X l. Zoning of the site and of all adjacent parcels.
- X m. All existing and proposed building restriction lines (i.e., highway setback lines, easements, covenants, rights-of-way and building setback lines).
- X n. Percent of open space of site.
- X o. Location of proposed signs.

Building and Structure

- X a. Existing and proposed structures.
- X b. Intended use.
- X c. Number of stories.
- X d. Height of building(s).
- X e. Number of dwelling units and density.
- N/A f. Projected number of employees, if applicable.
- N/A g. If restaurant, show number of seats and occupancy load.

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APPLICATION FOR SITE PLAN REVIEW

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- X h. Square footage for proposed development, i.e., gross square footage, nonstorage area, square footage of each story, gross square footage of sales area, etc.
- X i. Photograph or sketch of proposed sign with dimensions and material type.

Street, Sidewalks, Driveways, Parking Areas and Loading Spaces

- X a. Engineering plans and specifications for streets, alleys, sidewalks and driveways to include soil borings, if necessary.
- X b. All parking spaces delineated.
- X c. Number of parking spaces.
- X d. Number and location of handicapped spaces.
- X e. Number of square feet of paved parking and driveway area.
- X f. Surface materials and cross-section of proposed paved areas.
- N/A g. Fire lanes per the Standard Fire Prevention Code adopted in the Building and Fire Codes chapter.
- X h. Description/location of proposed driveway(s) and median cut(s).
- X i. Internal traffic control circulation plan, including directional arrows and signs to direct traffic flow, as necessary.
- N/A j. Location of traffic-control signs and signalization devices, if required.
- N/A k. Number and location of required loading spaces.
- N/A i. Number and location of required bicycle spaces.

Drainage and Stormwater

- N/A a. Soil classifications, cross-sections and details of proposed retention/detention ponds, swales, berms, etc., as required by SJRWMD.
- N/A b. Size, material and location of stormwater structures and pipes.

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APPLICATION FOR SITE PLAN REVIEW

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- X c. Indicate flood elevation for 100-year flood and any other information required in Environmental Regulations chapter.

Proposed Water, Sewer and Solid Waste Facilities

- X a. Size, material, specifications and location of water mains, valves, services and fire hydrants.
- X b. Size, material, specifications and location of sanitary sewer lines and laterals with submittal of a profile, if necessary.
- N/A c. Size and location of septic tank and drainfield, if applicable.
- N/A d. Grease separation system, if applicable: Size, location and materials.
- X e. Location(s) and access provisions for refuse service, including pad, screening, fencing and landscaping, if applicable.

Landscaping

- X a. Landscaping plan and provisions for maintenance including size, type and location of all landscaping, screens, walls, fences and buffers per the requirements in the Landscaping and Tree Protection chapter. If water efficient landscaping is used, the information required in that chapter should be included.
- X b. Irrigation system plan.

Environmental Protection

- N/A a. Natural features such as waterbodies, wetlands, native vegetative communities, etc., as required in the Environmental Regulations chapter.
- N/A b. Conservation easements per the requirements.
- X c. Provisions for the adequate control of erosion and sediment, including the location and description of the methods to be utilized during and after all phases of clearing, grading and construction.

ADDITIONAL INFORMATION TO BE PROVIDED

- N/A a. Summary report of all concurrency data needed as noted in Chapter 4 of the Lady Lake Land Development Regulations.

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APPLICATION FOR SITE PLAN REVIEW

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- X b. Drainage calculations as required in the Stormwater Management chapter.
- N/A c. Fire flow calculations, if applicable.
- N/A d. Lift station calculations, where required.
- N/A e. Copy of HRS permit, where required.
- N/A f. A construction cost estimate prepared by the engineer of record, which shall delineate any proposed improvements to be maintained by the Town.
- N/A g. Environmental assessment per the requirements, if applicable.
- N/A h. Any additional data, maps, plans or statements, as may be required, which is commensurate with the intent and purpose of the Code.



Signature of Applicant

PLEASE SUBMIT APPLICATION TO THE GROWTH DEVELOPMENT DEPARTMENT ACCOMPANIED BY EIGHT (8) COPIES OF THE SITE PLAN AND FOUR (4) 11 X 17 (SIGNED AND SEALED IF REQUIRED), APPROPRIATE REVIEW FEES, PROOF OF OWNERSHIP AND ALL APPLICABLE INFORMATION AND DOCUMENTATION AS REQUIRED BY LADY LAKE ORDINANCE 94-08, LAND DEVELOPMENT REGULATIONS, ADOPTED AUGUST 15, 1994.

Office Use:

Date Application Received: 07-22-14 Received by: Wither

Fees Paid:

Site Development Plan - Minor	_____
Site Development Plan - Major up to 100,000 sq. ft	<u>\$4,975.00</u>
Site Development Plan - Major 100,001 sq. ft. and up	_____

OWNER'S AFFIDAVIT

STATE OF FLORIDA
COUNTY OF LAKE

RAD SUMTER

Before me, the undersigned authority, personally appeared Martin L. Dzuro, who being by me first duly sworn on oath, deposes and says:

(1) That he/she is the fee-simple owner of the property legally described on page one of this application.

(2) That he/she desires approval for:

Citizens First Bank Drive Thru at Spanish Springs

(3) That he/she has appointed Jeffrey A. Head, P.E. to act as agent in his/her behalf to accomplish the above. The Owner is required to complete the APPLICANT'S AFFIDAVIT of this application if no agent is appointed to act in his/her stead.

[Handwritten Signature]

Affiant (Owner's Signature)

The foregoing instrument was acknowledged before me this 10th day of July, 2014, by Martin L. Dzuro, who is personally known to me or who has produced N/A as identification and who did (did not) take an oath.

[Handwritten Signature]

Notary Public



NOTE

All applications shall be signed by the owner of the property, or some person duly authorized by the owner to sign. This authority authorizing a person other than the owner to sign must be attached.

APPLICANT'S AFFIDAVIT

STATE OF FLORIDA
COUNTY OF LAKE

2014
SUMTER

Before me, the undersigned authority, personally appeared Martin L. Dzuro,
who being by me first duly sworn on oath, deposes and says:

- (1) That he/she affirms and certifies that he/she understands and will comply with all ordinances, regulations, and provisions of the Town of Lady Lake, Florida, and that all statements and diagrams submitted herewith are true and accurate to the best of his/her knowledge and belief, and further, that this application and attachments shall become part of the Official Records of the Town of Lady Lake, Florida, and are not returnable.
- (2) That he desires approval for:
Citizens First Bank Drive Thru at Spanish Springs
- (3) That the submittal requirements for the application have been completed and attached hereto as part of this application.

[Handwritten Signature]

Affiant (Applicant's Signature)

The foregoing instrument was acknowledged before me this 10th day of July,
2014, by Martin L. Dzuro, who is personally known to me or who has produced
N/A as identification and who did (did not) take an oath.

[Handwritten Signature]

Notary Public



PROPERTY RECORD CARD

General Information

Alternate Key:	3840565	Parcel:	06-18-24-300100001100
Owner Name:	VILLAGES OPERATING COMPANY	Millage:	FVCD (Lady Lake) : 17.3407
Owner Address:	1020 LAKE SUMTER LNDG THE VILLAGES, FL 32162	Property Location:	LADY LAKE FL 32159
Legal Description:	LADY LAKE, VILLAGE CENTER DOWNTOWN BUILDING AREA 11 BEING IN 07-18-24 PB 55 PG 72-79 ORB 3171 PG 1171		

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Just Value
1	VACANT COMMERCIAL (1000)	0	0		13146	SF	\$0.00	\$262,920.00

Miscellaneous Improvements

There is no improvement information to display.

Sales History

O.R. Book / Page	Sale Date	Instrument	Q/U	Vac./Imp.	Sale Price
3171 / 1171	5/1/2006	WD	M	V	\$1.00

Value

Total Just Value:	=	\$262,920.00
Assessed Value:	=	\$262,920.00
Total Exempt Value:	=	\$0.00
Total Taxable Value:	=	\$262,920.00
Millage Rate:	×	0.0173407
Base Ad-Valorem Tax:	=	\$4,559.21
Non-Exempt School Levies:	+	\$0.00
Estimated Ad-Valorem Tax:	=	\$4,559.21

* The just values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes. The amounts shown may not include all exemptions. The estimated tax totals do not reflect Non-Ad Valorem assessments. (Fire Fees, Solid Waste, etc.) Please consult the Tax Collector for actual taxation amounts.

Truth In Millage (TRIM) Notice

- [Notice of Proposed Property Taxes & Proposed or Adopted Non-Ad Valorem Assessments](#)



St. Johns River Water Management District

Hans G. Tanzler III, Executive Director

4049 Reid Street • P.O. Box 1429 • Palatka, FL 32178-1429 • (386) 329-4500
On the Internet at floridaswater.com.

August 12, 2014

The Villages Operating Company
1045 Lake Sumter Lndg
The Villages, FL 32162-2698

Re: Citizens First Bank Drive Thru at Spanish Springs
Letter Modification Number 4-069-19152-27
(Please reference the above number on any submittal)

The St. Johns River Water Management District is in receipt of your request for letter modification to Permit Number 4-069-19152-3. Based upon staff review of the information you submitted, the proposed modification qualifies for a letter modification pursuant to 40C-4.331(1)(b), Florida Administrative Code (F.A.C.). A copy of the modified permit is enclosed for your records.

Please be advised that the District has not published a notice in the newspaper to advise the public that it is issuing this letter of modification. If you do not publish a notice in the newspaper, a party's right to challenge the issuance of this letter modification extends for an indefinite period of time. If you wish to have certainty that the period of filing such a challenge is closed, then you may publish, at your own expense, such a notice in a newspaper of general circulation within the area that includes the project to which the modification applies. A copy of the form of the notice is attached for your use. If you have any questions, please contact Allyson Grosmaire at (407) 659-4860 or Sandra Joiner at (407) 659-4871

Sincerely,

Margaret Daniels, Bureau Chief
Bureau of Regulatory Support

cc: District Permit File

GOVERNING BOARD

Johnnie Whites, Chairman

Margaret H. Gagnon, Vice Chairman

Frankie Roberts, Jr., Secretary

George W. Parsons, Treasurer

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ST. JOHNS RIVER WATER MANAGEMENT DISTRICT

~~Post Office Box 1429~~
Palatka, Florida 32178-1429

PERMIT NO. 4-069-19152-27

DATE ISSUED: August 12, 2014

PROJECT NAME: Citizens First Bank Drive Thru at Spanish Springs

A PERMIT AUTHORIZING:

Modification of an existing Surface Water Management System for Orange Blossom Gardens-Southside, Permit No. 4-069-19152-3, to include the construction and operation of a 0.28-acre project known as Citizens First Bank Drive Thru at Spanish Springs, as per plans received by the District on July 17, 2014.

LOCATION:

SECTION(S): 7
Lake County

TOWNSHIP(S): 18S RANGE(S): 24E

ISSUED TO:

The Villages Operating Company
1045 Lake Sumter Lndg
The Villages, FL 32162-2698

Permittee agrees to hold and save the St. Johns River Water Management District and its successors harmless from any and all damages, claims, or liabilities which may arise from permit issuance. Said application, including all plans and specifications attached thereto, is by reference made a part hereof.

This permit does not convey to permittee any property rights nor any rights or privileges other than those specified herein, nor relieve the permittee from complying with any law, regulation or requirement affecting the rights of other bodies or agencies. All structures and works installed by permittee hereunder shall remain the property of the permittee.

This permit may be revoked, modified or transferred at any time pursuant to the appropriate provisions of Chapter 373, Florida Statutes.

PERMIT IS CONDITIONED UPON:

See conditions on attached "Exhibit A", dated August 12, 2014

AUTHORIZED BY: St. Johns River Water Management District
Division of Regulatory Engineering and Environmental Services

By: 

David Dewey
Service Center Director

"EXHIBIT A"
CONDITIONS FOR ISSUANCE OF PERMIT NUMBER 4-069-19152-27
The Villages Operating Company, Martin L. Dzuro
DATED August 12, 2014

1. Prior to lot or unit sales, or upon completion of construction of the system, whichever occurs first, the District must receive the final operation and maintenance document(s) approved by the District and recorded, if the latter is appropriate. For those systems which are proposed to be maintained by county or municipal entities, final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local government entity. Failure to submit the appropriate final document will result in the permittee remaining personally liable for carrying out maintenance and operation of the permitted system.
2. All construction, operation and maintenance shall be as set forth in the plans, specifications and performance criteria as approved by this permit.
3. District authorized staff, upon proper identification, will have permission to enter, inspect and observe the system to insure conformity with the plans and specifications approved by the permit.
4. The permittee must implement and maintain all erosion and sediment control measures (best management practices) required to retain sediment on -site and to prevent violations of the water quality criteria and standards in chapters 17-4, 17-302, F.A.C. All practices must be in accordance with the guidelines and specifications in section 6 of the Florida Land Development Manual: A Guide to Sound Land and Water Management (Florida Department of Environmental Regulation 1988) unless a project - specific erosion and sediment control plan is approved as part of the permit in which case the practices must be in accordance with the plan. If site specific conditions require additional measures during any phase of construction or operation to prevent erosion or control sediment, beyond those specified in the erosion sediment control plan, the permittee must implement additional best management practices as necessary, in accordance with the specifications in section 6 of the Florida Land Development Manual: A guide to sound Land and Water Management (Florida Department of Environmental Regulation, 1988).
5. Stabilization measures shall be indicated for erosion and sediment control on disturbed areas as soon as practicable in or permanently ceased, but in no case more than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased.
6. The operation phase of the permit shall not become effective until a Florida registered Professional Engineer certifies that the system, or independent portion of a system, has been constructed in accordance with the permit issued by the District, and the permittee receives written notification by District staff that the construction, alteration or maintenance has been completed according to the permit. Within 30 days after completion of construction of the surface water management system, or independent portion of the system, the permittee shall submit the certification or one set of plans which reflect the surface water management system as actually constructed. This submittal shall serve to notify the District that the system is ready for inspection. The permit may not be transferred to an operation and maintenance entity approved by the District until the operation phase of the permit becomes effective.

7. If any other regulatory agency should require revisions or modification to the permitted project, the District is to be notified of the provisions so that determination can be made whether a permit modification is required.
8. The District must be notified, in writing, within 30 days of any sale, conveyance or other transfer of a permitted system or facility or within 30 days of any transfer of ownership or control of the real property at which the permitted system or facility is located. All transfers of a permit are subject to the requirements of section 40C-1.612, F.A.C.
9. The permittee must require the contractor to review and maintain a copy of this permit, complete with all conditions, attachments, exhibits, and modifications in good condition at the construction site. The complete permit shall be available for review upon request by District representatives.
10. Construction or alteration of each phase or independent portion of the permitted surface water management system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be complete in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of that phase or portion of the system to local government or other responsible entity.
11. To the extent permitted by Florida law, the permittee must hold and save the District harmless from any and all liability arising from property damage or personal injury as a result of the permitted, activities.
12. Nothing contained herein relieves the permittee from timely complying with applicable laws of other federal, state or local governments.
13. If an entity other than the permittee has been approved as the operation and maintenance entity the permittee may request transfer of the permit for a completed system or independent portion of a system to the District approved operation and maintenance entity at the time of submittal of the as - built or Professional Engineer certification for construction of the permitted surface water management system.
14. All wetland areas or water bodies that are outside the specific limits of construction authorized by this permit must be protected from erosion, siltation, scouring or excess turbidity, and dewatering.
15. Prior to construction, the permittee must clearly designate the limits of construction on-site. The permittee must advise the contractor that any work outside the limits of construction, including clearing, may be a violation of this permit.
16. This permit for construction will expire two years from the date of issuance.
17. The proposed project shall be constructed and operated in accordance with the plans received by the District on July 17, 2014.
18. The permit does not authorize work in, on or over wetlands or other surface waters.

Notice Of Rights

1. A person whose substantial interests are or may be affected has the right to request an administrative hearing by filing a written petition with the St. Johns River Water Management District (District). Pursuant to Chapter 28-106 and Rule 40C-1.1007, Florida Administrative Code, the petition must be filed (received) either by delivery at the office of the District Clerk at District Headquarters, P. O. Box 1429, Palatka Florida 32178-1429 (4049 Reid St., Palatka, FL 32177) or by e-mail with the District Clerk at Clerk@sjrwmnd.com, within twenty-six (26) days of the District depositing the notice of District decision in the mail (for those persons to whom the District mails actual notice), within twenty-one (21) days of the District emailing the notice of District decision (for those persons to whom the District emails actual notice), or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail or email actual notice). A petition must comply with Sections 120.54(5)(b)4. and 120.569(2)(c), Florida Statutes, and Chapter 28-106, Florida Administrative Code. The District will not accept a petition sent by facsimile (fax), as explained in paragraph no. 4 below.
2. Please be advised that if you wish to dispute this District decision, mediation may be available and that choosing mediation does not affect your right to an administrative hearing. If you wish to request mediation, you must do so in a timely-filed petition. If all parties, including the District, agree to the details of the mediation procedure, in writing, within 10 days after the time period stated in the announcement for election of an administrative remedy under Sections 120.569 and 120.57, Florida Statutes, the time limitations imposed by Sections 120.569 and 120.57, Florida Statutes, shall be tolled to allow mediation of the disputed District decision. The mediation must be concluded within 60 days of the date of the parties' written agreement, or such other timeframe agreed to by the parties in writing. Any mediation agreement must include provisions for selecting a mediator, a statement that each party shall be responsible for paying its pro-rata share of the costs and fees associated with mediation, and the mediating parties' understanding regarding the confidentiality of discussions and documents introduced during mediation. If mediation results in settlement of the administrative dispute, the District will enter a final order consistent with the settlement agreement. If mediation terminates without settlement of the dispute, the District will notify all the parties in writing that the administrative hearing process under Sections 120.569 and 120.57, Florida Statutes, is resumed. Even if a party chooses not to engage in formal mediation, or if formal mediation does not result in a settlement agreement, the District will remain willing to engage in informal settlement discussions.
3. A person whose substantial interests are or may be affected has the right to an informal administrative hearing pursuant to Sections 120.569 and 120.57(2), Florida Statutes, where no material facts are in dispute. A petition for an informal hearing must also comply with the requirements set forth in Rule 28-106.301, Florida Administrative Code.

Notice Of Rights

4. A petition for an administrative hearing is deemed filed upon receipt of the complete petition by the District Clerk at the District Headquarters in Palatka, Florida during the District's regular business hours. The District's regular business hours are 8:00 a.m. – 5:00 p.m., excluding weekends and District holidays. Petitions received by the District Clerk after the District's regular business hours shall be deemed filed as of 8:00 a.m. on the District's next regular business day. The District's acceptance of petitions filed by e-mail is subject to certain conditions set forth in the District's Statement of Agency Organization and Operation (issued pursuant to Rule 28-101.001, Florida Administrative Code), which is available for viewing at floridaswater.com. These conditions include, but are not limited to, the petition being in the form of a PDF or TIFF file and being capable of being stored and printed by the District. Further, pursuant to the District's Statement of Agency Organization and Operation, attempting to file a petition by facsimile is prohibited and shall not constitute filing.
5. Failure to file a petition for an administrative hearing within the requisite timeframe shall constitute a waiver of the right to an administrative hearing. (Rule 28-106.111, Florida Administrative Code).
6. The right to an administrative hearing and the relevant procedures to be followed are governed by Chapter 120, Florida Statutes, Chapter 28-106, Florida Administrative Code, and Rule 40C-1.1007, Florida Administrative Code. Because the administrative hearing process is designed to formulate final agency action, the filing of a petition means the District's final action may be different from the position taken by it in this notice. A person whose substantial interests are or may be affected by the District's final action has the right to become a party to the proceeding, in accordance with the requirements set forth above.
7. Pursuant to Section 120.68, Florida Statutes, a party to the proceeding before the District who is adversely affected by final District action may seek review of the action in the District Court of Appeal by filing a notice of appeal pursuant to Rules 9.110 and 9.190, Florida Rules of Appellate Procedure, within 30 days of the rendering of the final District action.
8. A District action is considered rendered, as referred to in paragraph no. 7 above, after it is signed on behalf of the District and filed by the District Clerk.
9. Failure to observe the relevant timeframes for filing a petition for judicial review as described in paragraph no. 7 above will result in waiver of that right to review.

