

SPECIAL MEETING OF THE LADY LAKE TOWN COMMISSION

DATE: Tuesday, August 19, 2014
TIME: 3:00 p.m.
PLACE: 409 Fennell Blvd.
Town Hall Commission Chambers

ALL INTERESTED PERSONS ARE CORDIALLY INVITED TO ATTEND THIS PUBLIC MEETING

AGENDA

1. Call to Order: Mayor Ruth Kussard
2. Roll Call
3. Public Comment
4. Conceptual Presentation of Titan Assisted Living Facility & Memory Care Center Major Site Plan – MJSP 06/14-001 – A Development Consisting of a Three-Story Building Proposing 50 Units of Assisted Living Facility and 36 Units of Memory Care Center Totaling 33,100 Sq. Ft. – Located at 930 Alvarez Avenue (Thad Carroll)
5. Presentation and Discussion of Wastewater & Reuse Master Plan Study (C.T. Eagle/Jason Shepler of Mittauer & Associates)
6. Adjourn

This public hearing is being conducted in a handicapped accessible location. Any handicapped person requiring an interpreter for the hearing impaired or the visually impaired should contact the Clerk's Office at least five (5) calendar days prior to the meeting and an interpreter will be provided. To access a Telecommunication Device for Deaf Persons (TDD), please call (352) 751-1565. Any handicapped person requiring special accommodation at this meeting should contact the Clerk's Office at least five (5) calendar days prior to the meeting.

Advice to the Public: If a person decides to appeal a decision made with respect to any matter considered at the above meeting or hearing, he may need a verbatim record of the proceedings including the testimony and evidence which record is not proved by the Town of Lady Lake. (F.S. 286-0105)

Please be advised that one or more members of any other Town Board or Committee may be in attendance of this meeting.



SPECIAL TOWN COMMISSION CONCEPTUAL WORKSHOP AGENDA ITEM

REQUESTED SPECIAL COMMITTEE MEETING DATE: August 19, 2014

SUBJECT: Conceptual Presentation of Titan Assisted Living Facility & Memory Care Center Major Site Plan – MJSP 06/14-001 – A Development Consisting of a Three-Story Building Proposing 50 Units of Assisted Living Facility and 36 Units of Memory Care Center Totaling 33,100 Sq. Ft. – Located at 930 Alvarez Avenue

DEPARTMENT: Growth Management

STAFF RECOMMENDED MOTION:

Staff recommends advancing the site plan with the proposed waivers, as it has been designed to the best practicable extent to meet site specifications as required per Town of Lady Lake Land Development Regulations and the provisions of the Village Downtown Center Memorandum of Agreement.

Applicant Kevin Bessolo with Bessolo Design Group, on behalf of property owner, Villages Operating Company, has submitted a site plan for the construction of a 3-story building proposing 50 units of Assisted Living Facility and 36 units of Memory Care Center totaling approximately 33,100 square feet. The site plan was reviewed to determine if it is in compliance with the Land Development Regulations (LDRs) including parking, setbacks, landscaping, engineering, environmental protection and commercial design standards.

The subject property is approximately 2.33 +/- acres and is located within The Villages Center Planned Commercial Master Plan, also referenced as Spanish Springs. The property is zoned "CP" Planned Commercial which permits development and construction of the proposed facility and is in accordance with the Memorandum of Agreement adopted by the Village Center and the Tri-County Villages Development of Regional Impact (DRI). The requested use is consistent with the directives of the Comprehensive Plan and adopted Land Development Regulations.

The applicant indicated that the site is considered infill development to be constructed within the existing commercial area identified as La Plaza Grande/Village Center. A previous traffic analyses for this area was conducted and based on the trip generation of 7,550 square feet commercial area, no increase in traffic impacts during the p.m. peak hours will occur. The 86-bed ALF is estimated to generated 28 trips during the p./m. peak hours, or 0.29 trips per occupied bed. For daily conditions, the ALF is estimated to generate 284 trips per day (please see analysis enclosed based on a 94-bed facility).

Commercial Design Standard

Attached are the site plan and façade elevations for the Titan Assisted Living Facility & Memory Care Center:

Chapter 20- Section 20-3C.)9).F)., which requires that no more than three (3) different colors or color shades should be typically used in a single building.

- The applicant is proposing about four (4) or more colors for the exterior building elevations.

Tree Requirements:

In accordance with Chapter 10-Landscape and Tree Protection, the site is required to provide 373 tree caliper inches based on its 2.33-acre area (160"x 2.33). Please see the landscaping tree proposal breakdown:

Existing Trees to remain	290 tree caliper inches
Proposed Trees for the site	<u>405</u> tree caliper inches
Total tree caliper inches	695 tree caliper inches

The applicant is providing almost twice the required on-site tree caliper inches.

The following five (5) waivers to the Landscaping Regulations have been proposed by the applicant (please see Justification Statement enclosed):

I) Waiver to LDRs-Chapter 10, Section 10-3, b).B).I) for South Landscaping Buffer

Minimum landscaping requirement (Buffer Class Requirement-Table 10-1): Class "A": 10' Min w/2 canopy trees, 3 understory trees and a continuous hedge.

Proposal: To waive three (3) understory trees.

Justification: Space limitation and constraints unique to the subject parcel that cannot be accommodated on site.

II) Waiver to LDRs-Chapter 10, Section 10-3, b).B).I) for East Landscaping Buffer

Minimum landscaping requirement (Buffer Class Requirement-Table 10-1): Class "A": 10' Min w/2 canopy trees, 3 understory trees and a continuous hedge.

Proposal: To waive three (3) canopy trees and seven (7) understory trees.

Justification: Space limitation and constraints unique to the subject parcel that cannot be accommodated on site.

III) Waiver to LDRs-Chapter 10, Section 10-3, b).B).I) for West Landscaping Buffer

Minimum landscaping requirement (Buffer Class Requirement-Table 10-1): Class "A": 10' Min w/2 canopy trees, 3 understory trees and a continuous hedge

Other – Site Plan

Support Documents/Contracts Available for Review in Manager's Office

DEPARTMENT HEAD *[Signature]* Submitted *8/11/14* Date _____
FINANCE DEPARTMENT Approved as to Budget Requirements Date _____
TOWN ATTORNEY Approved as to Form and Legality Date _____
TOWN MANAGER *[Signature]* Approved Agenda Item for: *8/11/14* Date *8/11/14*

COMMISSION ACTION:

Approved as Recommended

Disapproved

Tabled Indefinitely

Continued to Date Certain

Approved with Modification

(128)
08-11-14

**TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW**



1. Applicant's Name: Bessolo Design Group, Inc., Kevin J. Bessolo, AIA, President
Telephone/Email: 727-894-4453 kbessolo@bessolo.com
Applicant is: Owner Developer Lessee Agent Optionee
2. Owner's Name: The Villages Operating Company, Martin L. Dzuro, V.P.
Address: 1045 Lake Sumter Landing, The Villages, FL 32162
Telephone/Email: 352-753-6260 marty.dzuro@thevillages.com
3. Engineer's Name: Farner Barley & Associates, Inc., Jeffrey A. Head, P.E.
Address: 4450 NE 83rd Road, Wildwood, FL 34785
Telephone/Email: 352-748-3126 jhead@farnerbarley.com
Reg. Number: #58058
4. Architect's Name: Bessolo Design Group, Inc. Kevin J. Bessolo, AIA
Address: 556 Central Avenue, St. Petersburg, FL 33701
Telephone/Email: 727-894-4453 kbessolo@bessolo.com
Registration Number: #AA-C002117
5. Landscape Architect: Michael Pape & Associates, Inc.
Address: 2351 SE 17th Street, Ocala, FL 34471
Telephone/Email: 352-351-3500 mail@mpala.net
Registration Number: _____
6. Project Name: Titan Assisted Living Facility & Memory Care Center
Physical Location/Address: 930 Alvarez Avenue, The Villages, FL 32159
11. The property is located in the vicinity of the following streets:
NE corner of Alvarez Avenue & Avenida Central

TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW

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8. Area of property 101,471 Square Feet 2.33 Acres

9. The exact legal description of the property as shown on the Tax Receipt or the Warranty Deed, or attach a separate sheet to the application form:

see site plans for legal description

10. The property is currently zoned: CP Planned Commercial

11. Briefly describe the proposed project: Senior Living Facility with parking

If for storage, what type of material will be stored? _____

12. Have any development reviews and/or approvals been granted to this property?
Yes ___ No X If yes, list the type, date and result:

13. Has any Variance been granted concerning this property? Yes ___ No X
If yes, list the Case Number and briefly describe the nature of the Variance.

14. The plans shall be drawn on 24" x 36" sheets as a minimum, at the largest scale feasible. The plans or any portion thereof involving engineering, shall be certified by a professional engineer or landscape architect as required by SJRWMD. The following information must be included on the site plan:

General Information

X a. Name of project.

X b. General statement of intended use of site.

X c. Legal description of the property and size of parcel in acres or square feet.

X d. Name and address of owner.

TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW

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- X e. Name, address and phone number of owner's agent.
- X f. Name, address, signature and registration of the professionals preparing the plans.
- X g. Date, north arrow and scale shall be designated and where appropriate, the same scale shall be used on all sheets.
- X h. Vicinity map showing relationship of proposed development to the surrounding streets and thoroughfares, shall be at a scale no smaller than one inch equals five thousand two hundred eighty feet (1" = 5,280' or 1" = Mile).
- X i. Linear dimensions of the site.
- X j. Existing topography with a maximum of one (1) foot contour intervals for the proposed site.
- X k. Finished grading elevations.
- X l. Zoning of the site and of all adjacent parcels.
- X m. All existing and proposed building restriction lines (i.e., highway setback lines, easements, covenants, rights-of-way and building setback lines).
- X n. Percent of open space of site.
- X o. Location of proposed signs.

Building and Structure

- X a. Existing and proposed structures.
- X b. Intended use.
- X c. Number of stories.
- X d. Height of building(s).
- X e. Number of dwelling units and density.
- X f. Projected number of employees, if applicable.
- N/A g. If restaurant, show number of seats and occupancy load.

TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW

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- X h. Square footage for proposed development, i.e., gross square footage, nonstorage area, square footage of each story, gross square footage of sales area, etc.
- N/A i. Photograph or sketch of proposed sign with dimensions and material type.

Street, Sidewalks, Driveways, Parking Areas and Loading Spaces

- X a. Engineering plans and specifications for streets, alleys, sidewalks and driveways to include soil borings, if necessary.
- X b. All parking spaces delineated.
- X c. Number of parking spaces.
- X d. Number and location of handicapped spaces.
- X e. Number of square feet of paved parking and driveway area.
- X f. Surface materials and cross-section of proposed paved areas.
- X g. Fire lanes per the Standard Fire Prevention Code adopted in the Building and Fire Codes chapter.
- X h. Description/location of proposed driveway(s) and median cut(s).
- X i. Internal traffic control circulation plan, including directional arrows and signs to direct traffic flow, as necessary.
- X j. Location of traffic-control signs and signalization devices, if required.
- X k. Number and location of required loading spaces.
- X l. Number and location of required bicycle spaces.

Drainage and Stormwater

- X a. Soil classifications, cross-sections and details of proposed retention/detention ponds, swales, berms, etc., as required by SJRWMD.
- X b. Size, material and location of stormwater structures and pipes.

**TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW**

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- X c. Indicate flood elevation for 100-year flood and any other information required in Environmental Regulations chapter.

Proposed Water, Sewer and Solid Waste Facilities

- X a. Size, material, specifications and location of water mains, valves, services and fire hydrants.
- X b. Size, material, specifications and location of sanitary sewer lines and laterals with submittal of a profile, if necessary.
- X c. Size and location of septic tank and drainfield, if applicable.
- X d. Grease separation system, if applicable: Size, location and materials.
- X e. Location(s) and access provisions for refuse service, including pad, screening, fencing and landscaping, if applicable.

Landscaping

- X a. Landscaping plan and provisions for maintenance including size, type and location of all landscaping, screens, walls, fences and buffers per the requirements in the Landscaping and Tree Protection chapter. If water efficient landscaping is used, the information required in that chapter should be included.
- X b. Irrigation system plan.

Environmental Protection

- N/A a. Natural features such as waterbodies, wetlands, native vegetative communities, etc., as required in the Environmental Regulations chapter.
- N/A b. Conservation easements per the requirements.
- X c. Provisions for the adequate control of erosion and sediment, including the location and description of the methods to be utilized during and after all phases of clearing, grading and construction.

ADDITIONAL INFORMATION TO BE PROVIDED

- N/A a. Summary report of all concurrency data needed as noted in Chapter 4 of the Lady Lake Land Development Regulations.