Notice Of Rights

Certificate of Service

I HEREBY CERTIFY that a copy of the foregoing Notice of Rights has been sent to the permittee:

The Villages Operating Company
1045 Lake Sumter Lndg
The Villages, FL 32162-2698

This 12th day of August, 2014.

M. Daniels

Margaret Daniels, Bureau Chief
Bureau of Regulatory Support
St. Johns River Water Management District
4049 Reid Street
Palatka, FL 32177-2529
(386) 329-4570

Permit Number: 4-069-19152-27

NOTICING INFORMATION

Dear Permittee:

Please be advised that the St. Johns River Water Management District will not publish a notice in the newspaper advising the public that it has issued a permit for this project.

Newspaper publication, using the District's notice form, notifies members of the public of their right to challenge the issuance of the permit. If proper notice is given by newspaper publication, then there is a 21-day time limit for someone to file a petition for an administrative hearing to challenge the issuance of the permit.

To close the point of entry for filing a petition, you may publish (at your own expense) a one-time notice of the District's decision in a newspaper of general circulation within the affected area as defined in Section 50.011 of the Florida Statutes. If you do not publish a newspaper notice to close the point of entry, the time to challenge the issuance of your permit will not expire and someone could file a petition even after your project is constructed.

A copy of the notice form and a partial list of newspapers of general circulation are attached for your convenience. However, you are not limited to those listed newspapers. If you choose to close the point of entry and the notice is published, the newspaper will return to you an affidavit of publication. In that event, it is important that you either submit a scanned copy of the affidavit by emailing it to compliancesupport@sjrwmd.com (preferred method) or send a copy of the original affidavit to:

Margaret Daniels, Bureau Chief
Bureau of Regulatory Support
4049 Reid Street
Palatka, FL 32177

If you have any questions, please contact the Bureau of Regulatory Support at (386) 329-4570.

Sincerely,



Margaret Daniels, Bureau Chief

Bureau of Regulatory Support

NOTICE OF AGENCY ACTION TAKEN BY THE
ST. JOHNS RIVER WATER MANAGEMENT DISTRICT

Notice is given that the following permit was issued on _____:

(Name and address of applicant) _____
permit# _____. The project is located in _____ County, Section
_____, Township _____ South, Range _____ East. The permit authorizes a surface
water management system on _____ acres for _____ known as
_____. The receiving water body is _____.

A person whose substantial interests are or may be affected has the right to request an administrative hearing by filing a written petition with the St. Johns River Water Management District (District). Pursuant to Chapter 28-106 and Rule 40C-1.1007, Florida Administrative Code (F.A.C.), the petition must be filed (received) either by delivery at the office of the District Clerk at District Headquarters, P.O. Box 1429, Palatka FL 32178-1429 (4049 Reid St, Palatka, FL 32177) or by e-mail with the District Clerk at Clerk@sjrwm.com, within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail or email actual notice). A petition must comply with Sections 120.54(5)(b)4. and 120.569(2)(c), Florida Statutes (F.S.), and Chapter 28-106, F.A.C. The District will not accept a petition sent by facsimile (fax). Mediation pursuant to Section 120.573, F.S., may be available and choosing mediation does not affect your right to an administrative hearing.

A petition for an administrative hearing is deemed filed upon receipt of the complete petition by the District Clerk at the District Headquarters in Palatka, Florida during the District's regular business hours. The District's regular business hours are 8 a.m. – 5 p.m., excluding weekends and District holidays. Petitions received by the District Clerk after the District's regular business hours shall be deemed filed as of 8 a.m. on the District's next regular business day. The District's acceptance of petitions filed by e-mail is subject to certain conditions set forth in the District's Statement of Agency Organization and Operation (issued pursuant to Rule 28-101.001, Florida Administrative Code), which is available for viewing at floridaswater.com. These conditions include, but are not limited to, the petition being in the form of a PDF or TIFF file and being capable of being stored and printed by the District. Further, pursuant to the District's Statement of Agency Organization and Operation, attempting to file a petition by facsimile (fax) is prohibited and shall not constitute filing.

The right to an administrative hearing and the relevant procedures to be followed are governed by Chapter 120, Florida Statutes, Chapter 28-106, Florida Administrative Code, and Rule 40C-1.1007, Florida Administrative Code. Because the administrative hearing process is designed to formulate final agency action, the filing of a petition means the District's final action may be different from the position taken by it in this notice. **Failure to file a petition for an administrative hearing within the requisite time frame shall constitute a waiver of the right to an administrative hearing. (Rule 28-106.111, F.A.C.).**

If you wish to do so, please visit http://floridaswater.com/nor_dec/ to read the complete Notice of Rights to determine any legal rights you may have concerning the District's decision(s) on the permit application(s) described above. You can also request the Notice of Rights by contacting the Director of Regulatory Support, 4049 Reid St., Palatka, FL 32177-2529, tele. no. (386)329-4570.

NEWSPAPER ADVERTISING

ALACHUA

The Alachua County Record, Legal Advertising
P. O. Box 806
Gainesville, FL 32602
352-377-2444/ fax 352-338-1986

BRAFORD

Bradford County Telegraph, Legal Advertising
P. O. Drawer A
Starke, FL 32901
904-964-6305/ fax 904-964-8628

CLAY

Clay Today, Legal Advertising
1560 Kinsley Ave., Suite 1
Orange Park, FL 32073
904-264-3200/ fax 904-264-3285

FLAGLER

Flagler Tribune, c/o News Journal
P. O. Box 2831
Daytona Beach, FL 32120-2831
386-681-2322

LAKE

Daily Commercial, Legal Advertising
P. O. Drawer 490007
Leesburg, FL 34749
352-365-8235/fax 352-365-1951

NASSAU

News-Leader, Legal Advertising
P. O. Box 766
Fernandina Beach, FL 32035
904-261-3696/fax 904-261-3698

ORANGE

Sentinel Communications, Legal Advertising
633 N. Orange Avenue
Orlando, FL 32801
407-420-5160/ fax 407-420-5011

PUTNAM

Palatka Daily News, Legal Advertising
P. O. Box 777
Palatka, FL 32178
386-312-5200/ fax 386-312-5209

SEMINOLE

Seminole Herald, Legal Advertising
300 North French Avenue
Sanford, FL 32771
407-323-9408

BAKER

Baker County Press, Legal Advertising
P. O. Box 598
Macclenny, FL 32063
904-259-2400/ fax 904-259-6502

BREVARD

Florida Today, Legal Advertising
P. O. Box 419000
Melbourne, FL 32941-9000
321-242-3832/ fax 321-242-6618

DUVAL

Daily Record, Legal Advertising
P. O. Box 1769
Jacksonville, FL 32201
904-356-2466 / fax 904-353-2628

INDIAN RIVER

Vero Beach Press Journal, Legal Advertising
P. O. Box 1268
Vero Beach, FL 32961-1268
772-221-4282/ fax 772-978-2340

MARION

Ocala Star Banner, Legal Advertising
2121 SW 19th Avenue Road
Ocala, FL 34474
352-867-4010/fax 352-867-4126

OKEECHOBEE

Okeechobee News, Legal Advertising
P. O. Box 639
Okeechobee, FL 34973-0639
863-763-3134/fax 863-763-5901

OSCEOLA

Little Sentinel, Legal Advertising
633 N. Orange Avenue
Orlando, FL 32801
407-420-5160/ fax 407-420-5011

ST. JOHNS

St. Augustine Record, Legal Advertising
P. O. Box 1630
St. Augustine, FL 32085
904-819-3436

VOLUSIA

News Journal Corporation, Legal Advertising
P. O. Box 2831
Daytona Beach, FL 32120-2831
(386) 681-2322

Wendy Then

From: Beck, Christopher [CBeck2@wm.com]
Sent: Thursday, August 07, 2014 3:05 PM
To: Wendy Then
Subject: FW: Citizen's 1st Bank-Drive-Through Facility

From: Beck, Christopher
Sent: Thursday, August 07, 2014 2:55 PM
To: 'Wendy Then'
Subject: RE: Citizen's 1st Bank-Drive-Through Facility

Wendy,

After looking at the site plan it appears that the dumpster enclosure is too close to the road, meaning that while the truck is dumping the container the back of the truck would be in the right-of-way of the road. This would cause a safety problem with our truck any vehicle traffic on the road. Please see if they can relocate the dumpster enclosure.

Thanks,

Chris Beck
Wildwood Hauling
352-330-4546
352-267-9356

From: Wendy Then [<mailto:wthen@ladylake.org>]
Sent: Wednesday, August 06, 2014 4:25 PM
To: Beck, Christopher
Subject: Citizen's 1st Bank-Drive-Through Facility

Good Afternoon Mr. Beck,

I would like to provide you with a copy of the submitted site plan for a new Drive-Through facility to be located at the corner of Paige Place and Caballero Court (within the Village Downtown Center-Spanish Springs). Please see location for dumpster and provide any comments.

Thanks.

Wendy Then
Town Planner
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159
352-751-1582
352-751-1514- Fax

Recycling is a good thing. Please recycle any printed emails.

CITIZEN'S FIRST BANK DRIVE THROUGH ADDITION

Basin #1

ORIGINAL POST - DEVELOPMENT WEIGHTED CURVE NUMBER

Lawn/ Landscaping (20% of total area)	22.91 ac. @	CN = 39	=	893.49
Pavement, Buildings, Lake, etc. (80% of total area)	91.66 ac. @	CN = 98	=	8982.68
	<u>114.57 ac.</u>			<u>9876.17</u>
		<u>9876.17</u>		
CN =		<u>114.57</u>	=	86.20

CURRENT POST - DEVELOPMENT WEIGHTED CURVE NUMBER (LAST UPDATED WITH CHURCH ON THE SQUARE BUILDING ADDITION (4-069-19152-21))

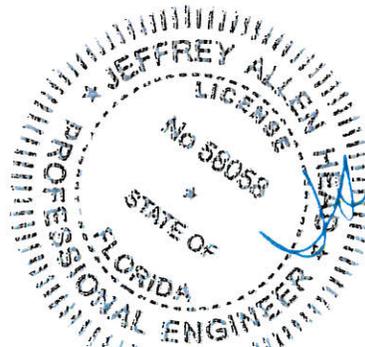
Lawn/ Landscaping	28.82 ac. @	CN = 39	=	1123.98
Existing Pavement, Buildings, Lake, etc.	85.75 ac. @	CN = 98	=	8403.50
	<u>114.57 ac.</u>			<u>9527.48</u>
		<u>9527.48</u>		
CN =		<u>114.57</u>	=	83.16

PROPOSED POST - DEVELOPMENT WEIGHTED CURVE NUMBER

Lawn/ Landscaping	28.68 ac. @	CN = 39	=	1118.52
Existing Pavement, Buildings, Lake, etc.	85.75 ac. @	CN = 98	=	8403.50
Proposed new Impervious	0.14 ac. @	CN = 98	=	13.72
	<u>114.57 ac.</u>			<u>9535.74</u>
		<u>9535.74</u>		
CN =		<u>114.57</u>	=	83.23

Since CN of 83.23 is less than permitted CN of 86.20, Compliance is achieved.

JUL 18 2014



BASIN #1

- * Includes La Hacienda Hotel and Parking Lot
- La Hacienda Recreation Center and Parking Lot
- Lake Mira Mar
- Church on the Square and Parking Lot
- Citrus Exchange Building and Parking Lot
- P.B. Smythe Building and Parking Lot
- El Mercado de Spanish Springs Building and Parking Lot
- Shops of Spanish Springs Building and Parking Lot
- Spanish Springs Station and Parking Lot
- Town Square
- Internal Streets
- Avenida Central
- Hacienda Villas
- El Rialto Building and Parking Lot
- Van Patton House and Parking Lot
- U.S. Highway 27/441
- B.G. Top on the Square
- Villas of Spanish Springs
- Vista Lago Villas
- Holiday Inn Express Hotel & Suites
- St. George Episcopal Church
- Chill's
- Comfort Suites
- TownePlace Suites (a/k/a Hotel @ Spanish Springs)
- St. George Episcopal Church Addition
- Church on the Square Building Addition

CITIZEN'S FIRST BANK DRIVE THROUGH ADDITION

Basin #1

ORIGINAL POST - DEVELOPMENT WEIGHTED CURVE NUMBER

Lawn/ Landscaping (20% of total area)	22.91 ac. @	CN = 39	=	893.49
Pavement, Buildings, Lake, etc. (80% of total area)	91.66 ac. @	CN = 98	=	8982.68
	<u>114.57 ac.</u>			<u>9876.17</u>
	CN =	$\frac{9876.17}{114.57}$	=	86.20

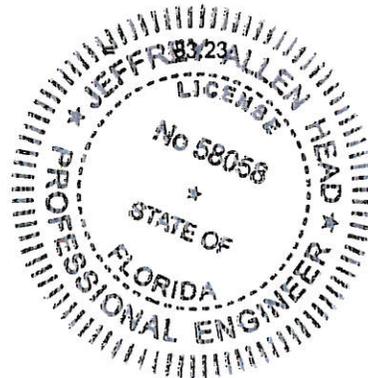
CURRENT POST - DEVELOPMENT WEIGHTED CURVE NUMBER (LAST UPDATED WITH CHURCH ON THE SQUARE BUILDING ADDITION (4-069-19152-21))

Lawn/ Landscaping	28.82 ac. @	CN = 39	=	1123.98
Existing Pavement, Buildings, Lake, etc.	85.75 ac. @	CN = 98	=	8403.50
	<u>114.57 ac.</u>			<u>9527.48</u>
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	CN =	$\frac{9535.74}{114.57}$	=	83.23

Since CN of 83.23 is less than permitted CN of 86.20, Compliance is achieved.



Handwritten signature in blue ink.

JUL 18 2014

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CITIZEN'S FIRST BANK DRIVE THROUGH ADDITION

Basin #1

ORIGINAL POST - DEVELOPMENT WEIGHTED CURVE NUMBER

Lawn/ Landscaping (20% of total area)	22.91 ac. @	CN = 39	=	893.49
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	<u>114.57 ac.</u>			<u>9876.17</u>
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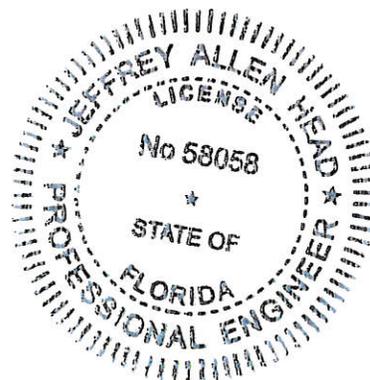
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	CN =	$\frac{9527.48}{114.57}$	=	83.16

PROPOSED POST - DEVELOPMENT WEIGHTED CURVE NUMBER

Lawn/ Landscaping	28.68 ac. @	CN = 39	=	1118.52
Existing Pavement, Buildings, Lake, etc.	85.75 ac. @	CN = 98	=	8403.50
Proposed new Impervious	0.14 ac. @	CN = 98	=	13.72
	<u>114.57 ac.</u>			<u>9535.74</u>
	CN =	$\frac{9535.74}{114.57}$	=	83.23

Since CN of 83.23 is less than permitted CN of 86.20, Compliance is achieved.



A handwritten signature in blue ink, appearing to be "JAH", located to the right of the professional seal.

JUL 18 2014

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CITIZEN'S FIRST BANK DRIVE THROUGH ADDITION

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	<u>114.57 ac.</u>			<u>9876.17</u>
	CN =	$\frac{9876.17}{114.57}$	=	86.20

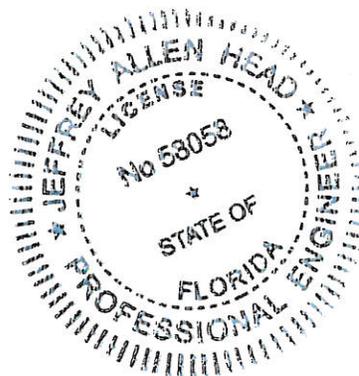
CURRENT POST - DEVELOPMENT WEIGHTED CURVE NUMBER (LAST UPDATED WITH CHURCH ON THE SQUARE BUILDING ADDITION (4-069-19152-21))

Lawn/ Landscaping	28.82 ac. @	CN = 39	=	1123.98
Existing Pavement, Buildings, Lake, etc.	85.75 ac. @	CN = 98	=	8403.50
	<u>114.57 ac.</u>			<u>9527.48</u>
	CN =	$\frac{9527.48}{114.57}$	=	83.16

PROPOSED POST - DEVELOPMENT WEIGHTED CURVE NUMBER

Lawn/ Landscaping	28.88 ac. @	CN = 39	=	1118.52
Existing Pavement, Buildings, Lake, etc.	85.75 ac. @	CN = 98	=	8403.50
Proposed new Impervious	0.14 ac. @	CN = 98	=	13.72
	<u>114.77 ac.</u>			<u>9535.74</u>
	CN =	$\frac{9535.74}{114.57}$	=	83.23

Since CN of 83.23 is less than permitted CN of 86.20, Compliance is achieved.



[Handwritten Signature]
 JUL 18 2014

BASIN #1

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- Church on the Square Building Addition



July 28, 2014

Ms. Wendy Then
Town Planner
Town of Lady Lake
409 Fennell Boulevard
Lady Lake, FL 32159

RE: *Citizens First Bank Drive Thru at Spanish Springs;
The Villages, Town of Lady Lake, Florida
Kimley-Horn Project No. 040380022*

Dear Ms. Then:

This letter is in response to your request for a traffic statement for the proposed Citizens First Bank Drive Thru site at the Spanish Springs Town Center. The trip generation potential for the site was calculated utilizing trip rates in the Institute of Transportation Engineer's (ITE) Trip Generation, 9th Edition for a Drive-In Bank. The PM peak hour trip generation potential for the site is 53 net new trips. The trip generation is summarized in the attached **Table 1**.

This site is included within the boundary of The Villages DRI. As part of our extensive previous DRI analyses and annual reporting, we were required to perform a detailed traffic analyses during the PM peak hour weekday period. For many of the Villages on-site "attractions" such as banks, ATM's, churches, recreation centers, and mail box locations, reviewing agencies agreed that these sites have mostly internal trip characteristics (i.e. internal to the Villages). These trips are mostly (if not all) accounted for in our modeling we have performed over the years. These would be included as non-home based trips in our model.

In summary, the proposed Citizens First Bank Drive Thru is included within the Villages DRI, and traffic impacts from the site have been accounted for in the previous transportation analysis for the Villages DRI.

Please feel free to contact me if you have any questions or comments.

Sincerely,

Amber L. Gartner, PE
Transportation Engineer

Attachment: Table 1 – Trip Generation

Cc: Richard Barr
Jeff Head
Marty Dzuro

\\localp01\data\Project\OCA_TPTO\0403\80002.2107 Planning\Citizens First Bank Spanish Springs\wt140728\lg_CitizensFirstTrafficStatement.docx

Table 1: Trip Generation

Land Use	Intensity	Daily Trips	PM Peak Hour of Adjacent Street		
			Total	In	Out
Drive-In Bank	3 Drive-in lanes	418	100	49	51
Pass-By Traffic	47%	196	47	23	24
TOTAL NET NEW TRIPS		222	53	26	27

Notes:

1. Trip Generation was calculated using the following data from ITE's Trip Generation, 9th Ed

Drive-in Bank [ITE 912]

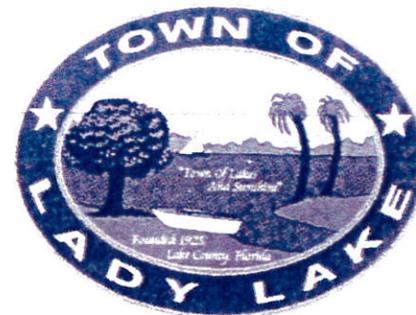
Daily $T = 139.25 * (X)$; (X is No. of Drive-in Lanes; 50% in, 50% out)

PM Peak Hour of Adjacent St $T = 33.24 * (X)$; (X is No. of Drive-in Lanes; 49% in, 51% out)

Pass-By Traffic $P = 0.47 * (T)$; (T is Gross Trip; P is Pass-By Trip)

\\ocafp01\data\Project\OCA_TPTO\0403\80002.2\07 Planning\Citizens First Bank Spanish Springs\Trip Gen.xlsx\Tri

7/28/14



August 28, 2014

Jeffrey Allen Head, P.E.
Farner Barley and Associates, Inc.
4450 NE 83rd Road
Wildwood, FL 34785

Re: The Villages Operating Company- Citizen's First Bank Drive-Through Facility Site Plan Application - AK# 3840565-1105 Caballero Ct.

Dear Applicant:

On 07/22/2014, Town Staff received a new Major Site Plan application proposing the construction of new Citizen's First Bank- Drive-Through Facility to be located at 1105 Caballero Court, within the Villages Downtown Center in Spanish Springs, identified by alternate key number 3840565. The applicant proposes the construction of a 330-square-foot Financial Institution Building with the provision a 3-service-lane Drive-Through Facility. The site plan was reviewed to determine if it is in compliance with the Land Development Regulations (LDRs) including parking, setbacks, landscaping, engineering, environmental protection and commercial design standards. Our TRC Members reviewed the submitted application packets and determined that the application complete can move forward.

Please accept this communication as a confirmation that the Site Plan Application is ready to proceed to the Public Hearing process.

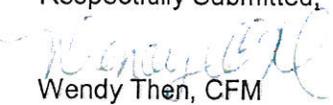
The following public hearing dates for your application has been scheduled as follows:

- PARKS, RECREATION, AND TREE ADVISORY COMMITTEE- Wednesday, September 10, 2014 at 5:30 p.m.
- SPECIAL TOWN COMMISSION WORKSHOP MEETING- Tuesday, September 16, 2014 at 3:00 p.m.
- TOWN COMMISSION MEETING- Monday, October 6, 2014 at 6:00 p.m.

Please be aware that the applicant and/or a designated representative of the property owner must be present during all meetings.

Let us know if you have any questions regarding the process and notify us should there be a conflict with your schedule and the scheduled meeting dates.

Respectfully Submitted,


Wendy Then, CFM
Growth Management Dept.
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159
Phone-352-751-1582 Fax 352-751-1514



**TECHNICAL REVIEW COMMITTEE COMMENTS
FIRST REVIEW 08/28/2014**

Project: The Villages Operating Company for Citizen's First Bank-Drive-Through Facility Site

Proposal: New Major Site Plan No. 07/14-001 Application– 1st Round of Comments for Site

Description:

On 07/22/2014, Town Staff received a new Major Site Plan application proposing the construction of new Citizen's First Bank- Drive-Through Facility to be located at 1105 Caballero Court, within the Villages Downtown Center in Spanish Springs, identified by alternate key number 3840565. The applicant proposes the construction of a 330-square-foot Financial Institution Building with the provision a 3-service-lane Drive-Through Facility. The site plan was reviewed to determine if it is in compliance with the Land Development Regulations (LDRs) including parking, setbacks, landscaping, engineering, environmental protection and commercial design standards.

The property is zoned "CP" Planned Commercial, which permits development and construction of the proposed facility and is in accordance with the Village Downtown Center Memorandum of Agreement adopted for this property. The Future Land Use Map designation for the site is RET (Commercial General-Retail Sales & Services). The requested use is consistent with the directives of the Comprehensive Plan and adopted Land Development Regulations.

GENERAL INFORMATION

The engineering plans submitted, consisting of ten (10) sheets, are drawn on 24"x36" sheets and certified by Jeffrey Allen Head, Professional Engineer with Farner Barley and Associates, Inc., dated July 18, 2014. The landscaping plans submitted, consisting of two (2) sheets, are drawn on 24"x36" and certified by Suzanne M. Stanch, Registered Landscape Architect with Michael Pape and Associates, dated July 22, 2014.

Concurrent with the Site Plan, two (2) Variances application have been submitted for the project:

- 1) Resolution 2014-114

Variance application is in accordance with the which requires that no commercial driveway shall be permitted with its nearest edge closer than one hundred (100) feet from the right-of-way edge line. The applicant is requesting to allow the driveway to be constructed twenty-three (23) feet from the right-of-way edge line.

- 2) Resolution 2014-115

Variance application is in accordance with the provisions of Chapter 7, Section 7-7).b). which states that the stacking area for financial institutions drive-through facilities be five (5) spaces per each service lane provided. The applicant is requesting the reduction of two (2) spaces per each service lane of the drive-through stacking area.

Below are staff comments from the Town of Lady Lake regarding your development project. A hard copy via hand delivery and an electronic copy via e-mail are provided to the applicant. Comments are organized by department and must be sufficiently addressed before the proposal may proceed. If a re-submittal is warranted, the applicant shall provide written responses to each individual staff comment contained within this transmittal. **Re-submittals will not be accepted without bulleted written responses.**

Following submittal of any required revisions and responses, correspondence will be forwarded indicating the proposal's status, either: (1) requiring additional revision or documentations; or (2) ready for approval. Site plans are subject to public hearing, as well as plats, annexation requests, zoning requests, and comprehensive plan requests. When applicable, you will receive written notification that the item is scheduled for review by the Planning and Zoning Board or Town Commission. For additional information, contact Thad Carroll at (352) 751-1521.

GROWTH MANAGEMENT

Questions may be directed to Wendy Then, at wthen@ladylake.org

1. All comments addressed under the GM Review Report dated 08-28-2014.
-

POLICE

Questions may be directed to Chief Chris McKinstry at cmckinstry@ladylake.org

1. No comments at this time from the Police Dept.
-

FIRE

Questions may be directed to Capt. Dan Hickey, Fire Marshall with the Villages Fire Dept. at 352-205-8280

1. Project still under review. Comments to be provided on Monday, August 18, 2014.
-

BUILDING

Questions may be directed to Dallas Foss, Building Official at dfoss@usanova.com.

1. No comments at this time by the Building Official.
-

PUBLIC WORKS

Questions may be directed to Butch Goodman, Utilities Supervisor at bgoodman@ladylakepw.org

1. No comments at this time from the Lady Lake Public Works Dept.
-

ENGINEERING CONSULTANT

Questions may be directed to Chris Schultz, P.E., at chris.schultz@neel-schaffer.com

1. Please see comments attached under Town Engineer dated 08-12-2014.
-

LAKE-SUMTER MPO

Questions may be directed to Olga Marcondes, P.E., at omarcondes@LakeSumterMPO.com or at 352-315-0170

1. Project satisfied by the Lake-Sumter MPO Office.



SUBJECT: Citizen's First Bank Drive-Through Facility- MJSP 07/14-001

DATE: August 28, 2014

	General Requirements	Meets Criteria	Outstanding Issues
A)	Name of project.	X	
B)	General statement of intended use of site.	X	
C)	Legal description of the property and size of parcel in acres or square feet.	X	
D)	Name and address of owner.	X	
E)	Name, address and phone number of owner's agent.	N/A	
F)	Name, address, signature and registration of the professionals preparing the plans.	X	
G)	Date, north arrow and scale shall be designated and where appropriate, the same scale shall be used on all sheets.	X	
H)	Vicinity map showing relationship of proposed development to the surrounding streets and thoroughfares, shall be at a scale no smaller than one inch equals five thousand two hundred eighty feet (1" = 5,280' or 1" = Mile).	X	
I)	Linear dimensions of the site.	X	
J)	Existing topography with a maximum of one (1) foot contour intervals for the proposed site.	X	
K)	Finished grading elevations.	X	
L)	Zoning of the site and of all adjacent parcels.	X	
M)	All existing and proposed building restriction lines (i.e., highway setback lines, easements, covenants, rights-of-way and building setback lines).	X	
N)	Percent of open space of site.	X	
O)	Location of proposed signs and sign details	X	
		Meets Criteria	Outstanding Issues
	Building and Structure Requirements		
A)	Existing and proposed structures.	X	
B)	Intended use.	X	
C)	Number of stories.	X	
D)	Height of building(s).- See Architectural Plans	X	

E)	Number of dwelling units and density.	X	
F)	Projected number of employees, if applicable	X	
G)	If restaurant, show number of seats and occupancy load.	N/A	
H)	Square footage for proposed development, i.e., gross square footage, non-storage area, square footage of each story, gross square footage of sales area, etc.	X	
I)	Photograph or sketch of proposed sign with dimensions and material type. (if a monument sign will be proposed)	X	
J)	Compliance with Commercial Design Standards (Chapter 20).	X	
	Street, Sidewalks, Driveways, Parking Areas and Loading Spaces	Meets Criteria	Outstanding Issues
A)	Engineering plans and specifications for streets, alleys, sidewalks and driveways to include soil borings, if necessary.	1	
B)	All parking spaces delineated including bicycle (see below under General Comments).	X	
C)	Number of parking spaces (see below under General Comments)	X	
D)	Number and location of handicapped spaces (see below under General Comments)	X	
E)	Number of square feet of paved parking and driveway area.	1	
F)	Surface materials and cross-section of proposed paved areas (Please see ADA Related Comment #4 by Town Engineer Report).	1	
G)	Fire lanes per the Standard Fire Prevention Code adopted in the Building and Fire Codes chapter.	1	
H)	Description/location of proposed driveway(s) and median cut(s).	1	
I)	Internal traffic control circulation plan, including directional arrows and signs to direct traffic flow, as necessary.	1	
J)	Location of traffic-control signs and signalization devices, if required (please see comment #1 & #2 by Town Engineer's Report- Disregard Comment #3 as a variance has been submitted for this item)	1	
K)	Number and location of Loading Zones. Show the truck turning template for delivery and garbage trucks. (Please see comment by Waste Management.)	X	
L)	Site Lighting Plan	X	
	Drainage and Storm water	Meets Criteria	Outstanding Issues

A)	Soil classifications, cross-sections and details of proposed retention/detention ponds, swales, berms, etc., as required by SJRWMD.	1	
B)	Size, material and location of storm water structures and pipes.	1	
C)	Indicate flood elevation for 100-year flood and any other information required in Environmental Regulations chapter.	1	
D)	Drainage		
	Proposed Water, Sewer, and Solid Waste Facilities	Meets Criteria	Outstanding Issues
A)	Size, material, specifications and location of water mains, valves, services and fire hydrants.		
B)	Size, material, specifications and location of sanitary sewer lines and laterals with submittal of a profile, if necessary.	N/A	
C)	Size and location of septic tank and drainfield, if applicable.	N/A	
D)	Grease separation system, if applicable: Size, location and materials.	N/A	
E)	Location(s) and access provisions for refuse service, including pad, screening, fencing and landscaping, if applicable. (See Waste Management comments)	1	
	Landscaping (Chapter 10)	Meets Criteria	Outstanding Issues
A)	Landscaping plan and provisions for maintenance including size, type and location of all landscaping, screens, walls, fences and buffers per the requirements in the Landscaping and Tree Protection chapter. If water efficient landscaping is used, the information required in that chapter should be included. (outstanding comments have been provided- Please see below)		X
B)	Irrigation system plan (No Plans found within submittal packet).		X
	Environmental Protection	Meets Criteria	Outstanding Issues
A)	Natural features such as water bodies, wetlands, native vegetative communities, etc., as required in the Environmental Regulations chapter.	N/A	
B)	Conservation easements per the requirements.	N/A	
C)	Provisions for the adequate control of erosion and sediment, including the location and description of the methods to be utilized during and after all phases of clearing, grading and construction.	X	
	Additional Information	Meets Criteria	Outstanding Issues

1)	A certificate of concurrency or evidence of application for a certificate.	X	
2)	Drainage calculations as required in the Storm water Management chapter.	1	
3)	Fire flow calculations, if applicable. -TBA by Village Fire Dept.		
4)	Lift station calculations, where required.	N/A	
6)	A construction cost estimate prepared by the engineer of record, which shall delineate any proposed improvements to be maintained by the Town.	N/A	
7)	Environmental assessment per the requirements, if applicable.	N/A	
8)	Any additional data, maps, plans or statements, as may be required, which is commensurate with the intent and purpose of the Code.	X	

- **General Comments:**

- **Landscape & Tree Protection – Please provide the required**

- No irrigation plans were submitted for the project. Only Landscaping Plans consisting of two (2) pages.
 - Addressed by applicant on letter dated 08-25-2014.
- The **South** elevation has approximately 63 lineal feet, which requires two (2) understory trees.
 - No understory trees were provided for this elevation. Applicant will be requesting waiver.
- The **East** elevation has approximately 210 lineal feet, which requires four (4) canopy trees and six (6) understory trees.
 - Two (2) canopy trees were provided and five (5) understory trees were provided for this elevation. Applicant will be requesting waiver.
- The **West** elevation has approximately 210 lineal feet, which requires four (4) canopy trees and six (6) understory trees.
 - Two (2) canopy trees were provided and an additional two (2) adjacent canopy trees can be counted for this elevation due to the proximity for a total of four (4) canopy trees.
 - Three (3) understory trees were provided.
 - Applicant will be requesting waiver for three (3) understory trees.

○ **Commercial Design Standards**

- The applicant proposes the Mission Architectural Style for the development. Town Staff needs information in the following:
- Please provide color samples (color name and manufacturer). If any more than three (3) colors are proposed, then a waiver has to be requested. No waiver is proposed for the exterior building color.
 - Applicant provided Glass Transparency for the Drive-Through window indicating visible light transmittance above the required 35.

Wendy Then

From: Beck, Christopher [CBeck2@wm.com]
Sent: Tuesday, August 26, 2014 2:29 PM
To: Wendy Then
Subject: RE: Citizen's 1st Bank-Drive-Through Facility

Afternoon Wendy,

After speaking with Jeffrey Head with Farner, Barley & Associates on Monday 8/18/2014 he sent me a better view of the location for the dumpster enclosure. Since Waste Management would be servicing this dumpster from a parking lot not a city street we have no issues with location.

Thanks,

Chris Beck
Wildwood Hauling
352-330-4546
352-267-9356

From: Wendy Then [<mailto:wthen@ladylake.org>]
Sent: Tuesday, August 26, 2014 12:27 PM
To: Beck, Christopher
Subject: RE: Citizen's 1st Bank-Drive-Through Facility

Good Afternoon Chris,

Please see revised plans for the Citizen's First Bank-Drive-Through Facility-Site Plan. Can you let me know about the Dumpster Enclosure?

Thanks.

Wendy Then, CFM
Town Planner
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159
352-751-1582
352-751-1514- Fax
Wthen@ladylake.org

Note: Beginning October 7, 2013, our office hours will be Monday - Thursday 7:30 am - 6:00 pm

Fla. Stat. 668.6076 "Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing."

 Please think before you print.

From: Beck, Christopher [<mailto:CBeck2@wm.com>]
Sent: Thursday, August 07, 2014 3:05 PM
To: Wendy Then
Subject: FW: Citizen's 1st Bank-Drive-Through Facility

From: Beck, Christopher
Sent: Thursday, August 07, 2014 2:55 PM
To: 'Wendy Then'
Subject: RE: Citizen's 1st Bank-Drive-Through Facility

Wendy,

After looking at the site plan it appears that the dumpster enclosure is too close to the road, meaning that while the truck is dumping the container the back of the truck would be in the right-of-way of the road. This would cause a safety problem with our truck and any vehicle traffic on the road. Please see if they can relocate the dumpster enclosure.

Thanks,

Chris Beck
Wildwood Hauling
352-330-4546
352-267-9356

From: Wendy Then [<mailto:wthen@ladylake.org>]
Sent: Wednesday, August 06, 2014 4:25 PM
To: Beck, Christopher
Subject: Citizen's 1st Bank-Drive-Through Facility

Good Afternoon Mr. Beck,

I would like to provide you with a copy of the submitted site plan for a new Drive-Through facility to be located at the corner of Paige Place and Caballero Court (within the Village Downtown Center-Spanish Springs). Please see location for dumpster and provide any comments.

Thanks.

Wendy Then
Town Planner
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159
352-751-1582
352-751-1514- Fax

Recycling is a good thing. Please recycle any printed emails.

Wendy Then

From: Dallas Foss [dfoss@usanova.com]
Sent: Tuesday, August 26, 2014 1:37 PM
To: Wendy Then
Subject: RE: FW: Citizen's First Bank- Drive-Through Facility- Variances Application

I have reviewed the plans and have no additional comments

Dallas Foss
City of Lady Lake
Building Official

Sent from Samsung RUGBY® Smart.

----- Original message -----

Subject: RE: FW: Citizen's First Bank- Drive-Through Facility- Variances Application
From: Wendy Then <wthen@ladylake.org>
To: Dallas Foss <dfoss@usanova.com>
CC: RE: FW: Citizen's First Bank- Drive-Through Facility- Variances Application

Good Afternoon Dallas,

Please see revised plans for the Citizen's First Bank-Drive-Through Facility-Site Plan.

Thanks.

Wendy Then, CFM
Town Planner
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159
352-751-1582
352-751-1514- Fax
Wthen@ladylake.org

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 Please think before you print.

From: Dallas Foss [mailto:dfoss@usanova.com]
Sent: Sunday, August 10, 2014 8:11 AM
To: Wendy Then
Subject: RE: FW: Citizen's First Bank- Drive-Through Facility- Variances Application

Wendy,

The Citizen's Bank review has the following comments for the site

The parking spaces in front of the structure must have some type of protection from vehicular impacts. Either installation of curb stops or bollards would be sufficient.

Also protection is required around the transformers at the exit area of the drive. The corner of the dumpster enclosure will need something also.

I have no comments on the variance requests.

Dallas Foss
City of Lady Lake
Buildibg Official

Sent from Samsung RUGBY® Smart.

----- Original message -----

Subject: FW: Citizen's First Bank- Drive-Through Facility- Variances Application

From: Wendy Then <wthen@ladylake.org>

To: Butch Goodman <bgoodman@ladylakepw.org>, Chris McKinstry <cmckinstry@ladylake.org>, Dallas Foss <dfoss@usanova.com>, Thad Carroll <tcarroll@ladylake.org>

CC: FW: Citizen's First Bank- Drive-Through Facility- Variances Application

Good Afternoon,

Please let me know ASAP if you have any comments.

Thanks.