OWNER'S AFFIDAVIT

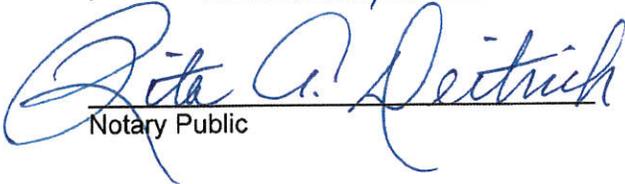
**STATE OF FLORIDA
COUNTY OF LAKE**

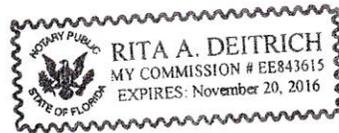
Before me, the undersigned authority, personally appeared Martin L. Dzuro, who being by me first duly sworn on oath, deposes and says:

- (1) That he/she is the fee-simple owner of the property legally described on page one of this application.
- (2) That he/she desires approval for:
Titan Assisted Living Facility & Memory Care Center
- (3) That he/she has appointed Jeffrey A. Head, P.E. to act as agent in his/her behalf to accomplish the above. The Owner is required to complete the APPLICANT'S AFFIDAVIT of this application if no agent is appointed to act in his/her stead.


Affiant (Owner's Signature)

The foregoing instrument was acknowledged before me this 29th day of May, 20 14, by Martin L. Dzuro, who is personally known to me or who has produced N/A as identification and who did (did not) take an oath.


Notary Public



NOTE

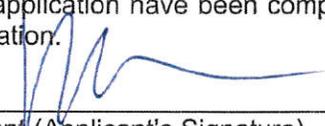
All applications shall be signed by the owner of the property, or some person duly authorized by the owner to sign. This authority authorizing a person other than the owner to sign must be attached.

APPLICANT'S AFFIDAVIT

**STATE OF FLORIDA
COUNTY OF LAKE**

Before me, the undersigned authority, personally appeared Kevin J. Bessolo, who being by me first duly sworn on oath, deposes and says:

- (1) That he/she affirms and certifies that he/she understands and will comply with all ordinances, regulations, and provisions of the Town of Lady Lake, Florida, and that all statements and diagrams submitted herewith are true and accurate to the best of his/her knowledge and belief, and further, that this application and attachments shall become part of the Official Records of the Town of Lady Lake, Florida, and are not returnable.
- (2) That he desires approval for:
Titan Assisted Living Facility & Memory Care Center
- (3) That the submittal requirements for the application have been completed and attached hereto as part of this application.



Affiant (Applicant's Signature)

The foregoing instrument was acknowledged before me this 30th day of May, 2014, by Kevin J. Bessolo, who is personally known to me or who has produced _____ as identification and who did (did not) take an oath.

Debra J. Curry

Notary Public



DEBRA J. CURRY
NOTARY PUBLIC
STATE OF FLORIDA
Comm# EE803568
Expires 6/3/2017

EXHIBIT E



Kimley-Horn
and Associates, Inc.

October 25, 2013

■
2615 Centennial Blvd.
Suite 102
Tallahassee, Florida
32308

Mr. Martin L. Dzuro, P.S.M.
Grant & Dzuro
990 Old Mill Run
The Villages, Florida 32162

Re: **Tri-County Villages (Lake) DRI**
Section 380.06 (19)(e)2.k., F.S. Change
The Villages, FL

Dear Marty:

The Villages is proposing the construction of an Assisted Living Facility (ALF) in the Spanish Springs/Town Center area. The ALF is to contain 94 beds. This letter summarizes the associated traffic impacts of this land use change to convert a portion of the approved commercial retail uses in the Tri-County Villages DRI to this ALF. The proposed reduction in commercial area is being made so that there is no increase in traffic impacts from the change.

The proposed ALF will be located north of Avenida Central and east of Alvarez Avenue. This site is adjacent to the existing commercial area identified in previous traffic analyses as La Plaza Grande/Village Center which is part of the overall Town Center Commercial on Map H. Using the 9th Edition of ITE's *Trip Generation Manual* and applying the effective trip generation rate for this commercial area, **7,550 square feet of commercial will need to be reduced** so that there is no increase in traffic impacts during the p.m. peak hour. The 94-bed ALF is estimated to generate 28 trips during the p.m. peak hour, or 0.29 trips per occupied bed according to the *Trip Generation Manual*. For daily conditions, the ALF is estimated to generate 284 trips per day, but only 6,950 square feet would need to be reduced to have a trip-neutral change. Therefore, the peak hour is considered to be the controlling time period in this case. The calculations are shown on the attached page.

If you have any questions or need additional information, please feel free to contact me.

■
TEL 850 553 3600



Kimley-Horn
and Associates, Inc.

Mr. Martin L. Dzuro, P.S.M., October 25, 2013, Page 2

Very truly yours,

KIMLEY-HORN AND ASSOCIATES, INC.

Richard R. Barr

Richard R. Barr
Senior Vice President

Copy: Darrin Taylor, Carlton Fields
Jonathan Thigpen

Attachment

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Tri-County Villages (Lake) DRI Land Use Change – Calculation Worksheet

Daily Trip Generation Analysis

Proposed Assisted Living Facility (ALF) Use – 94 beds

From *ITE Trip Generation Manual, 9th Ed.* Land Use 254 – Assisted Living

$$T = 1.61(94) + 132.6$$

$$T = 284 \text{ trips/day}$$

Total commercial area (La Plaza Grande/Village Center area) equals 425,927 SF

From *ITE Trip Generation Manual, 9th Ed.* Land Use 820 – Shopping Center

$$\ln(T) = 0.65\ln(425.927) + 5.83$$

$$T = 17,418 \text{ trips/day}$$

Effective trip generation rate = 17,418 trips / 425.927 KSF = 40.89 trips/KSF

To determine commercial area reduction:

$$284 \text{ trips (Assisted Living)} / 40.89 \text{ trips/KSF (Shopping Center)} = \underline{6,950 \text{ SF}}$$

PM Peak Hour Trip Generation Analysis

Proposed Assisted Living Facility (ALF) Use – 94 beds

From *ITE Trip Generation Manual, 9th Ed.* Land Use 254 – Assisted Living

$$T = 0.29(94)$$

$$T = 28 \text{ trips/hour}$$

Total commercial area (La Plaza Grande/Village Center area) equals 425,927 SF

From *ITE Trip Generation Manual, 9th Ed.* Land Use 820 – Shopping Center

$$\ln(T) = 0.67\ln(425.927) + 3.31$$

$$T = 1,582 \text{ trips/hour}$$

Effective trip generation rate = 1,582 trips / 425.927 KSF = 3.71 trips/KSF

To determine commercial area reduction:

$$28 \text{ trips (Assisted Living)} / 3.71 \text{ trips/KSF (Shopping Center)} = \underline{7,550 \text{ SF}}$$



SUBJECT: Titan Assisted Living Facility & Memory Care Center- MJSP 06/14-001

DATE: July 2, 2014

	General Requirements	Meets Criteria	Outstanding Issues
A)	Name of project.	X	
B)	General statement of intended use of site.	X	
C)	Legal description of the property and size of parcel in acres or square feet.	X	
D)	Name and address of owner.	X	
E)	Name, address and phone number of owner's agent.	N/A	
F)	Name, address, signature and registration of the professionals preparing the plans.	X	
G)	Date, north arrow and scale shall be designated and where appropriate, the same scale shall be used on all sheets.	X	
H)	Vicinity map showing relationship of proposed development to the surrounding streets and thoroughfares, shall be at a scale no smaller than one inch equals five thousand two hundred eighty feet (1" = 5,280' or 1" = Mile).	X	
I)	Linear dimensions of the site.	X	
J)	Existing topography with a maximum of one (1) foot contour intervals for the proposed site.	X	
K)	Finished grading elevations.	X	
L)	Zoning of the site and of all adjacent parcels.	X	
M)	All existing and proposed building restriction lines (i.e., highway setback lines, easements, covenants, rights-of-way and building setback lines).	X	
N)	Percent of open space of site.	X	
O)	Location of proposed signs and sign details	X	
	Building and Structure Requirements	Meets Criteria	Outstanding Issues
A)	Existing and proposed structures.	X	
B)	Intended use.	X	
C)	Number of stories.	X	
D)	Height of building(s).		X

E)	Number of dwelling units and density.	X	
F)	Projected number of employees, if applicable.- Please see comment 2 regarding Sheet C-04.		1
G)	If restaurant, show number of seats and occupancy load.	N/A	
H)	Square footage for proposed development, i.e., gross square footage, non-storage area, square footage of each story, gross square footage of sales area, etc.	X	
I)	Photograph or sketch of proposed sign with dimensions and material type. See comment 10 regarding Sheet C-04.		1
J)	Compliance with Commercial Design Standards (Chapter 20).	X	
	Street, Sidewalks, Driveways, Parking Areas and Loading Spaces	Meets Criteria	Outstanding Issues
A)	Engineering plans and specifications for streets, alleys, sidewalks and driveways to include soil borings, if necessary.	1	
B)	All parking spaces delineated including bicycle.	X	
C)	Number of parking spaces.	X	
D)	Number and location of handicapped spaces.	X	
E)	Number of square feet of paved parking and driveway area.	1	
F)	Surface materials and cross-section of proposed paved areas.	1	
G)	Fire lanes per the Standard Fire Prevention Code adopted in the Building and Fire Codes chapter.	1	
H)	Description/location of proposed driveway(s) and median cut(s).	1	
I)	Internal traffic control circulation plan, including directional arrows and signs to direct traffic flow, as necessary (Please see comments under Traffic/Transportation by Town Engineer)		1
J)	Location of traffic-control signs and signalization devices, if required (Please see comments under Traffic/Transportation from Town Engineer).		1
K)	Number and location of Loading Zones. Show the truck turning template for delivery and garbage trucks/		1
L)	Site Lighting (See comments by Town Engineer on Review 2)		1
	Drainage and Storm water	Meets Criteria	Outstanding Issues
A)	Soil classifications, cross-sections and details of proposed retention/detention ponds, swales, berms, etc., as required by SJRWMD (Please see Comment 28 for Sheet E-1).		1
B)	Size, material and location of storm water structures and pipes (See comments under Stormwater Drainage by Town Engineer).		1

C)	Indicate flood elevation for 100-year flood and any other information required in Environmental Regulations chapter.		1
D)	Drainage		
	Proposed Water, Sewer, and Solid Waste Facilities	Meets Criteria	Outstanding Issues
A)	Size, material, specifications and location of water mains, valves, services and fire hydrants.	1	
B)	Size, material, specifications and location of sanitary sewer lines and laterals with submittal of a profile, if necessary. (Please see comments 20, 21,22, 24, 25 by Town Engineer)		1
C)	Size and location of septic tank and drainfield, if applicable.	N/A	
D)	Grease separation system, if applicable: Size, location and materials.	1	
E)	Location(s) and access provisions for refuse service, including pad, screening, fencing and landscaping, if applicable.	1	
	Landscaping (Chapter 10)	Meets Criteria	Outstanding Issues
A)	Landscaping plan and provisions for maintenance including size, type and location of all landscaping, screens, walls, fences and buffers per the requirements in the Landscaping and Tree Protection chapter. If water efficient landscaping is used, the information required in that chapter should be included. (outstanding comments have been provided)		X
B)	Irrigation system plan.	X	
	Environmental Protection	Meets Criteria	Outstanding Issues
A)	Natural features such as water bodies, wetlands, native vegetative communities, etc., as required in the Environmental Regulations chapter.	X	
B)	Conservation easements per the requirements.	X	
C)	Provisions for the adequate control of erosion and sediment, including the location and description of the methods to be utilized during and after all phases of clearing, grading and construction. (Please see outstanding comments under Erosion Control by Town Engineer)		1
	Additional Information	Meets Criteria	Outstanding Issues
1)	A certificate of concurrency or evidence of application for a certificate.	X	
2)	Drainage calculations as required in the Storm water Management chapter.	1	
3)	Fire flow calculations, if applicable.	1	
4)	Lift station calculations, where required.	N/A	

6)	A construction cost estimate prepared by the engineer of record, which shall delineate any proposed improvements to be maintained by the Town.	N/A	
7)	Environmental assessment per the requirements, if applicable.	1	
8)	Any additional data, maps, plans or statements, as may be required, which is commensurate with the intent and purpose of the Code.	X	

- **General Comments:**

- Please provide delineation of required 12'x25' Loading Zoning.
- Please provide St. John's River Water Management District Permit and/or exemption.
- Please provide Florida Department of Environmental Protection Water Main Extensions permit and/or exemption.
- Please provide Florida Department of Environmental Protection Wastewater Collection/ Transmission System and/or exemption.

- **Landscape & Tree Protection – Please provide the required**

- The **South** elevation has approximately 419.36 lineal feet, which requires thirteen (13) understory trees.

- Ten (10) understory trees were provided for this elevation.