Wendy Then, CFM
Town Planner
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159
352-751-1582
352-751-1514- Fax
Wthen@ladylake.org

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 Please think before you print.

From: Wendy Then
Sent: Thursday, July 31, 2014 12:12 PM
To: Butch Goodman; Chris McKinstry; Dallas Foss; Thad Carroll
Cc: Julia Wolfe; Nancy Slaton
Subject: Citizen's First Bank- Drive-Through Facility- Variances Application

Good Afternoon TRC Members, ☺

This would be the second application since the Town has adopted the new TRC Process, and as before, please submit your comments in writing to our department.

Attached you will find the variance applications and supporting documentation, and the resolution draft. Please provide any relevant comments to me by **Wednesday, August 6, 2014.**

Let me know if you have any questions. Thanks.

Wendy Then, CFM
Town Planner
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159
352-751-1582
352-751-1514- Fax
Wthen@ladylake.org

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For more information please visit <http://www.symanteccloud.com>

Mc Comment 3

[Signature]

8/4/14



MEMORANDUM

**GROWTH MANAGEMENT DEPARTMENT
TOWN OF LADY LAKE
409 FENNEL BOULEVARD
LADY LAKE, FL 32159
352-751-1512
352-751- 1514 (FAX)**

Date: July 23, 2014

To: Butch Goodman, Public Works Utilities

From: Wendy Then, Town Planner

Re: Citizens First Bank Drive Thru- Major Site Plan

Please find enclosed a new site plan for the Citizens First Bank Drive Thru Facility. Enclosed is a copy of the application, Civil Engineering plans, Stormwater Calculation Data, Landscaping Plans and Architectural Exterior Building Elevations. There is the potential for a couple of variances for this application relating to:

- the minimum distance required for driveway entrance (100 feet) from an intersection and
- required stacking area for drive-through facilities

Please review and have comments to us on or before Tuesday, August 12, 2014.

Thank you for your expert assistance.



VIA HAND DELIVERY
August 25, 2014

Ms. Wendy Then
Municipal Complex Town of Lady Lake
409 Fennell Boulevard
Lady Lake, FL 32159

RE: CITIZENS FIRST BANK DRIVE THRU- MJSP 07 14-001 - SITE PLAN
RAI #1 (FBA#921141.3223)

Dear Ms. Then:

In regards to your email dated August 13, 2014 for the subject project, we offer the following responses:

Neel-Schaffer Comments:

Site Plan Comments

1. The site plan should reflect a "STOP" sign opposite the "Do Not Enter" plaque to the right at the property drive-thru exit. Per the Lady Lake LDCR Sec. 15-55 Part 3 "All legs of an intersection which are to be regulated in a stop condition shall include a stop sign and a stop bar". Per the Manual of Uniform Traffic Control Devices (MUTCD) Section 3B.20 Part 14 "Except at the ends of aisles in parking lots, the word STOP shall not be used on the pavement unless accompanied by a stop line and stop sign".

Response: Plans have been revised as requested.

2. A street name sign should be reflected in the site plan as to be mounted atop the STOP sign indicated in the comment above. Per the Lady Lake LDCR Sec. 15-55 Part 3 "All intersections shall include street name signs, the location of which is to be identified on the construction plans".

Response: Street name sign is not needed as this is a parking lot driveway.

3. It should be noted that the drive entrance and exit are within 100 feet of an intersecting roadway (Paige Place).

Per the Lady Lake LDCR Section 15-52 a. 2. C, "No commercial driveway shall be permitted with its nearest edge closer than one hundred (100) feet, or if lot does not have one hundred (100) feet then at the furthest point, from the edge of the nearest right-of-way line of an intersecting road classified as collector or arterial." The proposed drive-thru entrance and exit should be moved as far as possible from the adjacent intersecting road Paige Place.

Response: A waiver has been requested for this request.

General Details

4. In the top left of the general details sheet curb ramp detail, exposed aggregate is indicated as the method of construction for detectable warning of the intersecting driveway. Per the Lady Lake LDCR Section 15-54 a. 5. E, sidewalks must conform to ADA standards. Truncated domes should be used due to exposed aggregate concrete not being accepted by the Americans with Disabilities Act Accessibility Guidelines as a detectable warning. Only truncated domes are an acceptable means of detectable warning by ADA Guidelines R304.1. Also reference the Federal Highway Administration's Memorandum on detectable warnings at website http://www.fhwa.dot.gov/environment/bicycle-1/edestriani_guidance/accessibility_guidance/dwm.cfm.

Response: We have removed detectable warning (DW) on the curb ramps to be consistent with other ramps within Spanish Springs Town Center. The 2012 Florida ADA code does not require any type of DW on non-FDOT projects.

Dallas Foss, Building Official Comments:

1. **Parking curbs or a type of protection between parking lot and building.**

Response: Existing wheel stops and curbing have been added to the plans.

2. **Protection around existing transformers from vehicular traffic.**

Response: Curbing is provided between vehicular traffic and existing transformers, which is typical throughout The Villages.

Chris Beck, Waste Management Comments:

1. After looking at the site plan it appears that the dumpster enclosure is too close to the road, meaning that while the truck is dumping the container the back of the truck would be in the right-of-way of the road.

This would cause a safety problem with our truck any vehicle traffic on the road. Please see if they can relocate the dumpster enclosure.

Response: No changes are needed per Mr. Beck since this is a parking lot driveway.

• **General Comments:**

- **Under Site Data (Sheet 5 of 9), please change zoning from PUD to CP-Planned Commercial.**

Response: Plans have been revised as requested.

- **Please provide linear footage dimensions of the actual site.**

Response: Plans have been revised as requested.

- **Please establish location of any proposed entry/exit signs for the facility.**

Response: Traffic signage is shown on Site Plan, see sheet 5 of 9 of the plan.

- **Please provide location of any proposed monument sign, if any.**

Response: No monument signs are proposed at this time.

- **Since the depicted existing parking lot is not part of the delineated site, please provide note on site plan indicating that adjacent parking lot will accommodate needed regular and ADA parking spaces (2 regular parking spaces and 1 ADA parking space). Also, for required bicycle spaces (.03 per required parking space).**

Response: All parking within Spanish Springs Town Center is an aggregate; no delineation is required for each use. We have included a parking count log for your use to see adequate parking is provided for all current uses.

- **Please provide hours of operation. A site lighting plan is needed if operating after dark. Also, will there be an ATM, and if so, available 24/7?**

Response: The hours of operation are Monday – Thursday 8:30 AM to 5:00 PM & Friday 8:30 to 6:00 PM. Site lights have been added to the plan. ATM lighting will be shown on building plans at time of building permit.

- **Please provide Florida Department of Environmental Protection Water Main Extensions permit and/or exemption (if needed).**

Response: No permit is needed per FDEP guidelines (single service to single building).

- **Please provide Florida Department of Environmental Protection Wastewater Collection/ Transmission System and/or exemption (if needed).**

Response: No permit is needed per FDEP guidelines (single service to single building).

- **Landscape & Tree Protection – Please provide the required**

- **No irrigation plans were submitted for the project. Only Landscaping Plans consisting of two (2) pages.**

Response: A waiver is requested for irrigation plans.

- **The South elevation has approximately 63 lineal feet, which requires two (2) understory trees.**

- **No understory trees were provided for this elevation.**

Is the intention of the applicant to provide the understory trees or request a waiver for the remainder?

Response: A waiver is requested for the tree requirement.

- **The East elevation has approximately 210 lineal feet, which requires four (4) canopy trees and six (6) understory trees.**

- **Two (2) canopy trees were provided and five (5) understory trees were provided for this elevation.**

Is the intention of the applicant to provide the additional canopy and understory trees or request a waiver for the remainder?

Response: A waiver is requested for the tree requirement.

- **The West elevation has approximately 210 lineal feet, which requires four (4) canopy trees and six (6) understory trees.**

- **Two (2) canopy trees were provided and an additional two (2) adjacent canopy trees can be counted for this elevation due to the proximity for a total of four (4) canopy trees. Three (3) understory trees were provided.**

Is the intention of the applicant to provide the additional understory trees or request a waiver for the remainder?

Response: A waiver has been requested.

- **Commercial Design Standards**

- **The applicant proposes the Mission Architectural Style for the development. Town Staff needs information in the following:**

- **Please provide color samples (color name and manufacturer). If any more than three (3) colors are proposed, then a waiver has to be requested.**

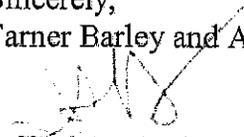
Response: Please see attached color selections list.

- **Please provide Glass Transparency for the Drive-Through window. In accordance to our Code:**
 - **Glass shall be transparent, without color, except for appropriate stained or art glass. The use of darkly tinted or reflective glass on windows or doors is prohibited. Reflective glass will be defined as having a visible light reflectance rating of fifteen (15) percent or greater and darkly tinted glass windows include glass with a visible light transmittance rating of thirty-five (35) or less. All plans submitted to the Town shall include the glass manufacturer's visible light reflectance and visible light transmittance ratings for evaluation. Glass block is not considered transparent and is not permitted in storefront windows**

Response: The only window proposed is teller window; this will have a visible light transmittance above the required 35.

We trust these responses satisfy your concerns. Please feel free to call us if you have any questions or need additional information.

Sincerely,
Farner Barley and Associates, Inc.


Jeffrey A. Head, P.E.

cc: Mr. Ron Grant, Grant & Dzuro (w/encl.)

August 12, 2014

Mrs. Wendy Then
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159

REFERENCE: CITIZENS FIRST BANK DRIVE THRU- MAJOR SITE PLAN

Dear Mrs. Then;

Pursuant to your request, Neel-Schaffer, Inc. (NSI) has reviewed the Citizens First Bank Drive Thru @ Spanish Springs Town Center's Major Site Plan. Documents reviewed were comprised of the Developer's Application for Site Plan Review, Civil Engineering Plans, Stormwater Calculations, Landscaping Plans and Architectural Exterior Building Elevations. Our review was centered on the standards provided in the Land Development Code Regulations (LDCR) of the Town of Lady Lake and the Florida Department of Environmental Protection requirements.

Based on our engineering review of the Application for Site Plan Review, the following comments are submitted for the Town's review and consideration:

Site Plan Comments

1. The site plan should reflect a "STOP" sign opposite the "Do Not Enter" plaque to the right at the property drive-thru exit. Per the Lady Lake LDCR Sec. 15-55 Part 3 "All legs of an intersection which are to be regulated in a stop condition shall include a stop sign and a stop bar". Per the Manual of Uniform Traffic Control Devices (MUTCD) Section 3B.20 Part 14 "Except at the ends of aisles in parking lots, the word STOP shall not be used on the pavement unless accompanied by a stop line and stop sign".
2. A street name sign should be reflected in the site plan as to be mounted atop the STOP sign indicated in the comment above. Per the Lady Lake LDCR Sec. 15-55 Part 3 "All intersections shall include street name signs, the location of which is to be identified on the construction plans".
3. It should be noted that the drive entrance and exit are within 100 feet of an intersecting roadway (Paige Place). Per the Lady Lake LDCR Section 15-52 a. 2. C, "No commercial driveway shall be permitted with its nearest edge closer than one hundred (100) feet, or if lot does not have one hundred (100) feet then at the furthest point, from the edge of the nearest right-of-way line of an intersecting road classified as collector or arterial." The proposed drive-thru entrance and exit should be moved as far as possible from the adjacent intersecting road Paige Place.

General Details

4. In the top left of the general details sheet curb ramp detail, exposed aggregate is indicated as the method of construction for detectable warning of the intersecting driveway. Per the Lady Lake LDCR Section 15-54 a. 5. E, sidewalks must conform to ADA standards. Truncated domes should be used due to exposed aggregate concrete not being accepted by the Americans with Disabilities Act Accessibility Guidelines as a detectable warning. Only truncated domes are an

acceptable means of detectable warning by ADA Guidelines R304.1. Also reference the Federal Highway Administration's Memorandum on detectable warnings at website http://www.fhwa.dot.gov/environment/bicycle_pedestrian/guidance/accessibility_guidance/dwm.cfm.

Should updates be provided, additional comments may follow after this review. If you have questions or comments, please do not hesitate to contact me at 407-647-6623.

Sincerely,

A handwritten signature in blue ink, appearing to read "C. Schultz", with a horizontal line underneath.

Christopher Schultz, P.E.
Project Manager

Wendy Then

From: Marcondes, Olga [omarcondes@lakecountyfl.gov]
Sent: Tuesday, August 26, 2014 4:19 PM
To: Wendy Then
Cc: Thad Carroll; Franco, Francis; Fish, TJ
Subject: Citizen's First Bank - Tier 1 Review
Attachments: Lady Lake - Citizens First Bank (LOS Inquiry).pdf

Good Afternoon Wendy;

The MPO has reviewed the Request for Exemption from submitting a full Traffic Impact Study submitted by Kimley-Horn and Associates, Inc. dated 7/28/14. The traffic analysis is in support of the proposed Citizen's First Bank and I offer the following comments:

* The project is a proposed 530 SF bank with 3 drive-in lanes located in the Spanish Springs area of The Villages in the northeast corner of the intersection of Caballero Court & Paige Place. Accesses to the proposed development are located on Caballero Ct (Inbound traffic only) and Paige Place via a shared driveway (Outbound traffic only). Build out of the project is anticipated to be completed by 2015.

* Trip generation was determined using the ITE Land Use Code 912 - Drive-in Bank from the ITE Trip Generation, 9th Edition. The project is estimated to generate 418 daily trips, with 100 pm peak hour trips (49 entering and 51 exiting).

* The applicant should have used the Lake County's Transportation Impact Fee Study to estimate pass-by trips. The percentages of new trips for a bank w/ drive-in lanes land use is estimated to be 55%. With the pass-by trips reduction of 45%, the net trip generation for this project is 230 new daily trips with 55 pm peak hour trips (27 entering and 28 exiting). Trip distribution, which was estimated using a manual method, was reviewed and adjusted to account for all the new trips.

* A segment analysis was conducted and available capacity on each impacted roadway segment was verified with the exception of Rolling Acres Rd (from US 27 to CR 466) which is currently operating at 146% capacity. Please note that most of the trips for this project are internal to The Villages and no project trips are expected to use Rolling Acres Rd. I have enclosed a copy of the capacity analysis for your files.

The applicant has provided all necessary information to support the project and no further analysis is required. If you have any questions regarding my comments, please do not hesitate to contact me. Please let us know if or when this project is approved so that we can record it and update the TMS database.

Regards,

Olga V. Marcondes
Transportation Planner

LAKE~SUMTER MPO

Project Name: Citizen's First Bank

Jurisdiction: Town of Lady Lake

LEVEL OF SERVICE (LOS) - PROJECT CAPACITY INQUIRY																						
Segment ID	Roadway	Segment		Adopted LOS	Adopted Capacity	Pk Hr/Pk Dir Volume Capacities					Existing + Committed PM Peak Hour/Peak Direction						VIC Ratio	Available Capacity	Project Trip Distr (%)	Project Impact (%)		
		From	To			A	B	C	D	E	NS/EB	Project	Total	LOS	SB/WB	Project					Total	LOS
1970	GRIFFIN AVENUE	US 27 / US 411	CR 25	D	572	0	0	540	572	572	266	0	266	C	450	0	450	C	0.79	122	0%	0.00%
2750	ROLLING ACRES ROAD	US 27 / US 441	OAK STREET	D	572	0	0	540	572	572	816	0	816	F	691	0	691	F	1.43	-244	0%	0.00%
2700	ROLLING ACRES ROAD	OAK STREET	CR 466	D	572	0	0	540	572	572	680	0	680	F	833	0	833	F	1.46	-261	0%	0.00%
3670	US 27/US441	SUMTER COUNTY LINE	GRIFFIN AVENUE	D	3,020	0	0	2,940	3,020	3,020	1,314	7	1,321	C	1,398	7	1,405	C	0.47	1,815	25%	0.23%
3680	US 27/US441	GRIFFIN AVENUE	ALT US 441 / ALT US 27	D	2,000	0	0	1,910	2,000	2,000	1,094	4	1,098	C	1,201	4	1,205	C	0.60	795	15%	0.20%
3690	US 27/US441	ALT US 441 / ALT US 27	CR 466	D	2,000	0	0	1,910	2,000	2,000	1,117	4	1,121	C	1,208	4	1,212	C	0.61	788	15%	0.20%

Note: Existing + Committed Volumes are based on the Lake County TMS Report dated January 28, 2014.

September 3, 2014

Mrs. Wendy Then
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159

REFERENCE: CITIZENS FIRST BANK DRIVE THRU- MAJOR SITE PLAN REVIEW 2

Dear Mrs. Then;

Pursuant to your request, Neel-Schaffer, Inc. (NSI) has reviewed the Citizens First Bank Drive Thru @ Spanish Springs Town Center's Major Site Plans update. Documents reviewed were comprised of the Developer's Civil Plans, Site Lighting Plan, Landscaping Plans, Parking Allocation Breakdown, and Applicant Responses to the initial Town review. Our review was centered on the standards provided in the Land Development Code Regulations (LDCR) of the Town of Lady Lake.

Based on our engineering review of the developer's submitted materials listed above, the following comments are submitted for the Town's review and consideration:

Site Lighting Plan

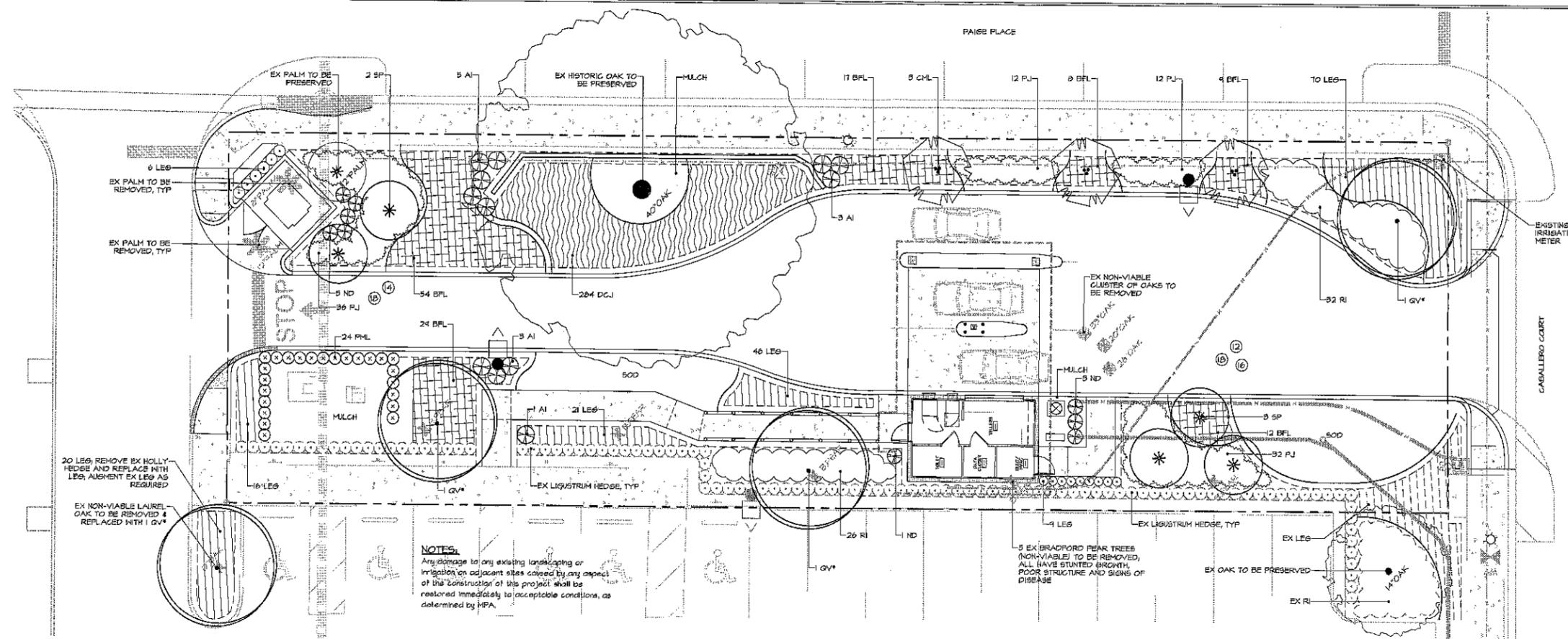
1. The Site Lighting Plan should indicate light levels achieved through fixtures called for in the plans. Analysis should take into consideration the substrate which light is hitting i.e. concrete vs asphalt. There is one isometric line shown for each light but no indication of light values for those individual isometric lines. Isometric lines may be utilized, but intervals of isometric lines should be shown and labeled. The current plans isometric line showing dispersal of light does not appear to take into account adjacent light effects. To give an accurate representation of light levels, illuminance values should be given in foot-candles through points at regular intervals over the site's sidewalks and travel ways. Additionally in photometric analysis; typically values are shown in a schedule of the sites average, minimum and maximum illuminance in foot-candles as well as the ratio of average/minimum and a max/minimum ratio of illuminance. The aforementioned information verifies proper light levels are planned for and gives the contractor light levels he should achieve in construction.

Should updates be provided, additional comments may follow after this review. If you have questions or comments, please do not hesitate to contact me at 407-647-6623.

Sincerely,



Christopher Schultz, P.E.
Project Manager



NOTES:
 Any damage to any existing landscaping or irrigation on adjacent sites covered by any aspect of the construction of this project shall be restored immediately to acceptable conditions, as determined by MPA.

IRRIGATION SPECIFICATIONS

- The Contractor shall be entirely responsible for proper coverage and operation of the system. The Contractor shall be responsible for getting all locates and for any repairs to existing improvements damaged by his work.
- The Contractor shall be responsible for providing all labor, material, and accessories required for a complete and properly operating irrigation system meeting the performance requirements outlined herein prior to installation. Submittals shall be provided for approval by the Landscape Architect, including cutsheets for all irrigation components.
- All irrigation components shall be installed in accordance with the manufacturer's specifications. No components of the irrigation system shall be installed outside of the property limits.
- All work shall be installed in accordance with the regulations of the local, county, or other governing authorities. Fees for all permits, inspections, and impact fees shall be included as work required.
- The water source shall be the #1 Irrigation Meter at the corner of Paise Place and Caballero Court.
- The controller shall be Hunter or Rainbird and mounted in an unobstructed location. Confirm location for controller and rain sensor with the Owner. The controller shall be hardwired, not plugged into a receptacle.
- 2 spare control wires shall be run from the controller both clockwise and counter-clockwise to the farthest valves. These 4 spare wires shall be tagged and labeled as such, and called neatly in the respective valve boxes.
- All PVC pipe in the system shall be per the Class 160 IPS Polyvinyl Chloride solvent weld pipe conforming to the ASTM-D2241, Type I, requirements, NSF approved, unless otherwise noted.
- Flexible pipe connections to gear-driven and spray heads shall be approved flexible pipe (hurry pipe), threaded into a barb x threaded PVC fitting. Length of hurry pipe shall be at least 6" longer than the depth of the zone lateral and a minimum of 2". Knot-tie and glued connections may be acceptable with approval by the Landscape Architect prior to bidding.
- The use of barbed insertion type fittings (couplings, tees, etc.) between the sprinkler and the PVC service is prohibited.
- Drip irrigation and risers are prohibited.
- All PVC fittings shall be purple schedule 40, Type I, NSF approved conforming to the ASTM-D2466 requirements.
- Ball valves 2 inches and smaller shall meet Federal Specification HM-V-94 Type I, Class A. Valves shall be threaded, bronze, rough bodied, and have finished trimmings. Ball valves shall be Hanco 1595-70-1C or approved equal.
- Separation of zones covering turf areas and bed areas shall be required, even where such areas are spray zones. All trees shall have coverage provided by a separate zone, using Manjels, or by using Hunter AMPB adjustable flood bubblers on a rotor zone. Zones shall be properly balanced.
- Gate valves 2 inches and over in size shall be resilient-head with cast iron bodies meeting ANMA C501 - latest. Valves shall have either threaded or mechanical joint connections, non-rising stems, and 2" square operating nuts. Resilient-sealed gate valves shall be American-Darling CR5 50, Kennedy 1500 Series, Clow F605, or approved equal.
- The remote control valves shall be Hunter or Rainbird. All valves shall be installed in a rectangular Ames-like-type valve box, except sized for access. Valves shall be placed in protective turf areas rather than bed areas. All valve box covers shall be branded with a heat branding kit with two inch letters/numbers to identify their respective components and zone designations (as applicable). All valves shall be labeled with plastic tags with the zone designations either pre-printed or labeled with indelible ink. Refer to the Details for additional installation requirements.
- A rain sensor, Mini-Click II, or approved equal, shall be installed in an unobstructed location per the manufacturer's specifications.
- All PVC piping shall be installed in the trenches with a minimum of 12" of cover, and a maximum of 24" except where specific permission is obtained from the Landscape Architect for less cover due to existing conditions. Trenches shall be fully compacted to allow no settling. Hand trenching and alternative routing of piping may be required to preserve roots of existing trees when encountered. Ground with MPA as needed.
- Any pipe installed and subsequently removed shall not be reinstated.
- There shall be no or minimal overspray onto walkways, and there shall be no overspray onto buildings, walls, or structures. Adjustable heads shall be used where possible for this purpose.
- 100% overlapping head-to-head coverage shall be required in all areas requiring spray and rotor coverage, as reasonably possible.
- The Contractor shall be responsible for adjusting and balancing the system for proper operation and coverage, including moving heads, changing head size, or nozzle, etc. The Landscape Architect shall have the right to inspect the work to insure that the system conforms with the specifications, as a condition for final payment to the Contractor.
- All lines being tested shall be subjected to 150 psi pressure and maintained for at least 2 hours with no loss of pressure. Any defects or leaks revealed will be located and repaired and another pressure test run before backfilling.
- Warranty: The Contractor shall warrant the installation workmanship for a period of one year from date of completion and acceptance of the job. The Contractor shall further see to the fulfillment of all manufacturer's warranties and shall provide maintenance and operational information to the Owner. Replicable cutsheets applied from the original plan showing dimensioned locations of all system components shall be required for final payment.

LANDSCAPE SPECIFICATIONS

- The Contractor shall be responsible for getting all locates and for any repairs to existing improvements damaged by his work.
- All plants shall be Florida No. 1 or better, as outlined under Grades and Standards for Nursery Plants, Division of Plant Industries, State of Florida, current edition.
- All work shall be performed in accordance with standard and accepted nursery practices in a horticultural manner. The Contractor shall be responsible for notifying the Landscape Architect of any conditions which would adversely affect the completed work.
- The Contractor shall be responsible for the grading. In all areas of the site to be landscaped, the Contractor is responsible for ensuring that surface drainage is not affected or hindered in any manner due to any reason.
- The Contractor shall be responsible for the thorough removal of existing vegetation and grass in the areas to be planted, including application of appropriate herbicides before and after plant installation. A pre-emergent herbicide approved by the Landscape Architect shall be applied in accordance with the manufacturer's instructions for all plant beds.
- Literature, debris, and other unsuitable materials shall be removed from the planting areas, and clean sandy fill used to bring all areas to proper grade. Soil used for planting shall consist of two parts of the existing soil and one part domestic peat moss (or sandy fill in heavy soils). Fertilizer shall be AgriForm tablet, incorporated into all shrub and tree planting pits per the manufacturer's instructions. Backfill shall consist of equal parts clean sandy fill and potting soil mix, well mixed.
- Refer to the Details for plant installation requirements. Care shall be taken to ensure that all plants are set properly and the finish grade conforms to adjacent lawns, walks, pavement, etc. All plant beds shall be top-dressed with 3" pine straw mulch.
- The Landscape Architect reserves the right to field locate or review flagged locations of any or all proposed plantings. Locations of trees and plants shall be coordinated with irrigation head locations to insure proper coverage, including minor adjustments of plants and head locations as needed.
- Soil shall be clean, weed-free Zepha Empire, as indicated in the areas shown on the plan. Soil shall be installed in a level, clean manner without noticeable grade differences, rough edges, or gaps. Soil shall be rolled, and staked as necessary to prevent erosion.
- No substitutions shall be permitted without prior approval from the Landscape Architect.
- All site areas which are not built upon or paved shall be landscaped, sodded, seeded, or otherwise finished, unless left in a natural, undisturbed state.
- The Contractor shall be responsible for surveying any property lines, easements, or other boundaries if required to control the proper location of work within the project.
- The Contractor shall be responsible for the thorough repair of existing grade, turf, landscaping, etc. damaged in the course of work.
- The Contractor is entirely responsible for the work until the job is in full and exact compliance and conformity with provisions expressed or implied in the plans and specifications and as otherwise directed and determined by the Landscape Architect. The Landscape Architect will inspect the work to insure that it complies as a condition for final payment to the Contractor.
- The Contractor is responsible for maintenance of the project during construction and shall bear all risk of loss, theft, or damage to the project until all purchase tickets are satisfactorily resolved and the job is officially turned over. Plantings shall be maintained by watering, removing dead branches, resetting plants to proper grades and upright positions, staking to ensure vertical growth, weeding, mowing, and any other operations necessary to complete maintenance, including the replacement of any material that exhibits visible and unightly evidence of "shocking" without full recovery prior to job completion and final inspection.
- Warranty: All new plant material, except trees, shall be guaranteed for 90 days, and shall be alive and satisfactory growth for each specific plant at the end of the warranty period. Trees, Palms, and specimen plants shall be guaranteed for a period of 1 year. The warranty period shall commence upon the date of release of the retainage for the job, or for any defined phase of the job.
- At the end of the warranty period, and at any time during this period, any plant material that has died or is not in satisfactory condition as determined by the Owner and the Landscape Architect, shall be removed and replaced with new healthy material of the original specified size and type within 10 calendar days. Excluded are replacements of plants due to acts of God, theft, vandalism, or acts of negligence on the part of others, and due to deleterious soil and/or drainage conditions which the Contractor documented to the attention of the Owner and Landscape Architect at this time of installation. The new material shall be guaranteed as outlined above, commencing the date that the job is accepted. The Contractor shall be responsible for the cost of all material and labor.

PLANT SCHEDULE

Key	Qty	Plant Name	Size and Spacing	Maintenance
AI	12	African Iris, white Dietes vegeta	1 1/2' full, 5-4' spp mly 3' oc	30" ht x full mass; remove dead flower stalks
BFL	124	Blueberry Flax Lily Dianella laevis	1 1/2' full, 30" oc	24" ht x full mass
CHL	5	Grape Myrtle, lavender Lagerströmia indica 'Natchagans'	150/180, 9' ht x 5' spp; multi-trunk	25' ht x 20' spp; prune no more than 1/2" wood
DCJ	284	Dwarf Confederate Jasmine Trachelospermum asiaticum 'Nimmo'	1 1/2' full, 5' spp mly; 5-7' runners mly 18" oc	10-15" ht, full mass; prevent intrusion into other plants
LEG	180	Emerald Goddess Liriope Liriope muscari 'Emerald Goddess'	1 1/2' full, 5-7' spp mly; 2' oc	18" ht x full mass
ND	4	Heavenly Bamboo Nandina domestica	1 1/2' ht x 2' spp; 5' cases mly	Allow natural growth
FJ	42	Parson's Juniper Juniperus athensis 'Parson'	1 1/2' ht x 10" ht x 18" spp; 3' oc	30" ht x full mass; maintain informally do not shear
FML	24	Japanese Yew, large Podocarpus macrophyllus	60/80, 5' ht x 30" spp; turgid, full and vigorous; 2' oc	6' ht x 6' full hedge; may be sheared
GV	4	Live Oak Quercus virginiana	60/100, 14-16" ht x 7-8" spp; 4' col mly	Allow natural growth; prune only for form or dead wood
RI	50	Indian Hawthorn, white Raphirolepis indica 'Alba'	1 1/2' ht x 18" spp; 3' oc	30" ht x full mass; maintain informally do not shear
SP	5	Sabal Palm Sabal palmetto	18/24, hurricane cut; See plan for CT heights	Allow natural growth; prune only dead fronds
SOD		Zoysia 'Empire' Zoysia japonica 'Empire'	3" depth	Refresh annually, or as needed

* Denotes Required Root Barrier (See Sheet L-2 For Root Barrier Detail)

SEE SHEET L-2 FOR ADDITIONAL DETAILS

IMPORTANT! NOTICE TO CONTRACTORS:
 This project is within the jurisdiction of The Villages. Bidding on these landscape plans is subject to mandatory procedures under The Villages' design review authority. Bidding shall occur only under direction of The Villages' Design Review Committee to insure that all requirements have been met. Bids solicited, submitted, or received otherwise will not be qualified bids.
 Details about this process shall be obtained by contacting Michael Pape & Associates PA.

Pat. Pape
 8/21/14

LANDSCAPE DATA

SCALE: 1"=10'

SITE AREA: .30 AC. (13,146 SF)
 TREE REQUIREMENTS: 30 ACRES X 160' = 480' REQUIRED
 EXISTING TREES PRESERVED: 48' *
 PROPOSED TREES:
 CANOPY AND UNDERSTORY: 21'
 PALMS: 13' (40' TOTAL COUNTED AS 13' FOR 25% MAX)
 TOTAL EXISTING + PROPOSED: 62' PROVIDED
 * EXISTING TREES LOCATED OUTSIDE OF PROJECT AREA IN PARKING LOT TO THE WEST ARE NOT INCLUDED IN THIS CALCULATION.

REQUESTED WAIVERS:

- LANDSCAPE BUFFERS:**
 Due to the location of this site within Spanish Springs, and to maintain a high level of landscaping consistent with this area of The Villages, we are requesting waivers for all buffering along property boundaries. The preservation of existing trees combined with the proposed trees far exceed the minimum required per Town of Lady Lake code for this site.
- IRRIGATION PLAN:**
 This site currently has an irrigation system in place that will require modifications and adjustments to irrigate the proposed landscape. No irrigation as-built exists for the current system and such information will not be discernible until the time of construction, therefore, the preparation of an accurate Irrigation Plan is not possible at this time and a waiver is requested for this submittal. The final irrigation system shall be an Automatic system design-built to meet The Villages' Specifications:
 * 100% overlapping head-to-head coverage shall be required in all areas requiring spray and rotor coverage as reasonably possible. Separation of zones covering turf areas and bed areas shall be required to the maximum extent possible, even where such areas are spray zones. Zones shall be properly balanced.
 * All trees and specimen material 30 gallon size and larger shall have coverage provided by low volume popups on a separate zone, or where necessary, bubblers on rotor zones. Heads shall be set specifically to cover the inner root zones.
 * Where sprays are in turf, they shall be 6" popups; all popups in grass/cover and dwarf shrub masses shall be 12" popups. Only in unique situations where necessary may there be used, and then only if approved by the Landscape Architect.
 * There shall be no overspray onto walkways, and there shall be no overspray onto buildings, walls, or structures. Adjustable heads shall be used where possible for this purpose.

GENERAL NOTES:

- NO CONSTRUCTION OR DEMOLITION IS PROPOSED FOR THIS SITE BEYOND WHAT IS SHOWN ON THIS PLAN.
- ALL EXCAVATED SOIL, DEBRIS, AND YARD WASTE SHALL BE PROPERLY DISPOSED OF OFF SITE.
- ALL TREES, SHRUBS, AND SOD SHALL BE WATERED BY A 100% AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH A RAIN SENSOR DEVICE PURSUANT TO F.S. CHAPTER 318. LANDSCAPING SHALL CONFORM GENERALLY TO WATER-EFFICIENT DESIGN PRINCIPLES, INCLUDING THE USE OF NATIVE AND/OR DROUGHT TOLERANT SPECIES. ALL IRRIGATION ZONES SHALL BE "MODERATE WATER USE".
- THE IRRIGATION WATER SOURCE SHALL BE THE 3/4" WATER METER LOCATED AT THE CORNER OF PAISE PLACE AND CABALLERO COURT.
- ALL SITE AREAS WHICH ARE NOT BUILT UPON OR PAVED SHALL BE LANDSCAPED, SODDED, SEEDED, AND/OR MULCHED, UNLESS LEFT IN A NATURAL, UNDISTURBED STATE.
- ALL PLANT MATERIAL USED SHALL BE EQUAL TO OR EXCEED THE GRADE OF FLORIDA #1 AS PER "GRADES AND STANDARDS FOR NURSERY PLANTS", STATE OF FLORIDA, LATEST EDITION.
- ALL LANDSCAPING SHALL BE INSTALLED IN A PROFESSIONAL MANNER FOLLOWING ACCEPTABLE NURSERY PRACTICES AS SET BY THE FLORIDA NURSERY, GROWERS AND LANDSCAPE ASSOCIATION, FNSLA.
- THE OWNER, INCLUDING SUCCESSORS AND ASSIGNS, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING ON-SITE AND THE GRASSED RIGHTS-OF-WAY.
- THE OWNER RESERVES THE RIGHT TO ADD NONREGISTERED LANDSCAPING, UPGRADE MINIMUM SIZES, AND MAKE OTHER IMPROVEMENTS TO THE INSTALLED LANDSCAPING.