Is the intention of the applicant to provide the additional understory trees or request a waiver for the remainder?

- The **East** elevation has approximately 703.64 lineal feet, which requires fourteen (14) canopy trees and twenty-one (21) understory trees.

- Nine (9) canopy trees were provided and an additional two (2) adjacent canopy trees can be counted for this elevation due to the proximity for a total of eleven (11) canopy trees.
 - Fourteen (14) understory trees were provided for this elevation.

Is the intention of the applicant to provide the additional canopy and understory trees or request a waiver for the remainder?

- The **West** elevation has approximately 383.62 lineal feet, which requires twelve (12) understory trees.

- Six (6) understory trees were provided for this elevation.

Is the intention of the applicant to provide the additional understory trees or request a waiver for the remainder?

- As per **Chapter 10, Section 10-3).c).1).**, the maximum number of interrupted parking spaces shall be ten (10).

Please establish whether landscaping island will be provided or waiver will be requested.

- As per **Chapter 10, Section 10-3).c).2).**, at the end of all single parking rows the development must provide one (1) acceptable canopy tree or three (3) acceptable understory trees or palms, five (5) acceptable shrubs, and ground cover and/or grass.
- As per **Chapter 10, Section 10-3).c).3).** at the end of all double parking rows the development must provide two (2) acceptable canopy tree or five (5) acceptable understory trees or palms, ten (10) shrubs, and ground cover and/or grass.

- **Commercial Design Standards**

- The applicant proposes the Spanish Mediterranean Architectural Style for the development. Town Staff needs information in the following:

- This single use development is allowed to have one (1) monument sign per frontage on a public street. No sign details were found within the exterior elevation plans.
- Please provide color samples (color name and manufacturer). If any more than three (3) colors are proposed, then a waiver has to be requested.
- Dumpster Enclosures should be consistent in design and color with the proposed architectural style to the best extent possible.
- Please provide Glass Transparency for windows. In accordance to our Code:
 - Glass shall be transparent, without color, except for appropriate stained or art glass. The use of darkly tinted or reflective glass on windows or doors is prohibited. Reflective glass will be defined as having a visible light reflectance rating of fifteen (15) percent or greater and darkly tinted glass windows include glass with a visible light transmittance rating of thirty-five (35) or less. All plans submitted to the Town shall include the glass manufacturer's visible light reflectance and visible light transmittance ratings for evaluation. Glass block is not considered transparent and is not permitted in storefront windows

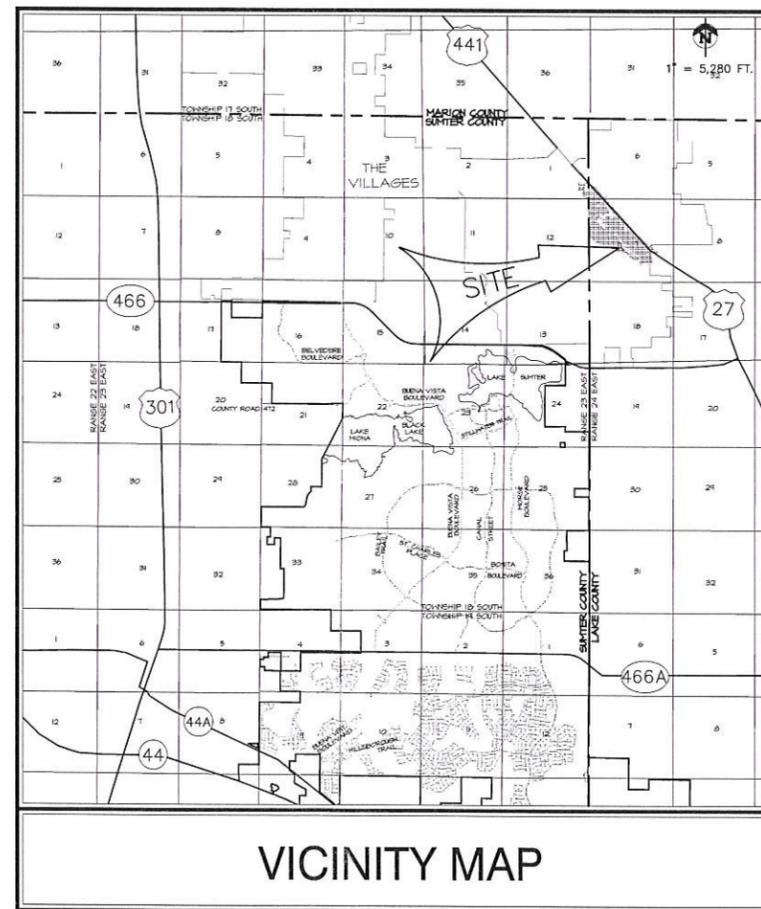
PRELIMINARY / ENGINEERING PLAN OF TITAN ASSISTED LIVING FACILITY & MEMORY CARE CENTER

LEGAL DESCRIPTION

THAT PORTION OF LOT T, THE VILLAGE CENTER, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 33, PAGES 92 THROUGH 97, INCLUSIVE, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

FROM THE MOST SOUTHERLY CORNER OF SAID LOT T; RUN N42°58'53"W, 52.09 FEET ALONG THE NORTHERLY AND NORTHEASTERLY RIGHT-OF-WAY OF AVENIDA CENTRAL AND THE BOUNDARY OF SAID LOT T TO THE POINT OF CURVATURE OF A CURVE CONCAVE SOUTHWESTERLY AND HAVING A RADIUS OF 650.00 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 30°33'06", A DISTANCE OF 346.60 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE WESTERLY ALONG SAID CURVE, RIGHT-OF-WAY AND BOUNDARY THROUGH A CENTRAL ANGLE OF 20°56'54", A DISTANCE OF 237.65 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE NORTHERLY AND HAVING A RADIUS OF 700.00 FEET; THENCE WESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 14°52'23", A DISTANCE OF 181.71 FEET TO THE POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 25.00 FEET; THENCE ALONG THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF ALVEREZ AVENUE AND CONTINUING ALONG THE BOUNDARY OF SAID TRACT T, RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 94°42'59", A DISTANCE OF 41.33 FEET; THENCE N15°06'29"E, 383.62 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE WESTERLY AND HAVING A RADIUS OF 280.50 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 19°50'25", A DISTANCE OF 97.13 FEET TO A POINT ON THE ARC OF A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 166.34 FEET AND A CHORD BEARING AND DISTANCE OF S50°32'50"E, 134.62 FEET TO WHICH A RADIAL LINE BEARS N15°35'03"E; THENCE DEPARTING THE RIGHT-OF-WAY OF ALVEREZ AVENUE AND THE BOUNDARY OF SAID LOT T RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 47°44'14", AN ARC DISTANCE OF 138.59 FEET; THENCE ALONG A NON-TANGENT LINE RUN S61°49'34"W, 18.16 FEET; THENCE S24°02'54"E, 12.23 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE WESTERLY AND HAVING A RADIUS OF 88.34 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 04°38'11", AN ARC DISTANCE OF 7.15 FEET; THENCE ALONG A NON-TANGENT LINE RUN N70°52'09"E, 17.93 FEET; THENCE S39°13'47"E, 40.98 FEET; THENCE S12°11'47"W, 81.81 FEET; THENCE S08°19'13"W, 13.85 FEET; THENCE S00°34'37"E, 15.11 FEET; THENCE S10°22'31"E, 13.62 FEET; THENCE S13°03'54"E, 58.84 FEET; THENCE S17°27'37"E, 44.76 FEET; THENCE S48°06'35"E, 234.43 FEET; THENCE S60°01'04"E, 12.52 FEET; THENCE S39°47'58"W, 11.59 FEET TO THE POINT OF BEGINNING.

CONTAINING 2.33 ACRES, MORE OR LESS.



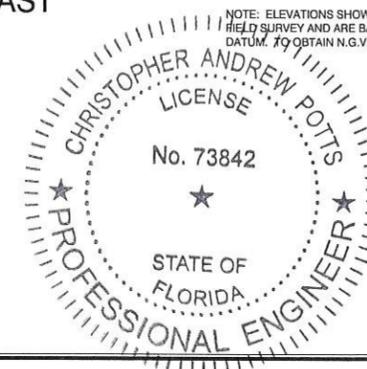
SECTION 7; TOWNSHIP 18 SOUTH; RANGE 24 EAST
LAKE COUNTY, FLORIDA

SHEET INDEX

- C01 COVER SHEET
- C02 AERIAL PHOTOGRAPH
- C03 MASTER DEVELOPMENT PLAN
- C04 SITE PLAN
- C05 GRADING PLAN (1)
- C06 GRADING PLAN (2)
- C07 STORMWATER DRAINAGE PLAN
- C08 UTILITY PLAN
- C09 SLEEVING & LIGHTING PLAN
- C10 PAVEMENT DETAILS
- C11 STORMWATER DRAINAGE DETAILS
- C12 WATER & SANITARY SEWER DETAILS
- C13 DUMPSTER PAD & ENCLOSURE DETAILS
- E-1 EROSION CONTROL PLAN

THIS PLAN HAS BEEN APPROVED BY THE VILLAGES AND NO CHANGES SHALL OCCUR TO THE LAYOUT, DESIGN OR ANY OTHER ASPECT OF THE PLAN, WITHOUT RESUBMITTAL AND SUBSEQUENT APPROVAL OF ANY REQUESTED REVISIONS. UPON COMPLETION OF THE SITE WORK, THE VILLAGES RESERVES THE ABSOLUTE RIGHT TO REVIEW THE FINISHED CONSTRUCTION AND TO DETERMINE WHETHER THE COMPLETED JOB MEETS THE APPROVED SUBMITTAL PLANS AND SPECIFICATIONS. THE PARCEL DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING THE VILLAGES TO SPECIFICALLY REQUEST A FINAL INSPECTION. ANY DEFICIENCIES FOUND BY THE VILLAGES WILL BE IDENTIFIED IN WRITING TO THE PARCEL DEVELOPER, WHO SHALL IMMEDIATELY TAKE ALL CORRECTIVE ACTION NECESSARY TO REMEDY ANY DEFICIENCIES. FINAL APPROVAL FROM THE VILLAGES SHALL BE OBTAINED PRIOR TO SUBMITTAL OF THE FINAL CERTIFICATION OF COMPLETION TO THE TOWN OF LADY LAKE BY THE PROJECT ENGINEER.

NOTE: ELEVATIONS SHOWN WERE OBTAINED BY FIELD SURVEY AND ARE BASED ON THE VILLAGES DATUM. TO OBTAIN N.G.V.D. ADD 3.46 FEET.



OWNER:
VILLAGES OPERATING COMPANY
MARTIN L. DZURO, VICE PRESIDENT
1045 LAKE SUMTER LANDING
THE VILLAGES, FL 32162
PHONE: 352-753-6260

ENGINEER/SURVEYOR:
FARNER, BARLEY AND ASSOCIATES, INC.
4450 N.E. 83RD ROAD
WILDWOOD, FLORIDA 34785
CHRISTOPHER A. POTTS, P.E. #73842
PHONE: 352-748-3126

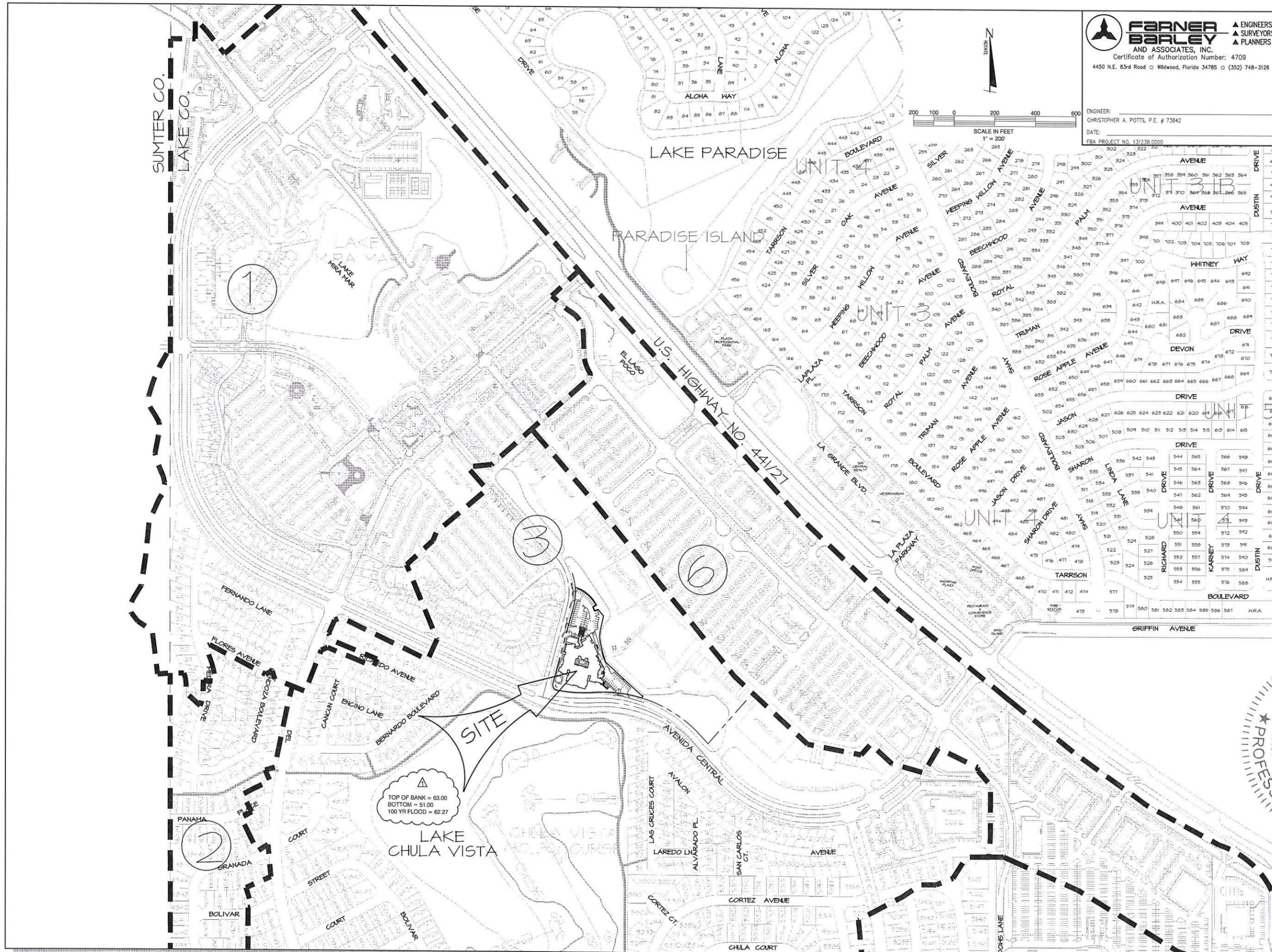
ARCHITECT:
BESSOLO DESIGN GROUP, INC.
556 CENTRAL AVENUE
ST. PETERSBURG, FL 33701
KEVIN J. BESSOLO, #AR12069
PHONE: 727-894-4453

APPLICANT/DEVELOPER:
BESSOLO DESIGN GROUP, INC.
KEVIN J. BESSOLO, AIA, PRESIDENT
556 CENTRAL AVENUE
ST. PETERSBURG, FL 33701
PHONE: 727-894-4453

BESSOLO
DESIGN GROUP, INC.
ARCHITECTURE ■ DEVELOPMENT
License #AA-0002117
556 CENTRAL AVENUE
ST. PETERSBURG, FL 33701
727 894-4453 www.bessolo.com

FARNER BARLEY AND ASSOCIATES, INC.
Certificate of Authorization Number: 4709
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S:\LAKE VILLAGES PROJECTS\TITAN ALF\CIVIL\CONSTRUCTION\03 TITAN ALF MDEV.dwg, 8/8/2014 7:25:53 AM, BRP



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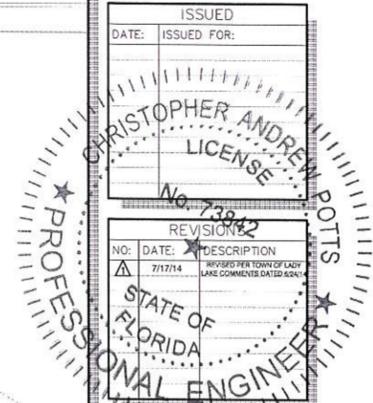
ENGINEER: CHRISTOPHER A. POTTS, P.E. # 73842
 DATE: _____
 FBA PROJECT NO. 131238-000

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 ARCHITECTURE ■ DEVELOPMENT
 License #AA-C002117
 556 CENTRAL AVENUE
 ST. PETERSBURG, FL 33701
 727 894-4453 www.bessolo.com

CLIENT APPROVAL:
 SIGNATURE: _____
 DATE: _____

TITAN ALF & MC CENTER
 AVENIDA CENTRAL & ALVAREZ AVENUE
 THE VILLAGES, FL

ISSUED
 DATE: _____ ISSUED FOR: _____



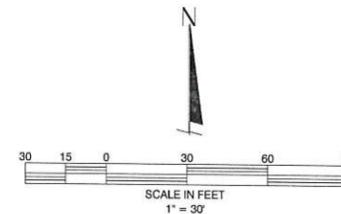
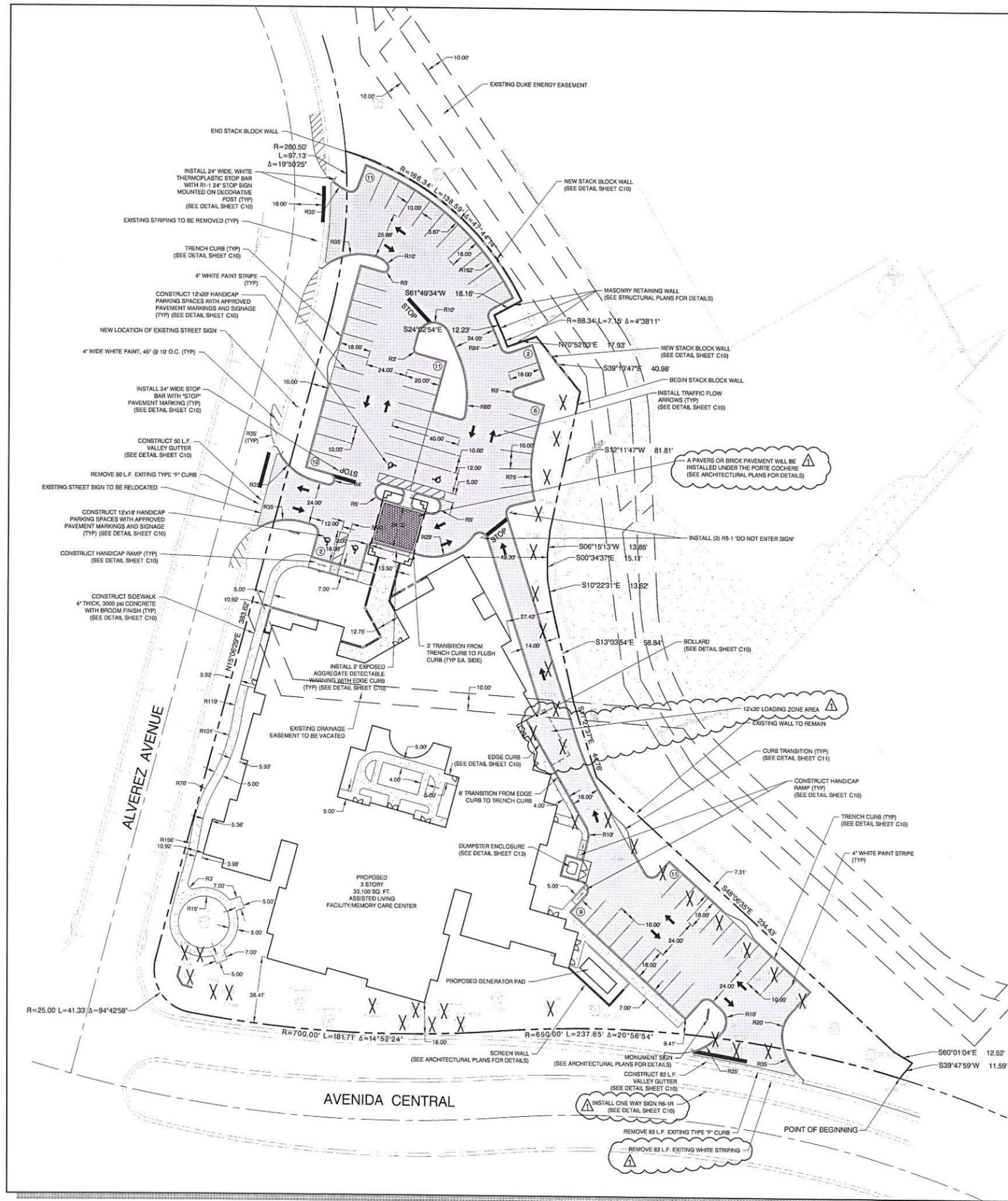
NO.	DATE	DESCRIPTION
1	7/17/14	REVISED PER TOWN OF LAKE WARE COMMENTS DATED 6/24/14

PROJECT NO.: 13016
 DRAWN BY: BRP
 PROJECT MANAGER: _____
 CHECKED BY: EAP
 DATE: 8/27/14
 SCALE: AS NOTED

C03
 MASTER DEVELOPMENT PLAN

AUG 08 2014

S:\LAKEMON-VILLAGES PROJECTS\TITAN ALF\CIVIL\CONSTRUCTION\04 TITAN ALF SITE.dwg, 8/8/2014 7:26:04 AM, BRP



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 4450 N.E. 83rd Road • Wildwood, Florida 34785 • (352) 748-3126

ENGINEER:
 CHRISTOPHER A. POTTS, P.E. # 73842

DATE:
 FBA PROJECT NO. 131238.0000

BESSOLO DESIGN GROUP, INC.
 ARCHITECTURE ■ DEVELOPMENT
 License #A-A-0002117
 555 CENTRAL AVENUE
 ST. PETERSBURG, FL 33701
 727 894-4453 www.bessolo.com

SITE DATA

- TOTAL ACRES = 2.33 AC. (101,471 SQ. FT.)
- ZONING = "C" PLANNED COMMERCIAL
- PROJECT ADDRESS - TO BE ASSIGNED
- BUILDING TYPE:
1 STORY CONCRETE BLOCK, 3 STORY - 86 UNITS
- PARKING DATA:
 REQUIRED PARKING =
 ASSISTED LIVING FACILITY: 0.84 SPACES/UNIT
 50 UNITS = 42 SPACES
 MEMORY CARE FACILITY: 0.60 SPACES/UNIT
 36 UNITS = 22 SPACES
 TOTAL PARKING REQUIRED = 64 SPACES
 PROVIDED PARKING =
 STANDARD PARKING SPACES:
 10' x 18' SPACES = 51
 STANDARD PARKING SPACES:
 10' x 20' SPACES = 9
 HANDICAP PARKING SPACES:
 12' x 18' = 2
 HANDICAP PARKING SPACES:
 12' x 20' = 2
 TOTAL PARKING PROVIDED = 64 SPACES
 HANDICAP PARKING SPACES (REQUIRED): 3 SPACES
- ENGINEER/SURVEYOR - FARNER BARLEY & ASSOCIATES, INC.
 4450 N.E. 83RD ROAD
 WILDWOOD, FLORIDA 34785
 (352) 748-3126
- SOIL TYPE - CANDLER AND FINE SANDS
- PERMITTING AGENCIES -
 TOWN OF LADY LAKE - SURWMD - DEP
- WATER AND SANITARY SEWER PROVIDED BY VILLAGES CENTER COMMUNITY DEVELOPMENT DISTRICT.
- UNDERGROUND ELECTRICAL TRANSMISSION SYSTEM PROVIDED BY DUKE ENERGY.
- SOLID WASTE BY LOCAL FRANCHISE.
- TELEPHONE SERVICE BY CENTURYLINK.
- GAS PROVIDED / SERVICED BY: TECO
- LOCATED IN SECTIONS 7, TOWNSHIP 18 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.
- MONUMENT SIGN SETBACKS PER TOWN OF LADY LAKE LAND DEVELOPMENT REGULATIONS.
- AREAS FOR TOTAL SITE (BASED ON FOOTPRINT, NOT INTERIOR SQ. FOOTAGE)
 PROPOSED BUILDING = 33,100 SQ. FT. (0.76 AC.) 32.61%
 PROPOSED CONCRETE SIDEWALKS = 2,877 SQ. FT. (0.07 AC.) 2.83%
 PROPOSED ASPHALT PARKING/DRIVEWAY = 28,778 SQ. FT. (0.77 AC.) 33.28%
 TOTAL IMPERVIOUS AREA = 64,755 SQ. FT. (1.50 AC.) 68.72%
 OPEN AREA = 31,724 SQ. FT. (0.73 AC.) 31.28%
 PROJECT AREA = 101,471 SQ. FT. (2.33 AC.) 100%

NOTES:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ANY EXISTING UTILITIES IN CONFLICT WITH THIS PROPOSED SITE PLAN, AND TO COORDINATE RELOCATION WITH RESPECTIVE UTILITY PROVIDERS.
- ALL RADI ARE 5' UNLESS INDICATED OTHERWISE.
- ALL DIMENSIONS SHOWN ARE TO EOP UNLESS INDICATED OTHERWISE.
- ALL TRAFFIC CONTROL SIGNS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ALL TRAFFIC FLOW ARROWS, STOP BARS AND TRAFFIC SEPARATION CENTERLINES SHALL BE THERMOPLASTIC.
- SITE LIGHTING TO BE PROVIDED BY POLE MOUNTED LIGHT FIXTURES.
- CONSTRUCT SIDEWALK WIDTHS AS NOTED, 4" THICK, 3,000 PSI CONCRETE WITH BROOM FINISH.