REVISIONS

DATE	DESCRIPTION

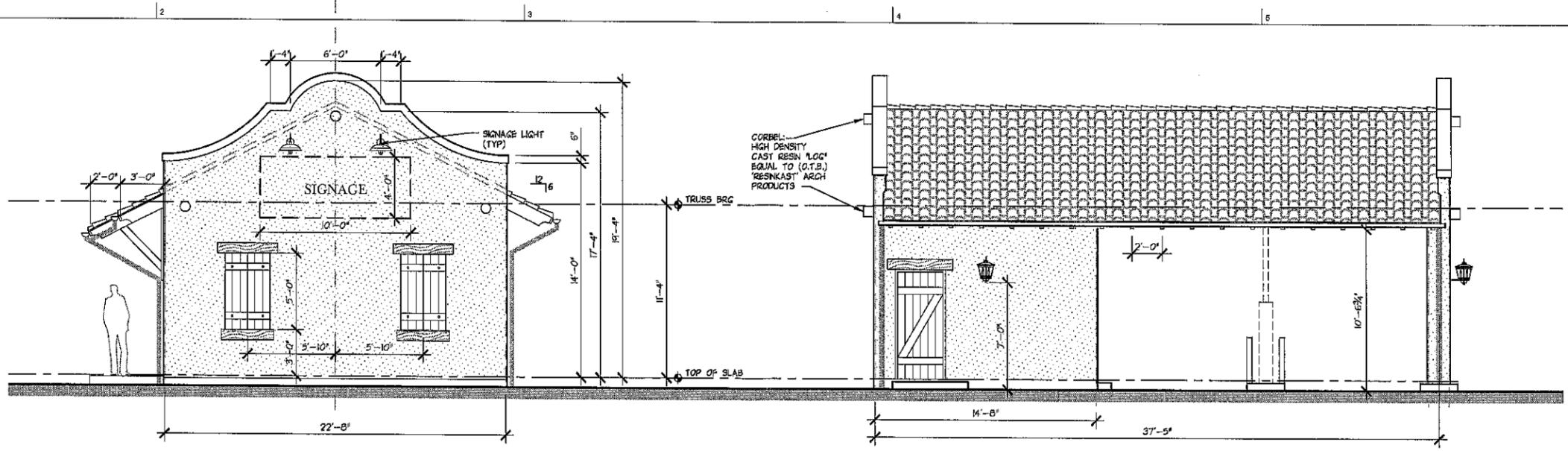
MPA
 MICHAEL PAPE & ASSOCIATES, P.A.
 LAND PLANNING • SITE DESIGN • LANDSCAPE ARCHITECTURE
 2351 S.E. 17TH STREET • OCALA, FLORIDA 34471 • (852) 961-8500

CITIZENS FIRST BANK DRIVE THRU
 SPANISH SPRINGS TOWN CENTER
 LANDSCAPE PLAN

DATE: 08/20/14
 JOB NO: 2045
 DWS NO: 2045
 DWN BY: SS
 CHKD BY: MJP

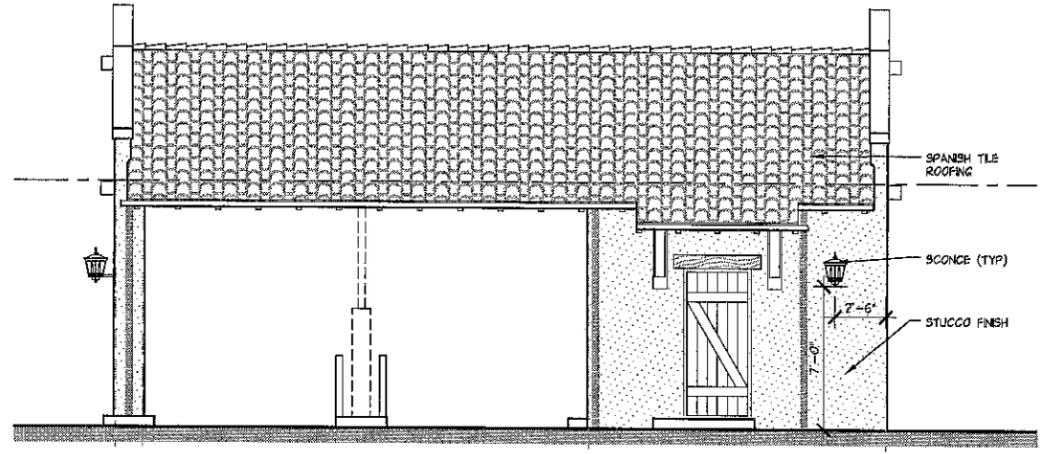
SHEET 1 OF 2

Within dimensions on these drawings shall prevail over verbal dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job. KP Studio Architect P.A. must be notified immediately in writing of any deviation from the drawings and conditions shown on these drawings. This work is preliminary and conditions shown on these drawings are not to be used for construction. These drawings are not to be reproduced, changed, or copied in any form or manner whatsoever, without the prior written consent of KP Studio Architect P.A. In the event of reproduction or other use of these drawings, the user shall be responsible for obtaining the written permission and written consent of KP Studio Architect P.A. to the extent of reproduction or other use of these drawings. The user shall be responsible for obtaining the written permission and written consent of KP Studio Architect P.A. to the extent of reproduction or other use of these drawings. The user shall be responsible for obtaining the written permission and written consent of KP Studio Architect P.A. to the extent of reproduction or other use of these drawings.

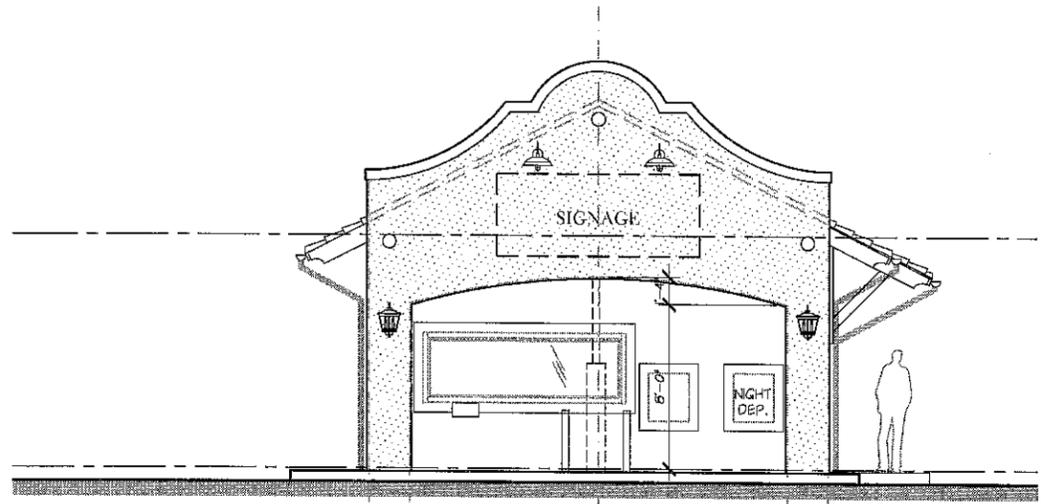


FRONT ELEVATION
1/4" = 1'-0"

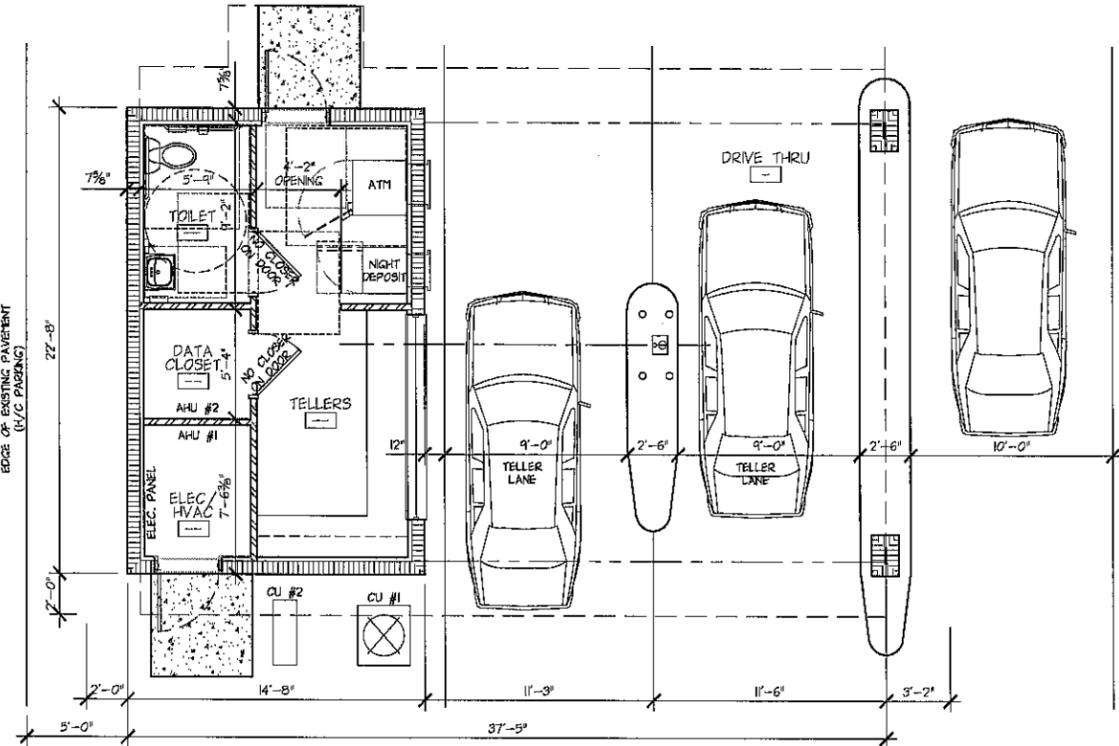
SIDE ELEVATION
1/4" = 1'-0"



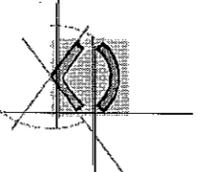
SIDE ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



FLOOR PLAN - DRIVE THRU
@ SPANISH SPRINGS TOWN CENTER
07/09/2014


KP studio architect
 KP STUDIO ARCHITECT P.A.
 537 NE 8th Avenue
 Ocala Florida 34470
 Phone: 352.622.7183
 Fax: 352.622.6566
 mailbox@kpstudioarchitect.com
 Web site: kpstudioarchitect.com
 License No. #AA0002357
 CONSULTANT

CITIZENS FIRST BANK
DRIVE THRU TELLER AT
SPANISH SPRINGS TOWN SQUARE
 THE VILLAGES
 LADY LAKE, FLORIDA

REGISTRATION
 LICENSE NUMBER AR070752
 NOT FOR CONSTRUCTION
 CONCEPTUAL DRAWING
 7-09-2014
 LARRY CRAIG KRIETEMEYER

NO.	REVISIONS:	DATE	DESCRIPTION

DRAWN BY: DM
 CHECKED BY: EP
 DATE: -2014

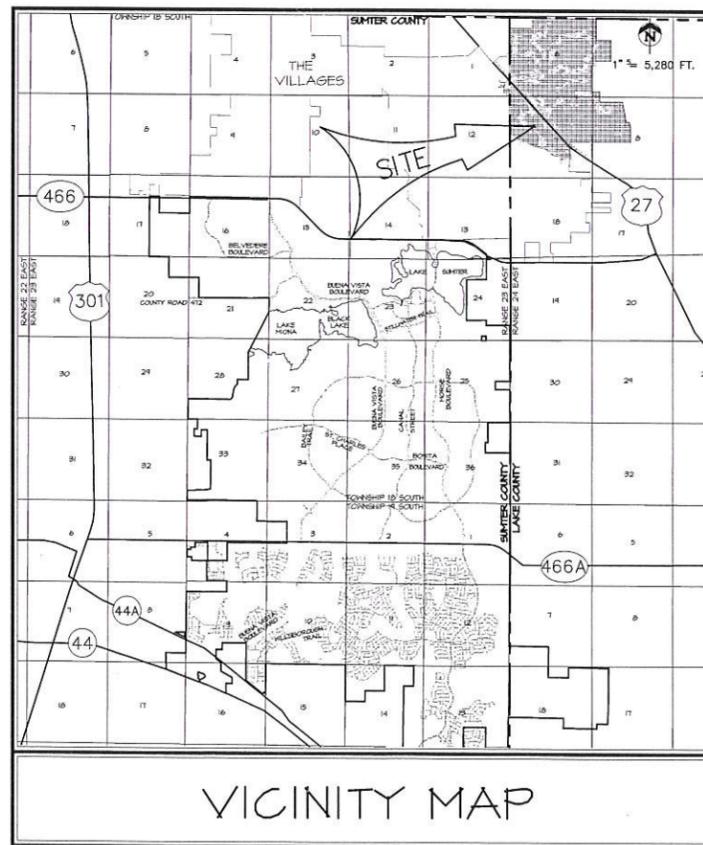
SHEET:
 FIRST FLOOR PLAN
 TARGETING
A-201
 JOB No. 14082

The Villages®

SITE PLAN OF CITIZENS FIRST BANK DRIVE THRU @ SPANISH SPRINGS TOWN CENTER

LEGAL DESCRIPTION

BUILDING AREA II, VILLAGE CENTER DOWNTOWN,
ACCORDING TO THE PLAT THEREOF RECORDED IN
PLAT BOOK 55, PAGES 72 THROUGH 79, INCLUSIVE,
OF THE PUBLIC RECORDS OF LAKE COUNTY,
FLORIDA.



VICINITY MAP

SECTIONS 7, TOWNSHIP 18 SOUTH: RANGE 24 EAST
LAKE COUNTY, FLORIDA

SHEET INDEX

- 1 COVER SHEET
- 2 AERIAL PHOTOGRAPH
- 3 MASTER DEVELOPMENT PLAN
- 4 DEMOLITION PLAN
- 5 SITE PLAN
- 6 GRADING & DRAINAGE PLAN
- 7 UTILITY PLAN
- 8 GENERAL DETAILS
- 9 DUMPSTER PAD AND ENCLOSURE DETAILS
- EI EROSION CONTROL PLAN

THIS PLAN HAS BEEN APPROVED BY THE VILLAGES AND NO CHANGES SHALL OCCUR TO THE LAYOUT, DESIGN OR ANY OTHER ASPECT OF THE PLAN, WITHOUT RESUBMITTAL AND SUBSEQUENT APPROVAL OF ANY REQUESTED REVISIONS. UPON COMPLETION OF THE SITE WORK, THE VILLAGES RESERVES THE ABSOLUTE RIGHT TO REVIEW THE FINISHED CONSTRUCTION AND TO DETERMINE WHETHER THE COMPLETED JOB MEETS THE APPROVED SUBMITTAL PLANS AND SPECIFICATIONS. THE PARCEL DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING THE VILLAGES TO SPECIFICALLY REQUEST A FINAL INSPECTION. ANY DEFICIENCIES FOUND BY THE VILLAGES WILL BE IDENTIFIED IN WRITING TO THE PARCEL DEVELOPER, WHO SHALL IMMEDIATELY TAKE ALL CORRECTIVE ACTION NECESSARY TO REMEDY ANY DEFICIENCIES. FINAL APPROVAL FROM THE VILLAGES SHALL BE OBTAINED PRIOR TO SUBMITTAL OF THE FINAL CERTIFICATION OF COMPLETION TO THE TOWN OF LADY LAKE BY THE PROJECT ENGINEER.

THE STANDARD DETAILS FOR THIS PROJECT SHALL BE FOUND IN "THE VILLAGES CONSTRUCTION DETAILS MANUAL, DATED MARCH 1, 2014", PREPARED BY GRANT & DZURO.

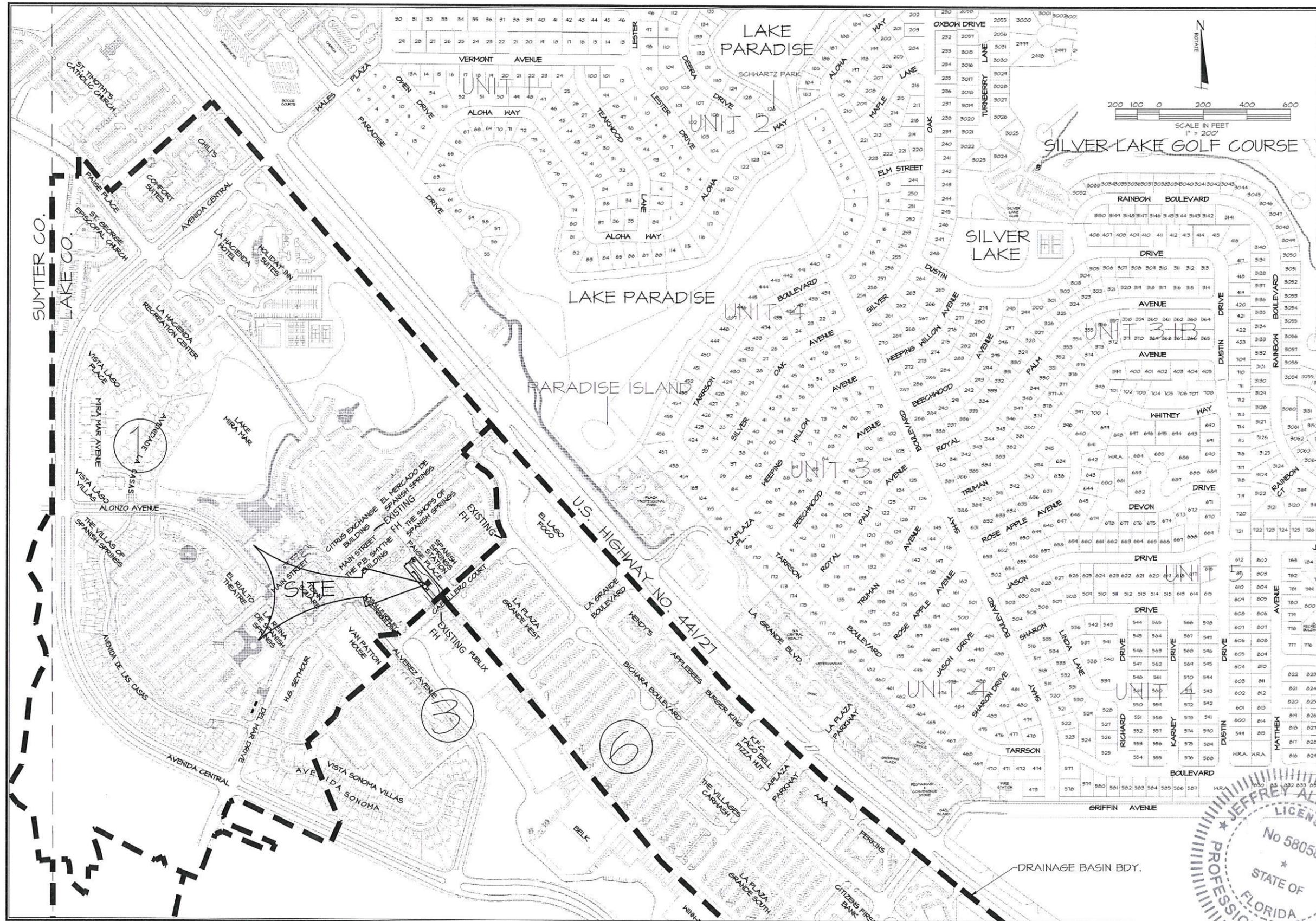
NOTE: ELEVATIONS SHOWN ARE BASED ON THE VILLAGES DATUM. TO OBTAIN N.G.V.D. ADD 3.46 FEET.