BUILDING SETBACK

- 0 FT FROM AVENIDA CENTRAL AND ALVEREZ AVENUE.

NOTICE TO CONTRACTOR:

- BEFORE DIGGING IT IS THE CONTRACTORS RESPONSIBILITY TO HAVE UNDERGROUND UTILITIES LOCATED FOR PROTECTION, SO AS NOT TO DISTURB ANY UTILITIES REMAINING ON AND OFF SITE.

[Hatched Box] = PROPOSED ASPHALT
 [Dotted Box] = PROPOSED CONCRETE
 [X] = EXISTING TREE TO BE REMOVED
 [Circle with X] = EXISTING TREE TO REMAIN

CLIENT APPROVAL:
 SIGNATURE: _____
 DATE: _____

TITAN ALF & MC CENTER
 AVENIDA CENTRAL & ALVEREZ AVENUE
 THE VILLAGES, FL

ISSUED
 DATE: _____ ISSUED FOR: _____

PROJECT NO. 131238.0000
 DRAWN BY: BRP
 PROJECT MANAGER: CAP
 CHECKED BY: CAP
 DATE: 6/2/14
 SCALE: AS NOTED

C04
 SITE PLAN

AUG 08 2014

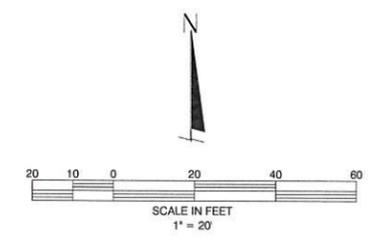
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 ENGINEERS SURVEYORS PLANNERS
 Certificate of Authorization Number: 4709
 4450 N.E. 83rd Road • Wildwood, Florida 34785 • (352) 748-3126

ENGINEER:
 CHRISTOPHER A. POTTS, P.E. # 73842

DATE:
 FBA PROJECT NO. 131238.0000

BESSOLO DESIGN GROUP, INC.
 ARCHITECTURE ■ DEVELOPMENT
 License #AA-0002117
 556 CENTRAL AVENUE
 ST. PETERSBURG, FL 33701
 727 894-4453 www.bessolo.com

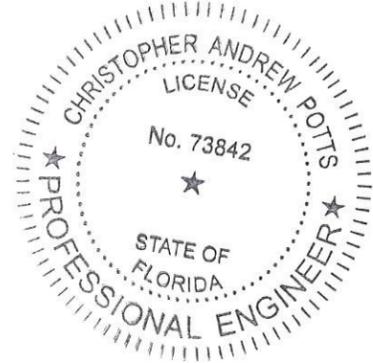


MATCH LINE SEE SHEET C06 FOR CONTINUATION

LEGEND

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED GROUND ELEVATION
- PROPOSED PAVEMENT ELEVATION
- PROPOSED TOP OF CURB/SIDEWALK ELEVATION
- PROPOSED PAVEMENT ELEVATION
- EXISTING ELEVATION
- DIRECTION OF DRAINAGE
- TOW=0.00 = TOP OF WALL ELEV.
- BOW=0.00 = BOTTOM OF WALL ELEV.

- NOTES:**
- ELEVATIONS SHOWN ARE BASED ON THE VILLAGES DATUM. TO OBTAIN N.G.V.D. ADD 3.46 FEET.
 - ALL PROPOSED ELEVATIONS ARE SHOWN TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - ALL HANDICAP ACCESSIBLE PARKING SPACES, HANDICAP ACCESSIBLE SIDEWALK ROUTES AND ALL SITE SIDEWALKS ARE NOT TO EXCEED A 2.00% MAXIMUM CROSS SLOPE. ALL SIDEWALKS ARE NOT TO EXCEED 5.00% LONGITUDINAL SLOPE, EXCEPT AT CURB RAMPS OR UNLESS OTHERWISE SHOWN. ALL HANDICAP PARKING SPACES ARE NOT TO EXCEED 2.00% LONGITUDINAL SLOPE. IF DURING FINAL BUILDING CERTIFICATION ANY OF THESE AREAS ARE FOUND EXCEEDING ACCESSIBILITY LIMITS (MAXIMUM 2.00%) FOR CERTIFICATE OF OCCUPANCY IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO REMOVE AND REPLACE ALL AREAS FOUND TO BE UNACCEPTABLE BY INSPECTOR. THIS WORK SHALL BE COMPLETED WITH NO ADDITIONAL COST TO OWNER AND/OR DESIGNERS.



CLIENT APPROVAL:
 SIGNATURE: _____
 DATE: _____

TITAN ALF & MC CENTER
 AVENIDA CENTRAL & ALVEREZ AVENUE
 THE VILLAGES, FL

ISSUED

DATE:	ISSUED FOR:

REVISIONS

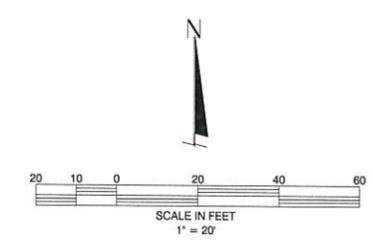
NO.	DATE	DESCRIPTION

PROJECT NO.:	13018
DRAWN BY:	BRP
PROJECT MANAGER:	
CHECKED BY:	CAP
DATE:	8/2/14
SCALE:	AS NOTED

C05
 GRADING PLAN (1)

AUG 08 2014

S:\AKENON-VILLAGES PROJECTS\TITAN ALF\CIVIL\CONSTRUCTION\05 TITAN ALF GRADING.dwg, 8/8/2014 7:26:23 AM, BRP



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 Certificate of Authorization Number: 4709
 4450 N.E. 83rd Road • Wildwood, Florida 34785 • (352) 748-3126

ENGINEER:
 CHRISTOPHER A. POTTS, P.E. # 73842

DATE:
 FBA PROJECT NO. 131238.0000

BESSOLO DESIGN GROUP, INC.
 ARCHITECTURE ■ DEVELOPMENT
 License #AA-0202117
 556 CENTRAL AVENUE
 ST. PETERSBURG, FL 33701
 727 894-4453 www.bessolo.com

CLIENT APPROVAL:
 SIGNATURE: _____
 DATE _____

TITAN ALF & MC CENTER
 AVENIDA CENTRAL & ALVEREZ AVENUE
 THE VILLAGES, FL

ISSUED
 DATE: _____ ISSUED FOR: _____

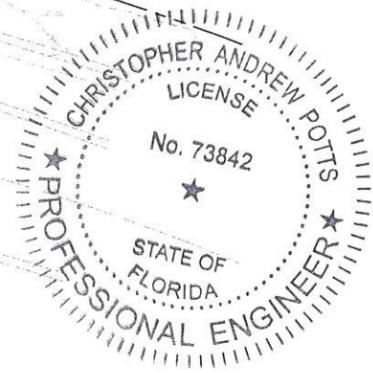
NO.	DATE	DESCRIPTION

REVISIONS

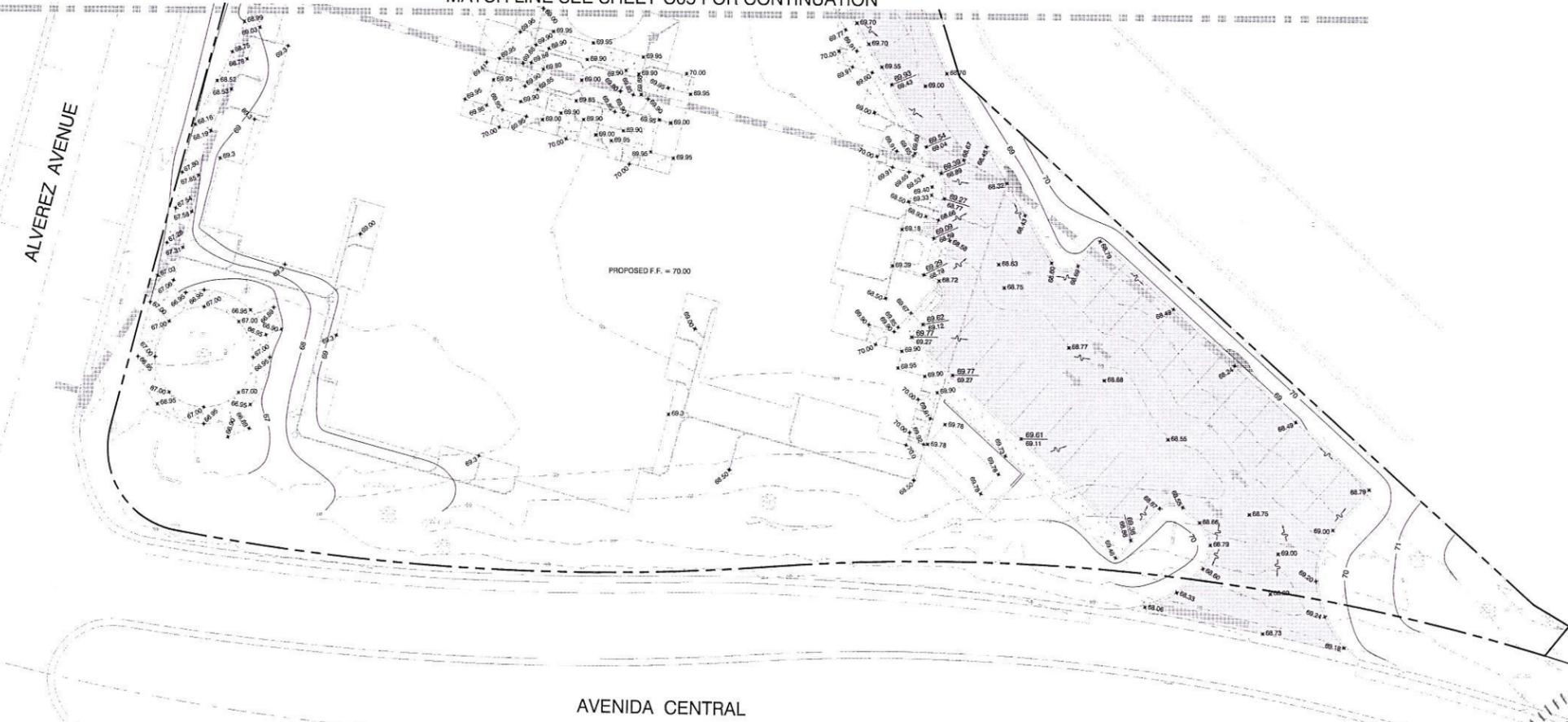
NO.	DATE	DESCRIPTION

PROJECT NO.: 13016
 DRAWN BY: BRP
 PROJECT MANAGER:
 CHECKED BY:
 DATE: 8/22/14
 SCALE: AS NOTED

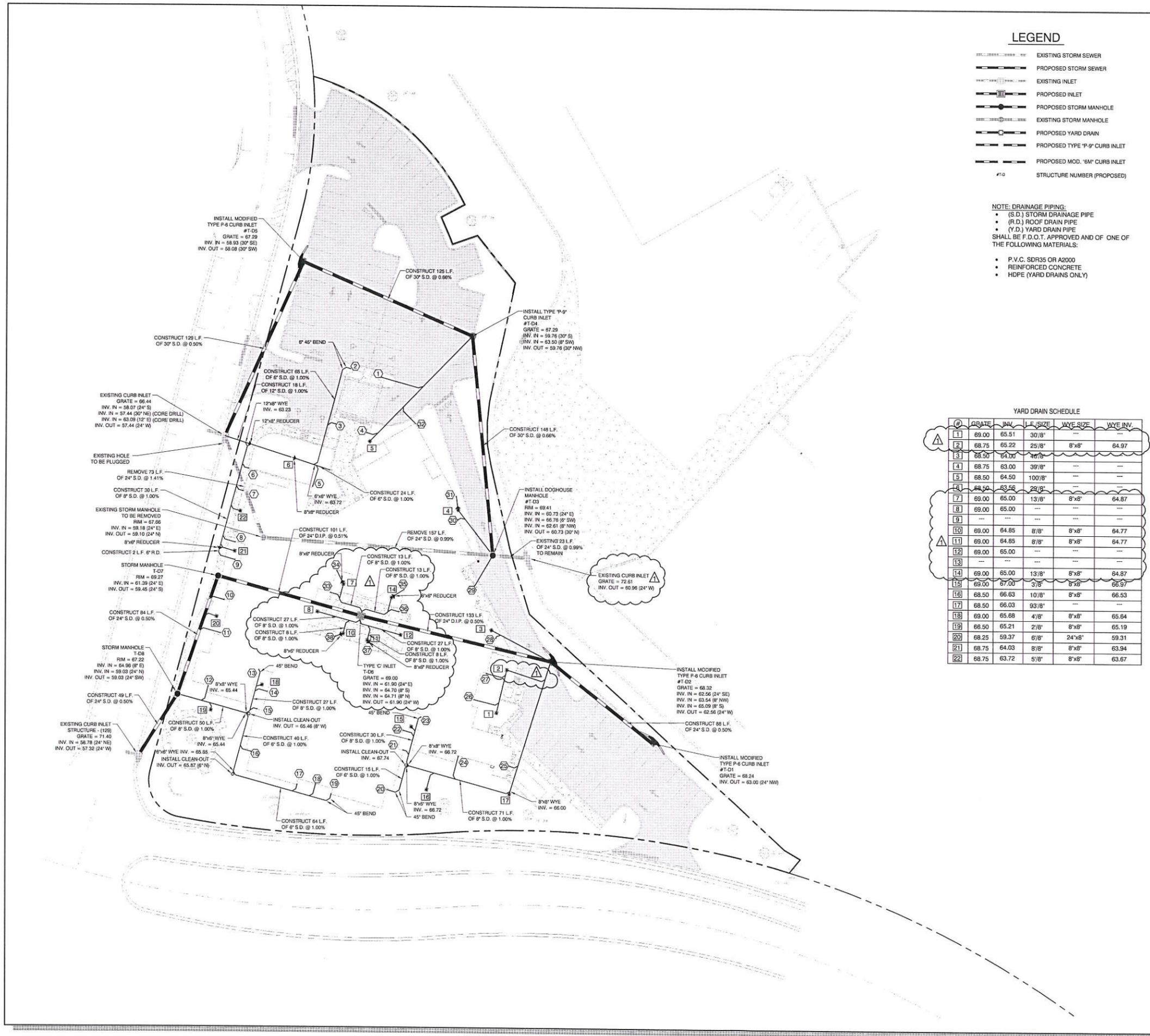
C06
 GRADING PLAN (2)



MATCH LINE SEE SHEET C05 FOR CONTINUATION



S:\ALAKNON-VILLAGES PROJECTS\TITAN ALF\CIVIL\CONSTRUCTION\007 TITAN DRAINAGE.dwg, 8/8/2014 7:26:33 AM, BRP



- LEGEND**
- EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - EXISTING INLET
 - PROPOSED INLET
 - PROPOSED STORM MANHOLE
 - EXISTING STORM MANHOLE
 - PROPOSED YARD DRAIN
 - PROPOSED TYPE "P-8" CURB INLET
 - PROPOSED MOD. "6M" CURB INLET
 - #1-0 STRUCTURE NUMBER (PROPOSED)

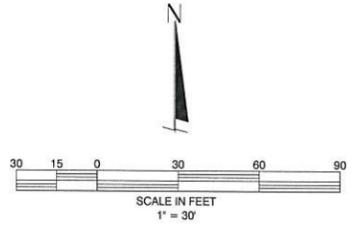
- NOTE: DRAINAGE PIPING:**
- (S.D.) STORM DRAINAGE PIPE
 - (R.D.) ROOF DRAIN PIPE
 - (Y.D.) YARD DRAIN PIPE
- SHALL BE F.D.O.T. APPROVED AND OF ONE OF THE FOLLOWING MATERIALS:
- P.V.C. SDR35 OR A2000
 - REINFORCED CONCRETE
 - HDPE (YARD DRAINS ONLY)

FARNER BARLEY AND ASSOCIATES, INC.
 Certificate of Authorization Number: 4709
 4450 N.E. 83rd Road • Wildwood, Florida 34785 • (352) 748-3126

ENGINEER:
 CHRISTOPHER A. POTTS, P.E. # 73842

DATE:
 FBA PROJECT NO. 131238.0000

BESSOLO DESIGN GROUP, INC.
 ARCHITECTURE ■ DEVELOPMENT
 License #AA-C002117
 556 CENTRAL AVENUE
 ST. PETERSBURG, FL 33701
 727 894-4453 www.bessolo.com



YARD DRAIN SCHEDULE

#	GRATE	INV.	L.F. SIZE	WYE SIZE	WYE INV.
1	69.00	65.51	30/8"	---	---
2	68.75	65.22	25/8"	8"x8"	64.97
3	68.50	64.00	30/8"	---	---
4	68.75	63.00	39/8"	---	---
5	68.50	64.50	100/8"	---	---
6	68.50	63.56	29/8"	---	---
7	69.00	65.00	13/8"	8"x8"	64.87
8	69.00	65.00	---	---	---
9	---	---	---	---	---
10	69.00	64.85	8/8"	8"x8"	64.77
11	69.00	64.85	8/8"	8"x8"	64.77
12	69.00	65.00	---	---	---
13	---	---	---	---	---
14	69.00	65.00	13/8"	8"x8"	64.87
15	69.00	67.00	3/8"	8"x8"	66.97
16	68.50	66.63	10/8"	8"x8"	66.53
17	68.50	66.03	93/8"	---	---
18	69.00	65.68	4/8"	8"x8"	65.64
19	66.50	65.21	2/8"	8"x8"	65.19
20	68.25	59.37	6/8"	24"x8"	59.31
21	68.75	64.03	8/8"	8"x8"	63.94
22	68.75	63.72	5/8"	8"x8"	63.67

ROOF DRAIN SCHEDULE

#	WYE	WYE INV.	6" L.F.	*INV. @ BLDG.
1	8"x8"	63.98	29	64.27
2	---	---	6	64.42
3	8"x8"	63.98	6	64.04
4	8"x8"	64.42	8	64.50
5	8"x8"	63.70	15	63.85
6	8"x8"	63.38	4	63.42
7	8"x8"	63.54	4	63.58
8	8"x8"	63.88	10	63.98
9	8"x8"	64.00	13	64.13
10	24"x6"	59.37	13	59.50
11	24"x6"	59.26	16	59.42
12	8"x8"	65.13	11	65.24
13	---	---	2	65.76
14	8"x8"	65.61	9	65.70
15	8"x8"	65.48	5	65.53
16	8"x8"	65.67	9	65.76
17	8"x8"	66.28	6	66.34
18	8"x8"	66.40	9	66.49
19	---	---	6	66.56
20	---	---	9	66.99
21	8"x8"	66.80	5	66.85
22	8"x8"	66.93	9	67.04
23	---	---	2	67.05
24	8"x8"	66.38	16	66.54
25	8"x8"	65.43	5	65.89
26	8"x8"	65.44	18	65.62
27	8"x8"	65.26	14	65.40
28	8"x8"	63.93	4	63.97
29	---	---	24	67.00
30	8"x8"	62.92	4	62.96
31	---	---	15	63.15
32	8"x8"	64.17	14	64.31
33	8"x8"	64.90	8	64.98
34	---	---	10	65.10
35	---	---	10	65.10
36	8"x8"	64.90	8	64.98
37	---	---	5	65.50
38	---	---	5	65.50

* SITE CONTRACTOR TO CONSTRUCT ROOF DRAIN PIPING TO WITHIN 5' OF BUILDING

CHRISTOPHER ANDREW POTTS
 LICENSE No. 73842
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

CLIENT APPROVAL:
 SIGNATURE: _____
 DATE: _____

TITAN ALF & MC CENTER
 AVENIDA CENTRAL & ALVAREZ AVENUE
 THE VILLAGES, FL

ISSUED
 DATE: ISSUED FOR: _____

REVISIONS

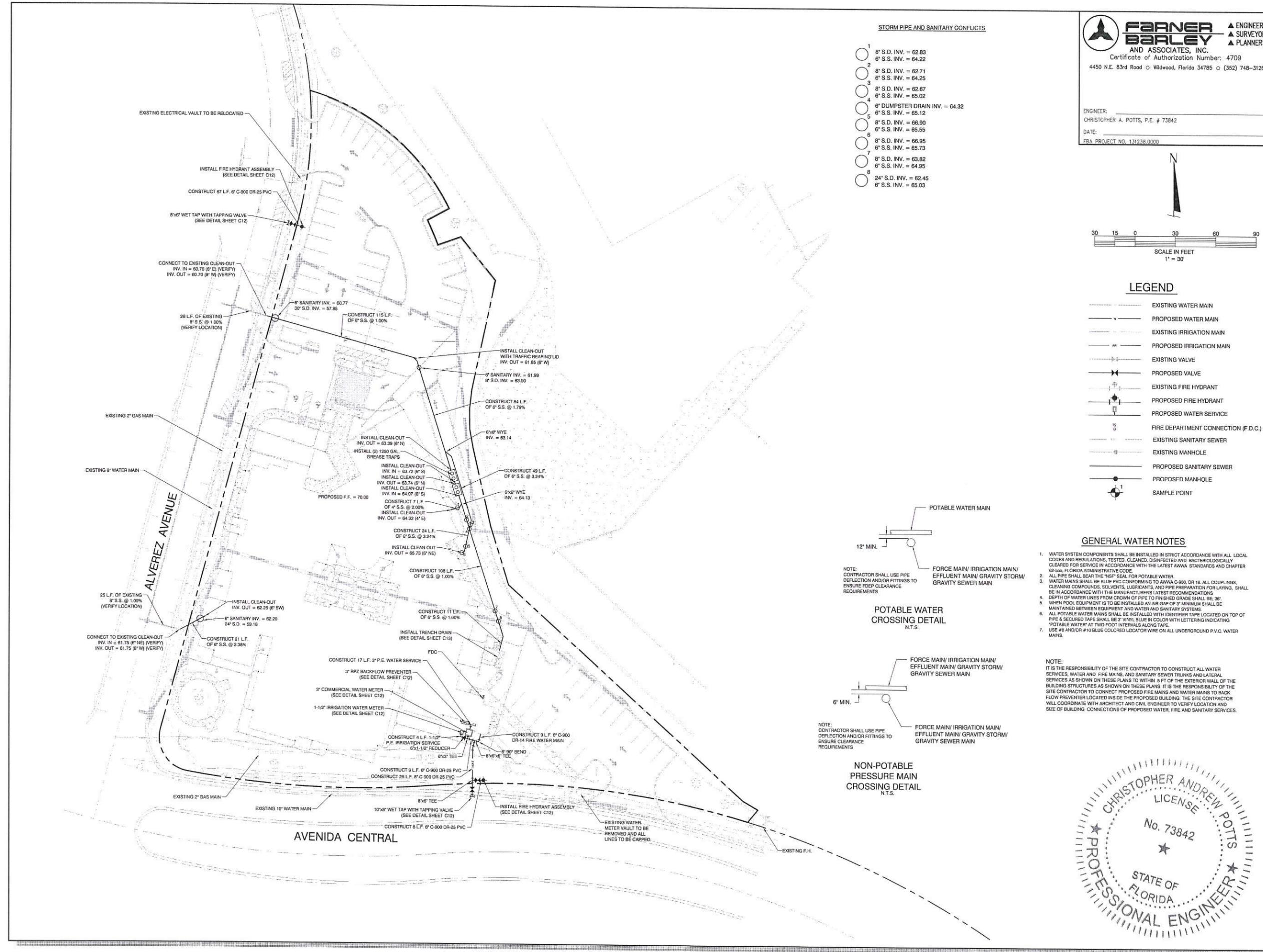
NO.	DATE	DESCRIPTION
1	7/17/14	REVISED PER TOWN OF LAKE WALKER COMMENTS DATED 6/25/14

PROJECT NO.: 13018
 DRAWN BY: BRP
 PROJECT MANAGER: _____
 CHECKED BY: CAP
 DATE: 8/2/14
 SCALE: AS NOTED

C07
 STORMWATER DRAINAGE PLAN

AUG 03 2014

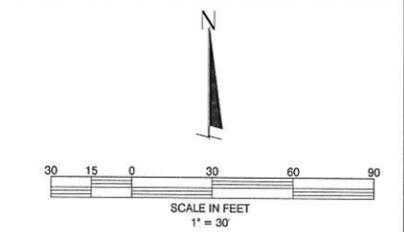
S:\ALANON-VILLAGES PROJECTS\TITAN ALF\CIVIL\CONSTRUCTION\008 TITAN UTILITY.dwg, 8/2/2014 7:26:47 AM, BRP



FARNER BARLEY AND ASSOCIATES, INC.
ENGINEERS SURVEYORS PLANNERS
Certificate of Authorization Number: 4709
4450 N.E. 83rd Road • Wildwood, Florida 34785 • (352) 748-3126