ENGINEER/SURVEYOR:
FARNER, BARLEY AND ASSOCIATES, INC.
4450 N.E. 83rd ROAD
WILDWOOD, FL 34185
JEFFREY A. HEAD, P.E.
FLA. LIC. NO. 58058

OWNER/DEVELOPER:
THE VILLAGES OPERATING COMPANY
1045 LAKE SUMTER LANDING
THE VILLAGES, FL 32162
MARTIN L. DZURO, VICE PRESIDENT



FARNER
BARLEY
AND ASSOCIATES, INC.
Certificate of Authorization Number: 4709
4450 N.E. 83rd Road • Wildwood, Florida 34785 • (352) 748-3126

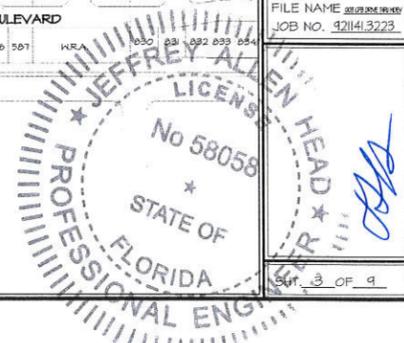


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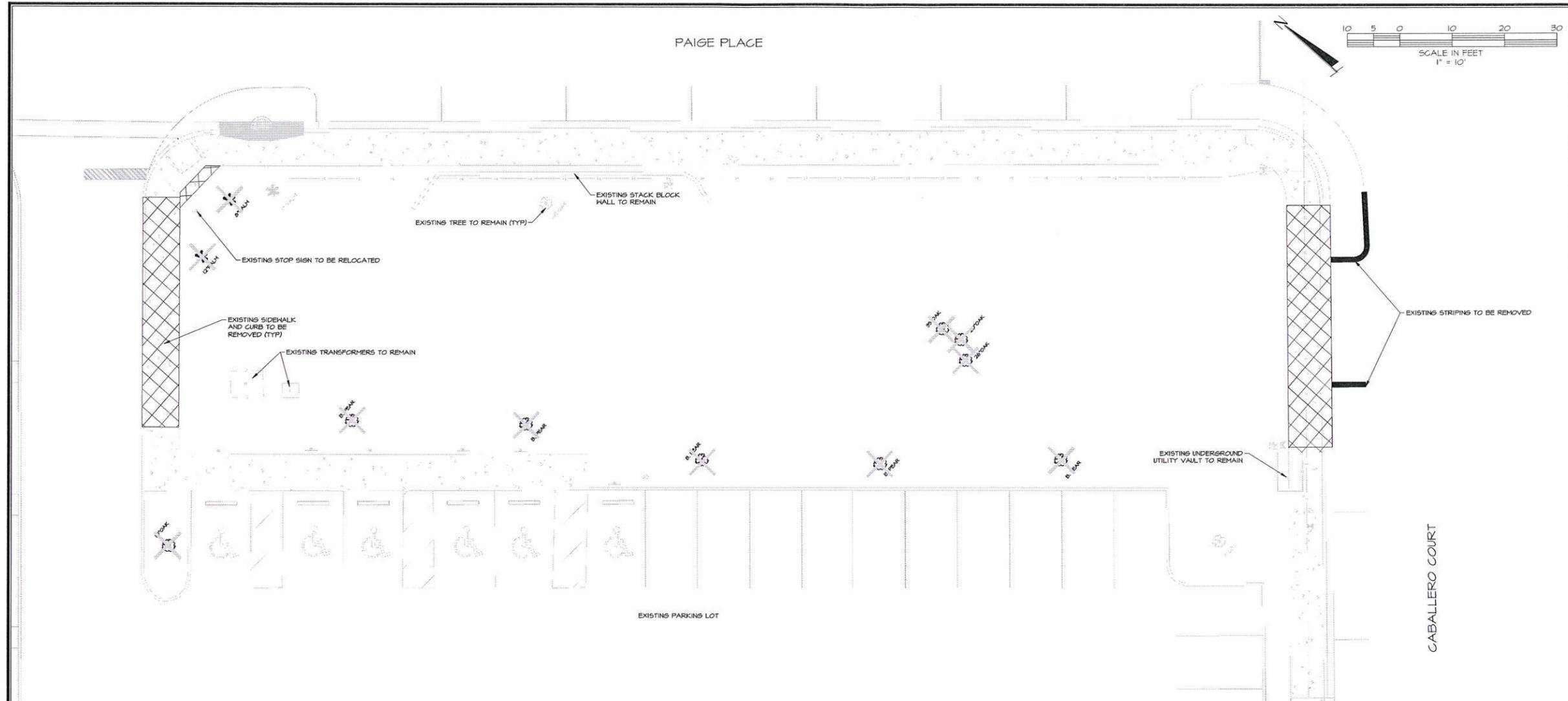
<p>FARNER BARLEY AND ASSOCIATES, INC. ENGINEERS ARCHITECTS PLANNERS Certificate of Authorization Number: 4709 4450 N.E. 43rd Road • Willemet, Florida 34785 • (352) 748-3126</p>	<p>The Villages VILLAGES OF LAKE CITIZENS FIRST BANK DRIVE THRU SPANISH SPRINGS TOWN CENTER MASTER DEVELOPMENT PLAN</p>
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DATE	8/14/14
DRAWN BY	BRP
CHKD BY	JAH
FILE NAME	LAKE\STPLANS\Spanish Town Center\CITIZENS FIRST BANK DRIVE THRU CIVIL CONSTRUCTION\03 CFB DRIVE THRU MDEV.dwg
JOB NO.	421413223

3 OF 9



S:\LAKESTEPLANS\Spanish Springs Town Center\CITIZENS FIRST BANK DRIVE THRU DEMO.dwg, 8/22/2014 10:40:21 AM, BRP



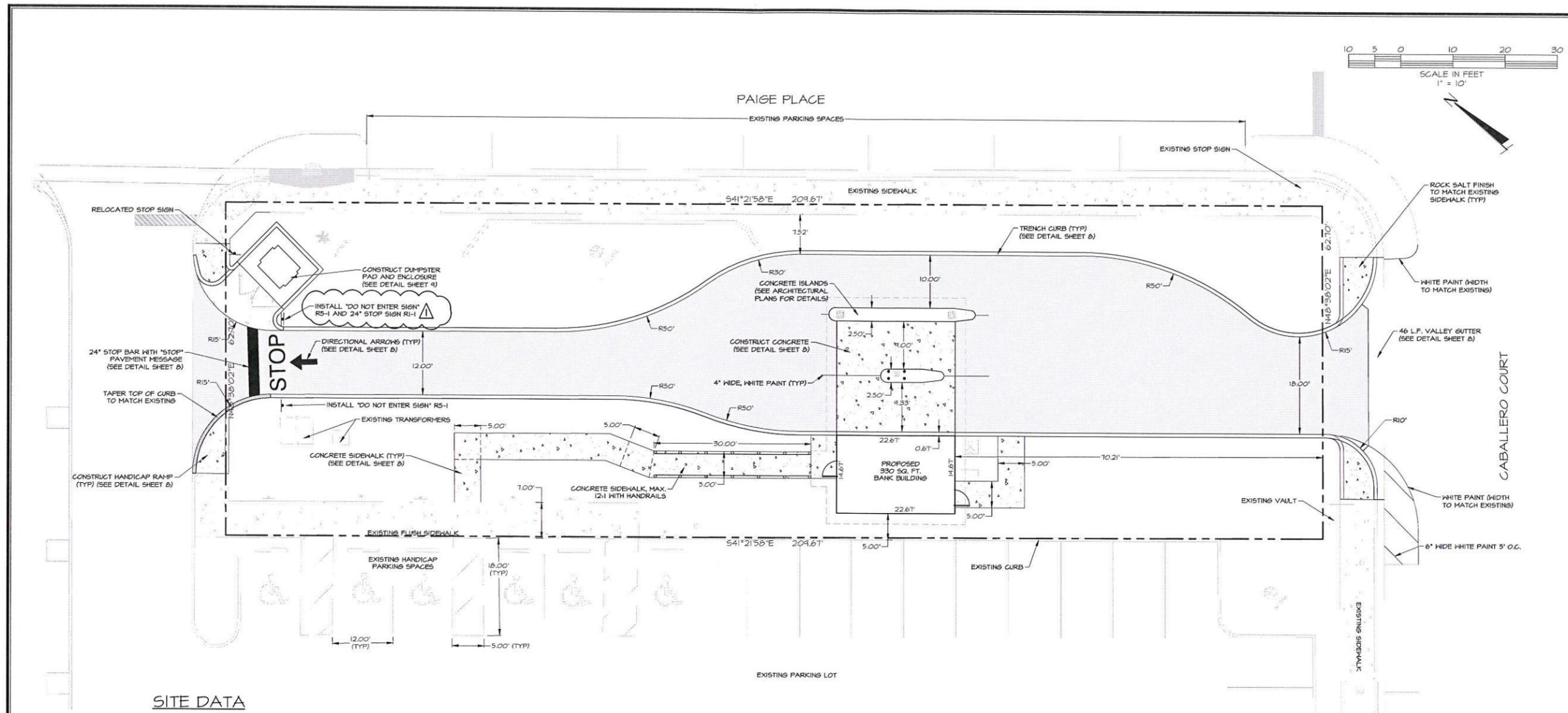
DEMOLITION NOTES:

1. THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT EXISTING FEATURES THAT ENCOMPASS THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
2. THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY.
3. CONTRACTOR IS REQUIRED TO OBTAIN ALL DEMOLITION PERMITS.
4. ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE. AFTER DEMOLITION IS COMPLETE THE SITE SHALL BE DELIVERED IN A CONDITION SUITABLE FOR DEVELOPMENT.
5. CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY OWNER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
6. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
7. CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC.. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
8. ALL CONCRETE TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS.
9. EXISTING SITE FEATURES LOCATED WITHIN THE AREA OF DEMOLITION IDENTIFIED TO REMAIN SHALL BE PROTECTED DURING THE COURSE OF CONSTRUCTION; FEATURES AFFECTED BY GRADING SHALL BE ADJUSTED TO MEET DESIGN GRADES.
10. SEE EROSION CONTROL PLAN FOR REMAINING INLET PROTECTION AND EROSION PREVENTION.
11. AT THE END OF EACH WORK PERIOD, ANY DROP-OFF IN THE AREA ADJACENT TO THE TRAVEL WAY OF ABUTTING ROADS SHALL BE BACK FILLED IN ACCORDANCE WITH FDOT STANDARDS OR SHALL BE OTHERWISE PROTECTED WITH TEMPORARY BARRIER WALL AT THE CONTRACTOR'S EXPENSE.
12. THE CONTRACTOR SHALL ENSURE THAT THE MAINTENANCE OF TRAFFIC FOR THE PROJECT CONFORMS WITH FDOT STANDARDS FOR WORK BEING PERFORMED. ACCESS TO ADJACENT PROPERTIES TO BE MAINTAINED DURING CONSTRUCTION.
13. CONTRACTOR SHALL COORDINATE DEMOLITION WITH CONSTRUCTION OF IMPROVEMENTS WITHIN THE ROAD RIGHT-OF-WAY TO MINIMIZE TRAFFIC DISRUPTION.
14. CONTRACTOR TO COORDINATE WITH ALL UTILITY OWNERS PRIOR TO REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES. ALL EXISTING UTILITY CONNECTIONS TO BE DISCONNECTED AND REMOVED TO SERVICE POINT OR METER UNLESS NOTED TO REMAIN. CONTRACTOR IS RESPONSIBLE IN MAINTAINING AND PROTECTING UTILITIES LOCATED WITHIN THE LIMITS OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ALL DAMAGES CAUSED DURING CONSTRUCTION AND SHALL REPAIR SAID DAMAGES AT HIS/HERS EXPENSE.
15. EXISTING SURVEY MONUMENTATION SHALL NOT BE DISTURBED; ANY DISTURBED OR REMOVED MONUMENTATION SHALL BE REPLACED BY A REGISTERED SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
16. CLEAR AND GRUB ALL DISTURBED AREAS PRIOR TO CONSTRUCTION.

- = EXISTING CONCRETE SIDEWALK AND CURB TO BE REMOVED
- = EXISTING TREE TO BE REMOVED
- = EXISTING PALM TREE TO BE REMOVED

DATE		REVISIONS			
FARNER BARLEY AND ASSOCIATES, INC. ENGINEERS SURVEYORS AND PLANNERS Certificate of Registration Number: 4709 4450 N.E. 83rd Road • Miramar, Florida 33185 • (305) 746-3176					
The Villages VILLAGES OF LAKE CITIZENS FIRST BANK DRIVE THRU SPANISH SPRINGS TOWN CENTER					
DEMOLITION PLAN					
DATE: 8/22/14 DRAWN BY: BRP CHKD BY: JAH FILE NAME: 140803.dwg JOB NO.: 421413223					
SHY: 09 AUG 22 2014					

S:\LAKE\SITE PLANS\Spanish Springs\Town Center\CITIZENS FIRST BANK DRIVE THRU SITE.dwg, 8/22/2014 12:15:15 PM, BRP



SITE DATA

- PROJECT AREA = 0.28 AC. (12364 SQ. FT.)
- ZONING = CP
- PROJECT ADDRESS - TO BE ASSIGNED
- BUILDING TYPE:
1 STORY, CONCRETE BLOCK.
- ENGINEER/SURVEYOR ~ FARNER BARLEY & ASSOCIATES, INC.
4450 N.E. 23RD ROAD
MILWOOD, FLORIDA 34185
(352) 748-3126
- SOIL TYPE - 4 CANDLER FINE SANDS RAPIDLY PERMEABLE SOILS
- PERMITTING AGENCIES:
-TOWN OF LADY LAKE -SJRHM-D
- WATER AND SANITARY SEWER PROVIDED BY VILLAGES CENTER COMMUNITY DEVELOPMENT DISTRICT.
- UNDERGROUND ELECTRICAL TRANSMISSION SYSTEM PROVIDED BY DIKE ENERGY
- SOLID WASTE BY LOCAL FRANCHISE.
- TELEPHONE SERVICE BY CENTURYLINK.
- GAS PROVIDED / SERVICED BY: TECO
- LOCATED IN SECTIONS 7, TOWNSHIP 10 SOUTH, RANGE 24 EAST, LADY LAKE, LAKE COUNTY, FLORIDA.
- MONUMENT SIGN SETBACKS PER TOWN OF LADY LAKE LAND DEVELOPMENT REGULATIONS.
- AREAS FOR TOTAL SITE (BASED ON FOOTPRINT, NOT INTERIOR SQ. FOOTAGE)

PROPOSED BUILDING	= 330 SQ. FT. (0.01 AC.) 2.7%
PROPOSED CONCRETE	= 609 SQ. FT. (0.01 AC.) 4.9%
PROPOSED ASPHALT	= 516 SQ. FT. (0.12 AC.) 4.14%
TOTAL NEW IMPERVIOUS AREA	= 6,051 SQ. FT. (0.14 AC.) 49.60%
OPEN AREA	= 6,313 SQ. FT. (0.14 AC.) 50.40%
PROJECT AREA	= 12,364 SQ. FT. (0.28 AC.) 100%

BUILDING SETBACKS

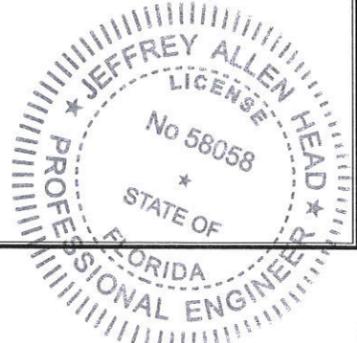
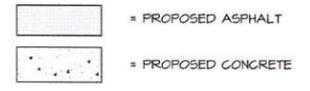
- 0 FT. FROM PAIGE PLACE.
- 0 FT. FROM CABALLERO COURT

NOTICE TO CONTRACTOR

- BEFORE DIGGING IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE UNDERGROUND UTILITIES LOCATED FOR PROTECTION, SO AS NOT TO DISTURB ANY UTILITIES REMAINING ON AND OFF SITE.

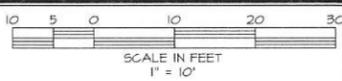
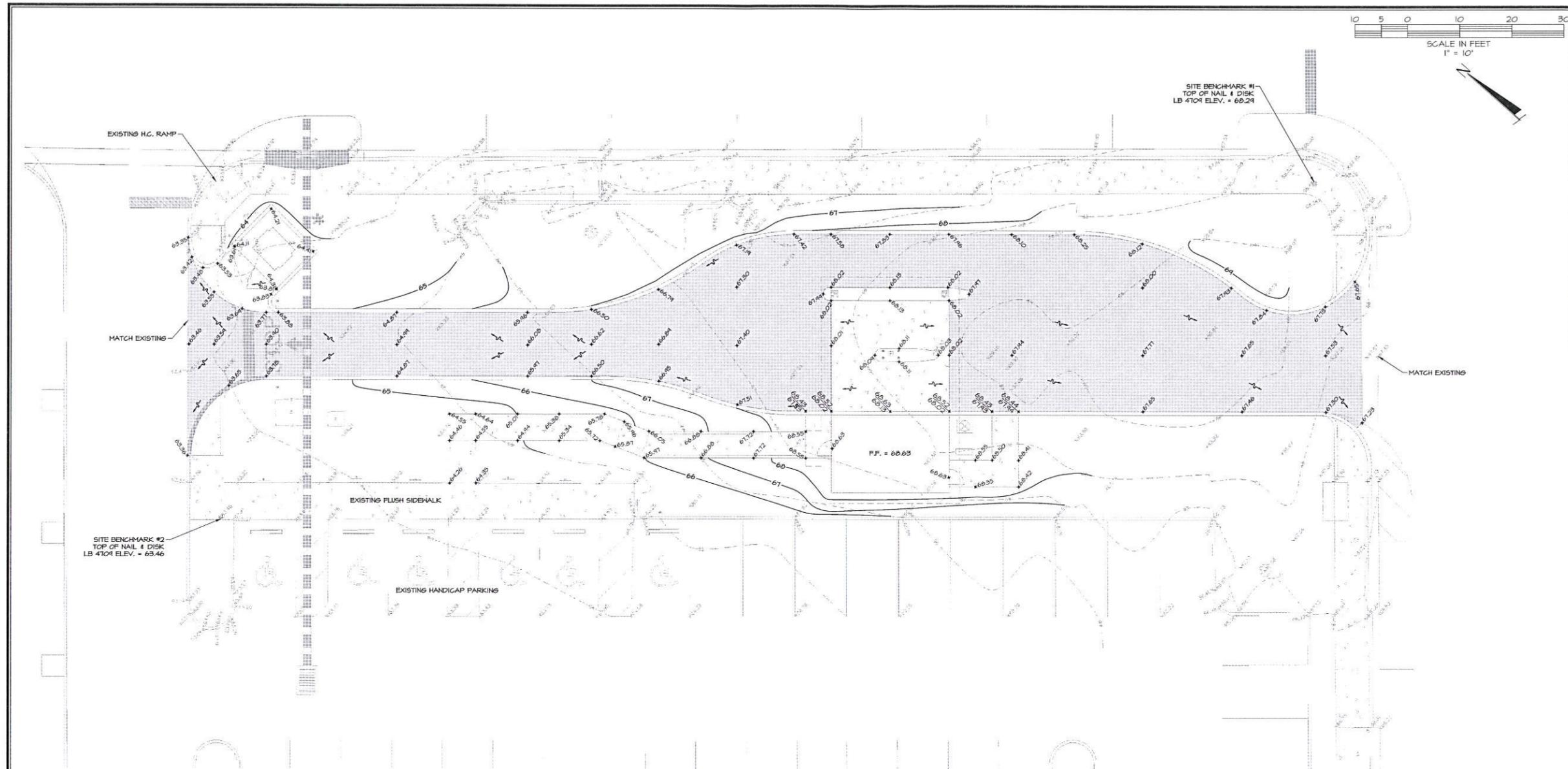
NOTES:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ANY EXISTING UTILITIES IN CONFLICT WITH THIS PROPOSED SITE PLAN, AND TO COORDINATE RELOCATION WITH RESPECTIVE UTILITY PROVIDERS.
- ALL RADII ARE 5' UNLESS INDICATED OTHERWISE.
- ALL DIMENSION SHOWN ARE TO EOP UNLESS INDICATED OTHERWISE.
- ALL TRAFFIC CONTROL SIGNS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ALL TRAFFIC FLOW ARROWS, STOP BARS AND TRAFFIC SEPARATION CENTERLINES SHALL BE LEAD-FREE PAINT.
- REFUSE DISPOSAL BY ON-SITE DUMPSTER
- ALL HANDICAP ACCESSIBLE SIDEWALK ROUTES AND ALL SIDEWALKS ARE NOT TO EXCEED A 2.00% MAXIMUM CROSS SLOPE WITH A MAXIMUM RUN SLOPE OF 5% NOT TO EXCEED 121' WITHOUT THE ADDITION OF HANDICAP HANDRAIL SYSTEM ALONG THE WALK PATH IN AREA OF MAX. SLOPE (GREATER THAN 5% BUT LESS THAN 121'). IF DURING FINAL BUILDING CERTIFICATION ANY OF THESE AREAS ARE FOUND EXCEEDING ACCESSIBILITY LIMITS (MAXIMUM 2.00% CROSS SLOPE) FOR CERTIFICATE OF OCCUPANCY IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO REMOVE AND REPLACE ALL AREAS FOUND TO BE UNACCEPTABLE BY INSPECTOR. THIS WORK SHALL BE COMPLETED WITH NO ADDITIONAL COST TO OWNER AND/OR DESIGNERS.
- ALL SIDEWALKS TO HAVE A ROCK SALT FINISH TO MATCH EXISTING SIDEWALKS.