ENGINEER:
CHRISTOPHER A. POTTS, P.E. # 73842

DATE:
FBA PROJECT NO. 1312.38.0000



LEGEND

---	EXISTING WATER MAIN
- - -	PROPOSED WATER MAIN
---	EXISTING IRRIGATION MAIN
- - -	PROPOSED IRRIGATION MAIN
---	EXISTING VALVE
- - -	PROPOSED VALVE
---	EXISTING FIRE HYDRANT
- - -	PROPOSED FIRE HYDRANT
---	PROPOSED WATER SERVICE
---	FIRE DEPARTMENT CONNECTION (F.D.C.)
---	EXISTING SANITARY SEWER
- - -	EXISTING MANHOLE
---	PROPOSED SANITARY SEWER
- - -	PROPOSED MANHOLE
---	SAMPLE POINT

BESSOLO DESIGN GROUP, INC.
ARCHITECTURE ■ DEVELOPMENT
Licenses #AA-C002117
556 CENTRAL AVENUE
ST. PETERSBURG, FL 33701
727 894-4453 www.bessolo.com

CLIENT APPROVAL:
SIGNATURE: _____ DATE: _____

TITAN ALF & MC CENTER
CENTRAL & ALVAREZ AVENUE
THE VILLAGES, FL

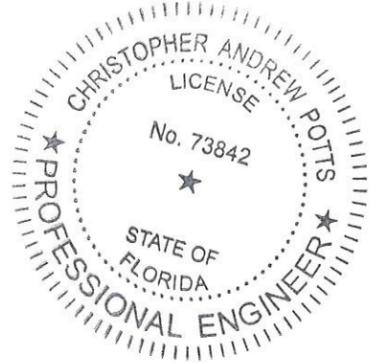
ISSUED

DATE:	ISSUED FOR:

REVISIONS

NO.	DATE:	DESCRIPTION

PROJECT NO.: 13018
DRAWN BY: BRP
PROJECT MANAGER:
CHECKED BY: CAP
DATE: 8/2/14
SCALE: AS NOTED



C08
UTILITY PLAN

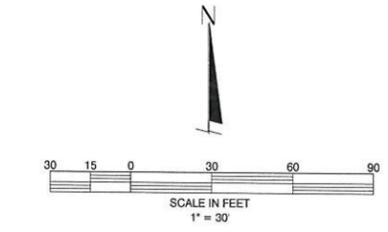
AUG 03 2014

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FARNER BARLEY AND ASSOCIATES, INC.
 ENGINEERS SURVEYORS PLANNERS
 Certificate of Authorization Number: 4709
 4450 N.E. 83rd Road • Wildwood, Florida 34785 • (352) 748-3126

ENGINEER:
 CHRISTOPHER A. POTTS, P.E. # 73842
 DATE:
 FBA PROJECT NO. 131238.0000

BESSOLO
 DESIGN GROUP, INC.
 ARCHITECTURE ■ DEVELOPMENT
 License #AA-C002117
 556 CENTRAL AVENUE
 ST. PETERSBURG, FL 33701
 727 894-4453 www.bessolo.com



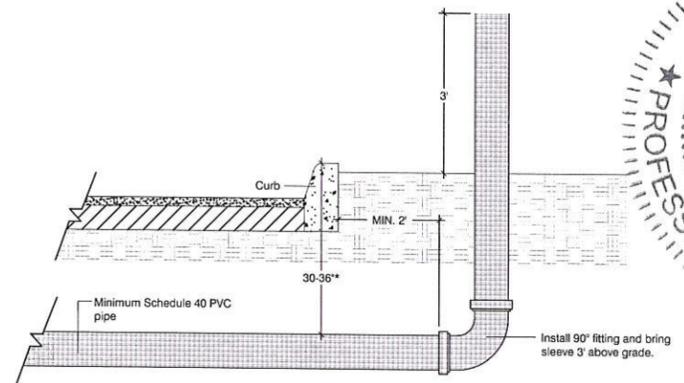
LIGHT LEGEND

- <□□> DUKE ENERGY SINGLE/DOUBLE SHOEBOX TRU42SWW3FU0024 TRIBUTE BY LUMARK; TYPE III FORMED DISTRIBUTION, 400W, HPS, 30' MOUNTING HEIGHT; ROUND, BRONZE, TAPERED CONCRETE POLE BY AMERON, MODEL MER-9/BZ3.
- DUKE ENERGY SINGLE ACORN, FP100HP128A4H BY HOLOPHANE, TYPE III, NON-CUTOFF, 100W, HPS, WITH STIPPLED ACRYLIC GLOBE BY CROWN, MODEL PGA 058FPL, 12' MOUNTING HEIGHT; BLACK CONCRETE WASHINGTON POLE BY AMERON, PART # 26ET12/6P3. CROSSARM FOR DOUBLES BY ELECTRIC SUPPLY, CHARLES MEAD (813) 695-3493, PART ASM DTM AL Q3.
- ▭ ARCHITECTURAL LIGHTING BY OTHERS
 COOPER LUMARK WAL-PAK WALL MOUNTED LUMINAIRE, 150W HPS FULL CUTOFF; BLACK, 22' MOUNTING HT

ALL LIGHT FIXTURES/POLES AVAILABLE THROUGH DUKE ENERGY, AND ARE TO MATCH PREVIOUS VILLAGE INSTALLATIONS

IRRIGATION SLEEVING LEGEND

- (A) = (1) 4" SLEEVE
 (2) 4" SLEEVE
- (B) = (1) 4" SLEEVE
 (1) 2" SLEEVE
- (C) = (1) 2" SLEEVE



SLEEVE INSTALLATION DETAIL
 N.T.S.



CLIENT APPROVAL:
 SIGNATURE: _____
 DATE: _____

TITAN ALF & MC CENTER
 AVENIDA CENTRAL & ALVEREZ AVENUE
 THE VILLAGES, FL

ISSUED
 DATE: 8/20/14
 CHRISTOPHER ANDREW POTTS
 LICENSE
 No. 73842

REVISIONS
 DATE DESCRIPTION
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

PROJECT NO.: 13016
 DRAWN BY: BRP
 PROJECT MANAGER:
 CHECKED BY: CAP
 DATE: 8/2/14
 SCALE: AS NOTED

C09
 SLEEVING & LIGHTING PLAN

AUG 08 2014

FARNER BARLEY AND ASSOCIATES, INC.
 ENGINEERS SURVEYORS PLANNERS
 Certificate of Authorization Number: 4709
 4450 N.E. 83rd Road • Wildwood, Florida 34785 • (352) 748-3126

ENGINEER: CHRISTOPHER A. POTTS, P.E. # 73842
 DATE: _____
 FBA PROJECT NO. 131238.0000

BESSOLO DESIGN GROUP, INC.
 ARCHITECTURE DEVELOPMENT
 License #AA-C002117
 556 CENTRAL AVENUE
 ST. PETERSBURG, FL 33701
 727 894-4453 www.bessolo.com

CLIENT APPROVAL:
 SIGNATURE: _____
 DATE: _____

TITAN ALF & MC CENTER
 AVENIDA CENTRAL & ALVEREZ AVENUE
 THE VILLAGES, FL

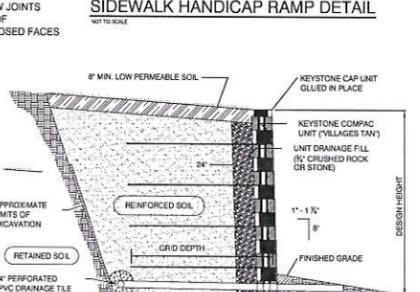
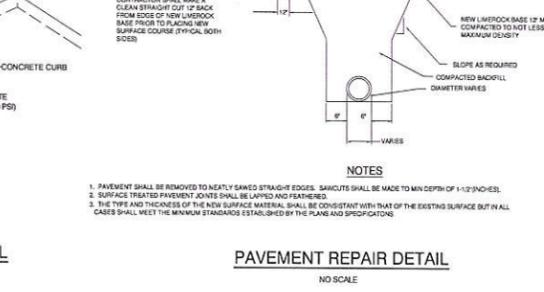
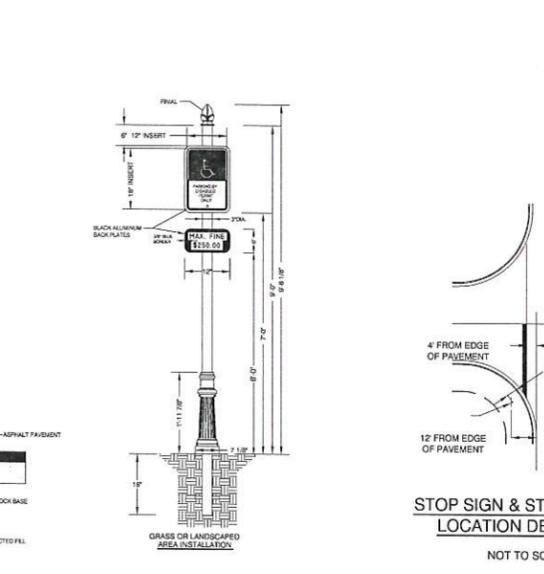
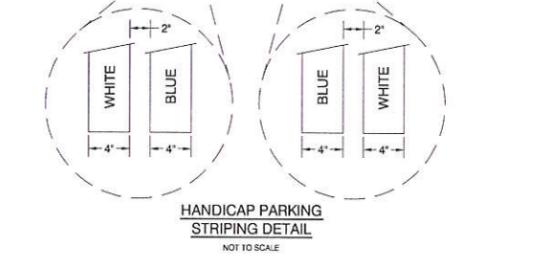
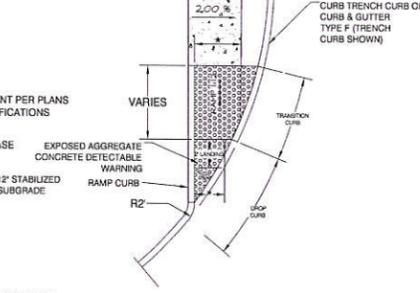
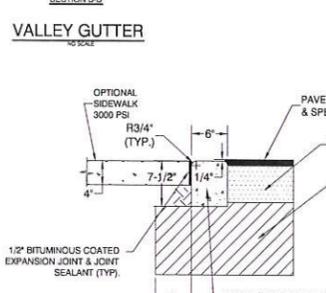
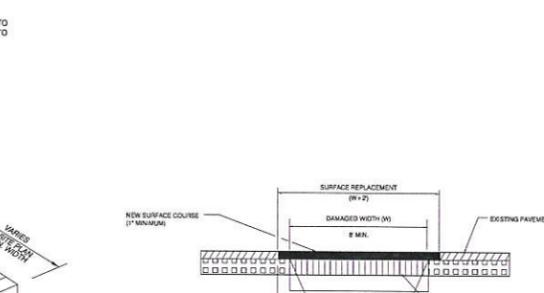
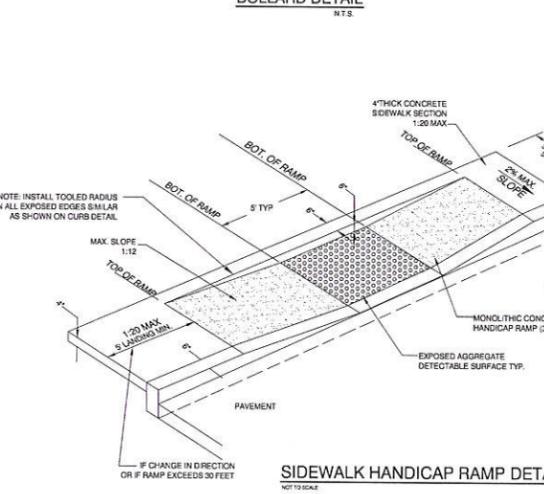
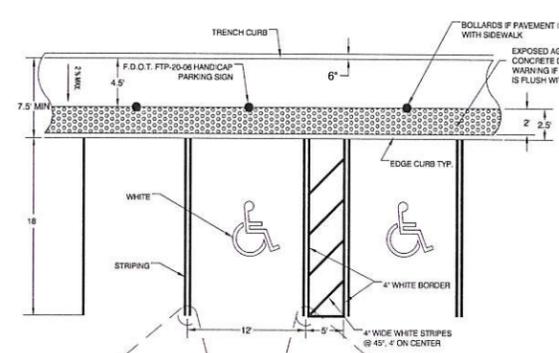
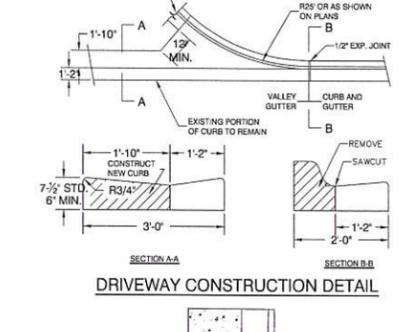
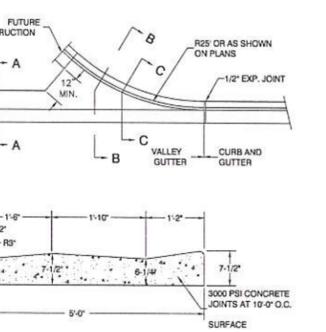
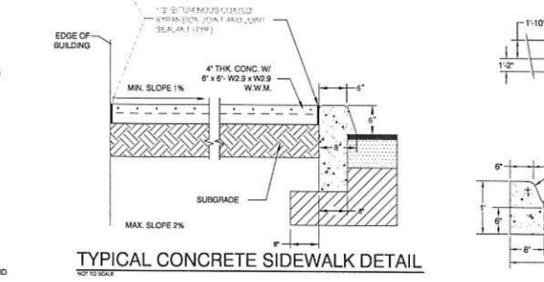
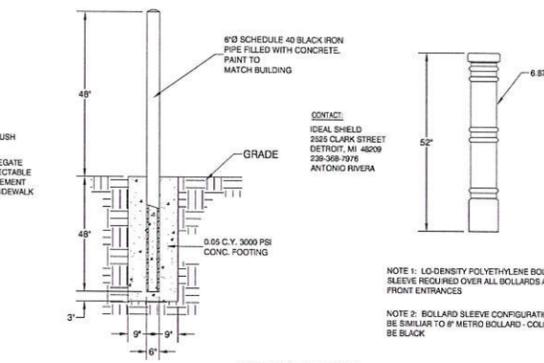
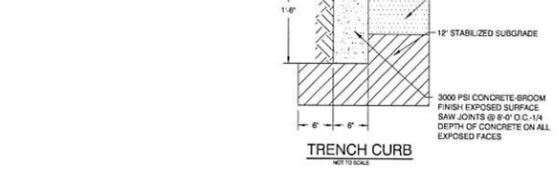
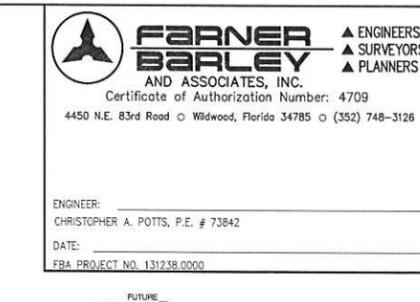
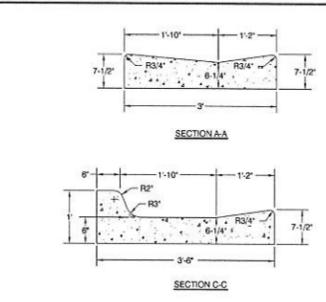
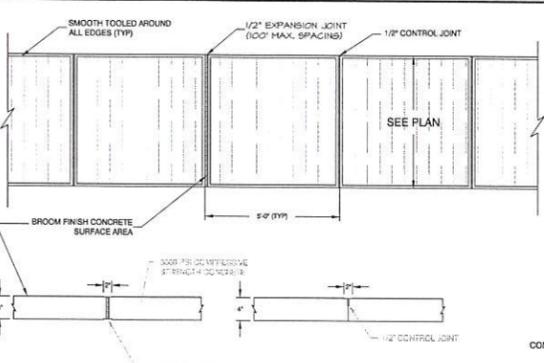
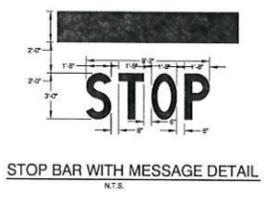
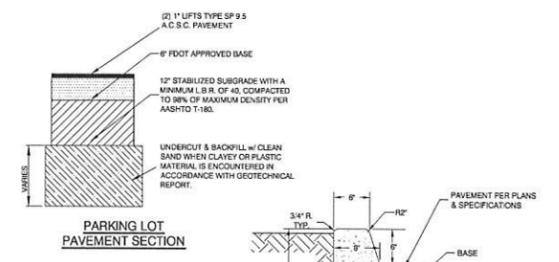
ISSUED
 DATE: _____ ISSUED FOR: _____