<p>DATE: 8/22/14 DRAWN BY: BRP CHKD BY: JAH FILE NAME: 082214013223.dwg JOB NO.: 021413223</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION				<p style="text-align: center;">FARNER BARLEY & ASSOCIATES, INC. ENGINEERS SURVEYORS AND PLANNERS Certificate of Authorization Number: 4709 4450 N.E. 23rd Road • Milwood, Florida 34185 • (352) 748-3126</p> <p style="text-align: center;">The Villages CITIZENS FIRST BANK DRIVE THRU SPANISH SPRINGS TOWN CENTER</p> <p style="text-align: center;">SITE PLAN</p>
NO.	DATE	DESCRIPTION						

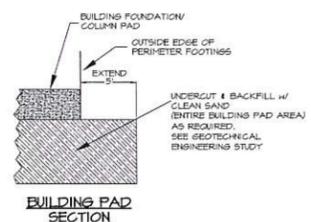
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SITE BENCHMARK #1
TOP OF NAIL & DISK
LB 4704 ELEV. = 69.21

SITE BENCHMARK #2
TOP OF NAIL & DISK
LB 4704 ELEV. = 69.46

- NOTES:
- ELEVATIONS SHOWN ARE BASED ON THE VILLAGES DATUM. TO OBTAIN N.G.V.D., ADD 3.46 FEET.
 - THE STANDARD DETAILS FOR THIS PROJECT SHALL BE FOUND IN "THE VILLAGES CONSTRUCTION DETAILS, DATED MARCH 1, 2014" PREPARED BY GRANT & DZURO OR AS AMENDED BY THESE PLANS.
 - GENERALIZED BERM INFORMATION NOT PROVIDED. FINAL GRADING SHALL BE DONE UNDER THE DIRECTION OF LANDSCAPE ARCHITECT. SEE LANDSCAPE PLAN FOR BERM LOCATIONS AND SIZE.
 - ALL HANDICAP ACCESSIBLE PARKING SPACES, HANDICAP ACCESSIBLE SIDEWALK ROUTES AND ALL SITE SIDEWALKS ARE NOT TO EXCEED A 2.00% MAXIMUM GROSS SLOPE. ALL SIDEWALKS ARE NOT TO EXCEED 5.00% LONGITUDINAL SLOPE, EXCEPT AT CURB RAMPS OR UNLESS OTHERWISE SHOWN. ALL HANDICAP PARKING SPACES ARE NOT TO EXCEED 2.00% LONGITUDINAL SLOPE. IF DURING FINAL BUILDING CERTIFICATION ANY OF THESE AREAS ARE FOUND EXCEEDING ACCESSIBILITY LIMITS (MAXIMUM 2.00%) FOR CERTIFICATE OF OCCUPANCY IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO REMOVE AND REPLACE ALL AREAS FOUND TO BE UNACCEPTABLE BY INSPECTOR. THIS WORK SHALL BE COMPLETED WITH NO ADDITIONAL COST TO OWNER AND/OR DESIGNERS.
 - TOP OF SLAB ELEVATION SHALL BE ADJUSTED BASED ON "AS-BUILT" ELEVATIONS OF EXISTING PAVEMENT. BEFORE CONSTRUCTION OF PROPOSED BUILDING, THE BUILDING CONTRACTOR SHALL COORDINATE WITH SITE ENGINEER ON THE SLAB ELEVATION. SHOULD THE CONSTRUCTION OF THE BUILDING SLAB OCCUR FIRST, THE SITE CONTRACTOR SHALL COORDINATE WITH THE SITE ENGINEER AND BUILDING CONTRACTOR FOR THE "AS-BUILT" TOP OF SLAB ELEVATION. PAVEMENT AND SIDEWALK GRADES MAY NEED TO BE ADJUSTED PRIOR TO SITE CONSTRUCTION.



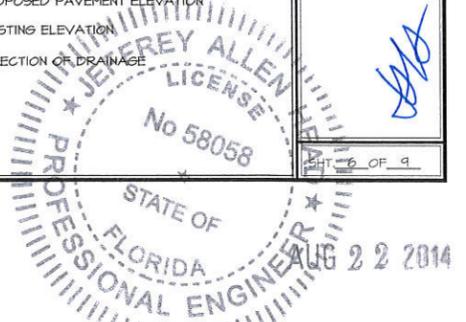
- LEGEND
- EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - PROPOSED PAVEMENT ELEVATION
 - PROPOSED TOP OF CURB ELEVATION
 - PROPOSED PAVEMENT ELEVATION
 - EXISTING ELEVATION
 - DIRECTION OF DRAINAGE

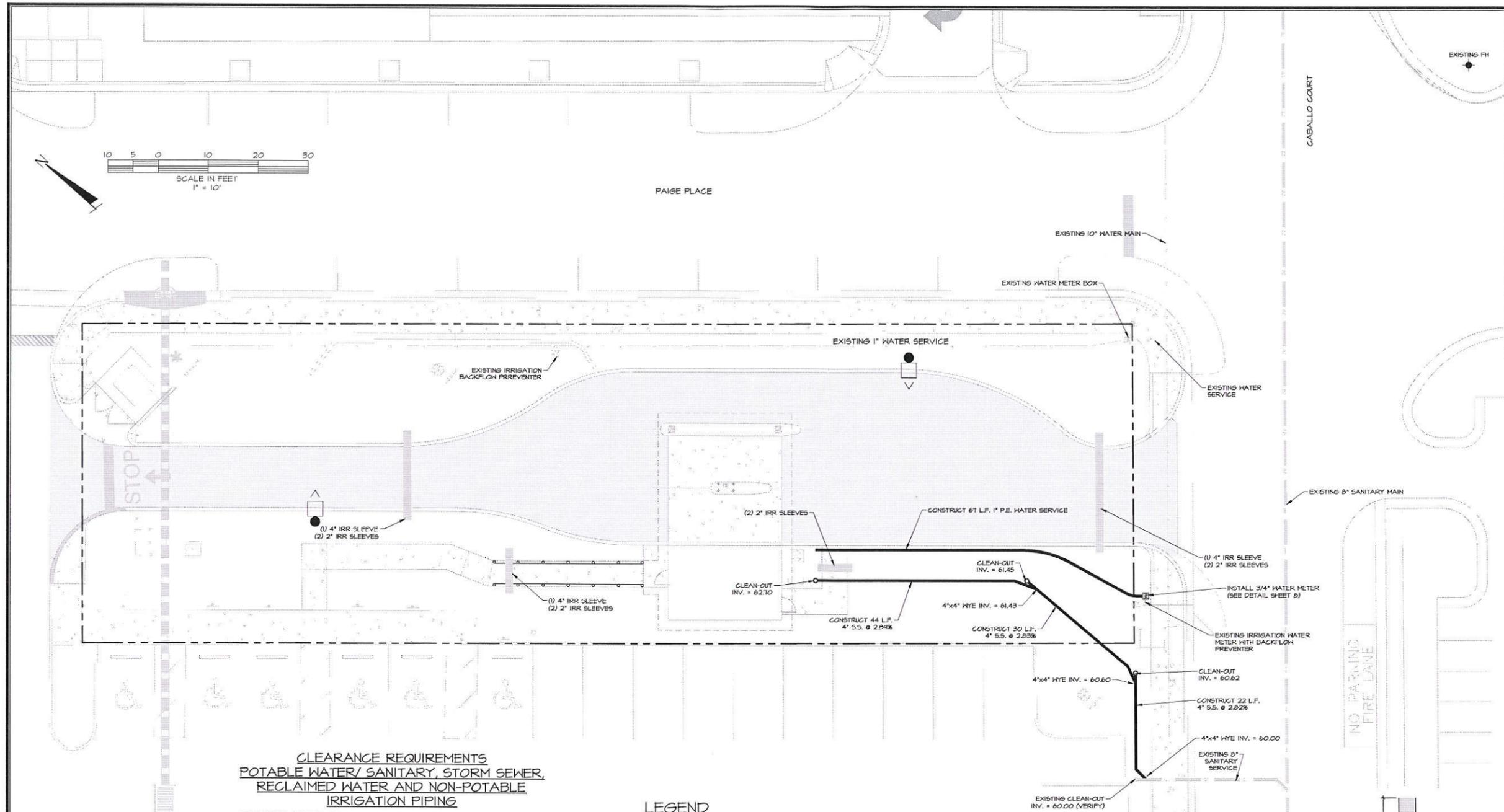
DATE	BY	REVISIONS

FARNER & BABLEY AND ASSOCIATES, INC.
ENGINEERS SURVEYORS & PLANNERS
Certificate of Authorization Number: 4709
4450 N.E. 85th Road • Wilkeco, Florida 34785 • (352) 744-3126

The Villages
CITIZENS FIRST BANK DRIVE THRU
SPANISH SPRINGS TOWN CENTER
GRADING & DRAINAGE PLAN

DATE 8/21/14
DRAWN BY BRP
CHKD BY JAH
FILE NAME: 20140821_06 CFB DRIVE THRU GRD-DRN.dwg
JOB NO. 4211413223





**CLEARANCE REQUIREMENTS
POTABLE WATER/ SANITARY, STORM SEWER,
RECLAIMED WATER AND NON-POTABLE
IRRIGATION PIPING**

THE MINIMUM VERTICAL AND HORIZONTAL SEPARATION BETWEEN POTABLE WATER AND SANITARY SEWER MAINS TO COMPLY WITH RULES 62-604.400(2)(g) - (i), F.A.C. AND 62-604.400 (3), F.A.C. ARE AS NOTED BELOW.

1. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM-WATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.

2. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

LEGEND

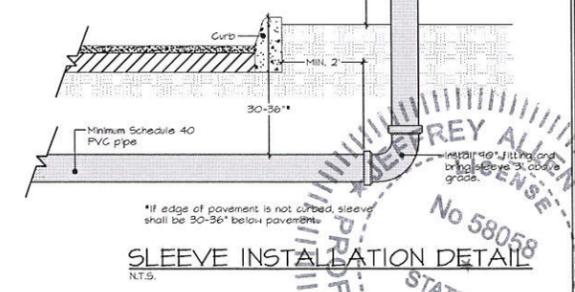
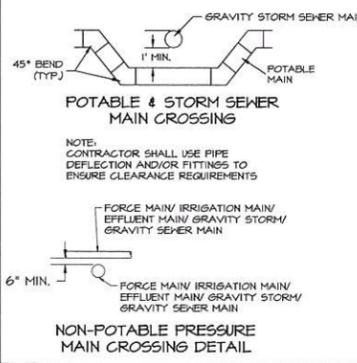
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- EXISTING SANITARY SEWER
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT

NOTE:
IT IS THE RESPONSIBILITY OF THE SITE CONTRACTOR TO CONSTRUCT ALL WATER SERVICES, WATER AND FIRE MAINS, AND SANITARY SEWER TRUNKS AND LATERAL SERVICES AS SHOWN ON THESE PLANS TO WITHIN 5 FT OF THE EXTERIOR WALL OF THE BUILDING STRUCTURES AS SHOWN ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE SITE CONTRACTOR TO CONNECT PROPOSED FIRE MAINS AND WATER MAINS TO BACK FLOW PREVENTER LOCATED INSIDE THE PROPOSED BUILDING. THE SITE CONTRACTOR WILL COORDINATE WITH ARCHITECT AND CIVIL ENGINEER TO VERIFY LOCATION AND SIZE OF BUILDING CONNECTIONS OF PROPOSED WATER, FIRE AND SANITARY SERVICES.

KEY

● DUKE ENERGY SINGLE SHOEBOX TRU425NH3FU0024 TRIBUTE BY LUMARK, TYPE III FORMED DISTRIBUTION, 400N HPS, 30" MOUNTING HEIGHT, ROUND, BRONZE, TAPERED CONCRETE POLE BY AMERON, MODEL MER-1/BZ3.

ALL LIGHT FIXTURES/POLES AVAILABLE THROUGH DUKE ENERGY, AND ARE TO MATCH PREVIOUS VILLAGE INSTALLATIONS



REVISIONS

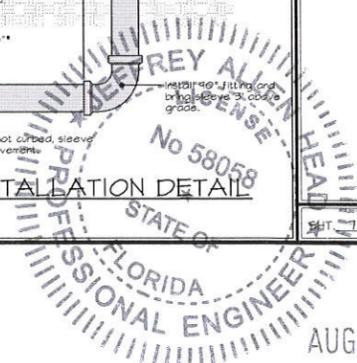
NO.	DATE	BY

FARNER & BARLEY ASSOCIATES, INC.
ENGINEERS SURVEYORS & PLANNERS
Certificate of Authorization Number: 4709
4450 N.E. 83rd Road • Wixom, Florida 34785 • (352) 748-1126

The Villages
VILLAGES OF LAKE
CITIZENS FIRST BANK DRIVE THRU
SPANISH SPRINGS TOWN CENTER

UTILITY PLAN

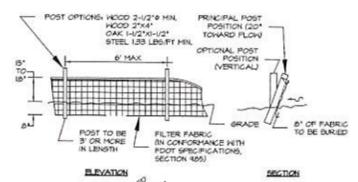
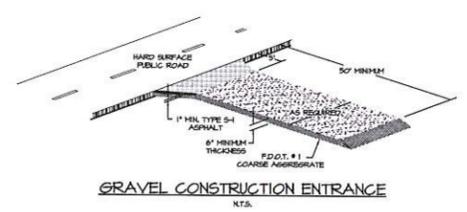
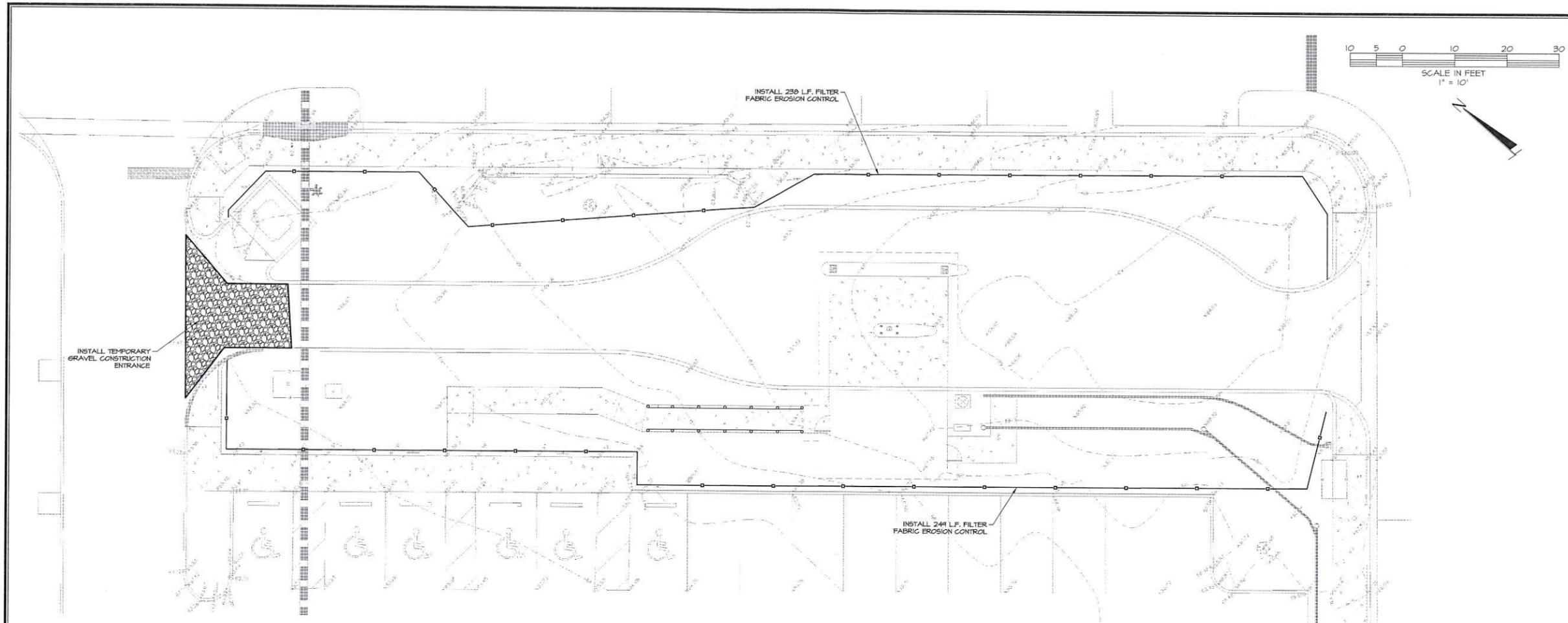
DATE: 8/22/14
DRAWN BY: BRP
CHKD BY: JAH
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JOB NO.: 14113225



17 OF 19

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FLORIDA DOT TYPE III SILT FENCE AND EROSION CONTROL

NOTES:

1. THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.
2. TEMPORARY EROSION CONTROL TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY THE ENGINEER OR AREAS ON SITE WHERE INSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL MAY BE REMOVED AFTER UPLOPPE AREA HAS BEEN STABILIZED BY SO2, OR COMPACTED AS DETERMINED BY THE OWNER.
3. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
4. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENCY IN LIEU OF PERMANENT MEASURES.
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
6. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
7. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
8. MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RAINOFF OR HIGH WATER.
9. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDDED.
10. SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE (L.F.).
11. SILT FENCE TO REMAIN IN PLACE UNTIL FINISH GRADING FOR THE LANDSCAPING IS UNDER WAY.
12. PROTECT ALL CURB INLETS & GRATE INLETS AS SHOWN IN DETAILS SD-26 & SD-27 OF THE VILLAGES CONSTRUCTION & DEVELOPMENT MANUAL, LATEST EDITION.

NOTE:
THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE, IN THE OPINION OF THE ENGINEER, THE MINIMUM THAT MAY BE REQUIRED. ACTUAL FIELD CONDITIONS MAY REQUIRE EITHER ADDITIONAL OR REDUCED EROSION CONTROL MEASURES TO BE IMPLEMENTED. THE CONTRACTOR IS DIRECTED TO FOLLOW STANDARD BEST MANAGEMENT PRACTICES IN IMPLEMENTING A SUCCESSFUL EROSION CONTROL PLAN.

BY	
DATE	
REVISIONS	

FARNER BABLEY ASSOCIATES, INC.
ENGINEERS SURVEYORS PLANNERS
Certification Number: 4709
4450 N.E. 85th Road • Miramar, Florida 33186 • (305) 748-3726

The Villages
VILLAGES OF LAKE
CITIZENS FIRST BANK DRIVE THRU
SPANISH SPRINGS TOWN CENTER
EROSION CONTROL PLAN

DATE 7/16/14
DRAWN BY BRP
CHKD BY JAH
FILE NAME 021014.0223
JOB NO. 421014.0223

JEFFREY ALLEN
REGISTERED PROFESSIONAL ENGINEER
STATE OF FLORIDA
No. 58058
MARTIN L. DZURO
VICE PRESIDENT
THE VILLAGES OPERATING COMPANY