REVISIONS
 NO. DATE DESCRIPTION
 1 7/17/14 _____
 2 _____
 3 _____

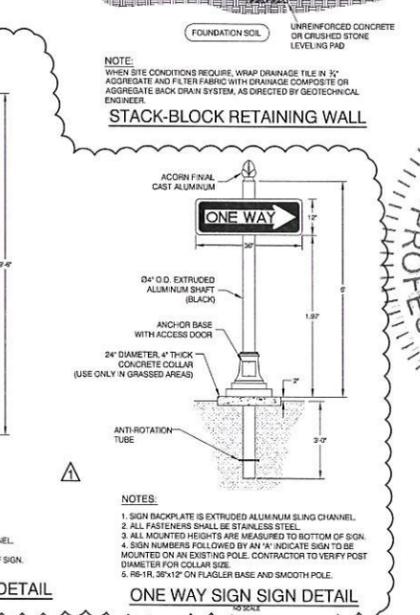
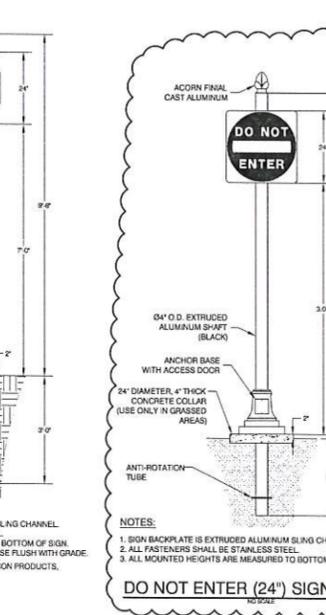
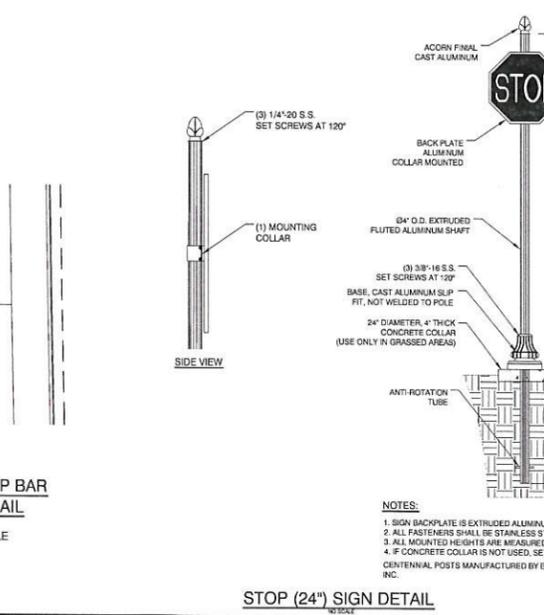
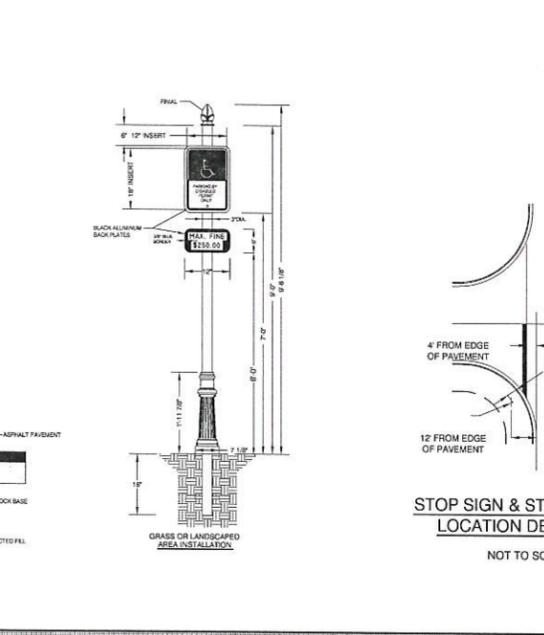
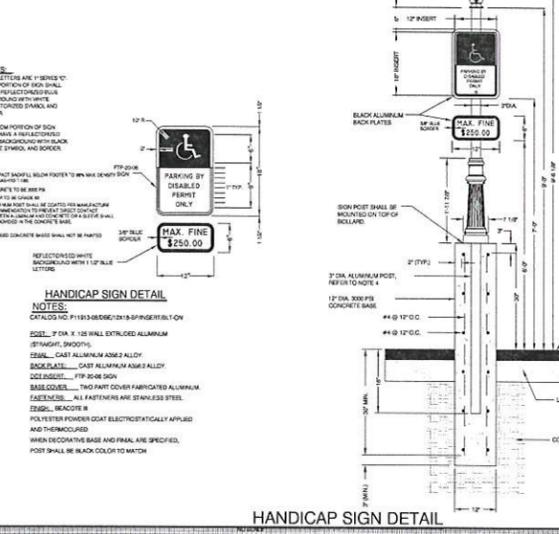
STATE OF FLORIDA
 LICENSE # 73842
 CHRISTOPHER ANDREW POTTS
 PROFESSIONAL ENGINEER

C10
 PAVEMENT DETAILS

CP



EXPOSED AGGREGATE SPECIFICATIONS
 EXPOSED AGGREGATE: SELECTED, HARD AND DURABLE, WASHED, FREE OF MATERIALS WITH DELINEATING REACTIVITY TO CEMENT OR THAT CAUSE STAINING, FROM A SINGLE SOURCE, WITH GAP GRADED COARSE AGGREGATE AS FOLLOWS:
 AGGREGATE SIZES: 3/8" - 5/8" NOMINAL
 AGGREGATE COLOR: BROWN RIVER ROCK
 FORMS: MEET THE REQUIREMENTS SPECIFIED IN FOOT STANDARD SPECIFICATIONS 500.3
 DETECTABLE WARNINGS: ALL DETECTABLE WARNING MATERIALS SHALL BE EXPOSED AGGREGATE CONCRETE. SUBMIT MANUFACTURER'S CERTIFICATION OF COMPLIANCE WITH ALL APPLICABLE STANDARDS AND DRAWINGS AND/OR CATALOG CUT SHEETS TO THE ENGINEER FOR APPROVAL. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT ON/DARK OR DARK ON/LIGHT AND SHALL BE TEXTURED TO PROVIDE SLIP RESISTANCE. SUBMIT COLOR SAMPLES FOR EXPOSED AGGREGATE DETECTABLE WARNINGS FOR APPROVAL BY THE ENGINEER. COLOR SUBMITTALS INCLUDE MANUFACTURER'S STATEMENT OF PERCENTAGE OF VISUAL CONTRAST PROVIDED ACCORDING TO ADAAG 4.29.2.



HANDICAP SIGN DETAIL NOTES:
 1. ALL LETTERS ARE 1/8\"/>

STOP SIGN & STOP BAR LOCATION DETAIL NOTES:
 1. SIGN BACKPLATE IS EXTRUDED ALUMINUM SLING CHANNEL.
 2. ALL FASTENERS SHALL BE STAINLESS STEEL.
 3. ALL MOUNTED HEIGHTS ARE MEASURED TO BOTTOM OF SIGN.
 4. IF CONCRETE COLLAR IS NOT USED, SET BASE FLUSH WITH GRADE.
 5. CENTENNIAL POSTS MANUFACTURED BY BEACON PRODUCTS, INC.

**STOP (24\"/>
 1. SIGN BACKPLATE IS EXTRUDED ALUMINUM SLING CHANNEL.
 2. ALL FASTENERS SHALL BE STAINLESS STEEL.
 3. ALL MOUNTED HEIGHTS ARE MEASURED TO BOTTOM OF SIGN.
 4. IF CONCRETE COLLAR IS NOT USED, SET BASE FLUSH WITH GRADE.
 5. CENTENNIAL POSTS MANUFACTURED BY BEACON PRODUCTS, INC.**

**DO NOT ENTER (24\"/>
 1. SIGN BACKPLATE IS EXTRUDED ALUMINUM SLING CHANNEL.
 2. ALL FASTENERS SHALL BE STAINLESS STEEL.
 3. ALL MOUNTED HEIGHTS ARE MEASURED TO BOTTOM OF SIGN.**

ONE WAY SIGN DETAIL NOTES:
 1. SIGN BACKPLATE IS EXTRUDED ALUMINUM SLING CHANNEL.
 2. ALL FASTENERS SHALL BE STAINLESS STEEL.
 3. ALL MOUNTED HEIGHTS ARE MEASURED TO BOTTOM OF SIGN.
 4. IF CONCRETE COLLAR IS NOT USED, SET BASE FLUSH WITH GRADE.
 5. CENTENNIAL POSTS MANUFACTURED BY BEACON PRODUCTS, INC.

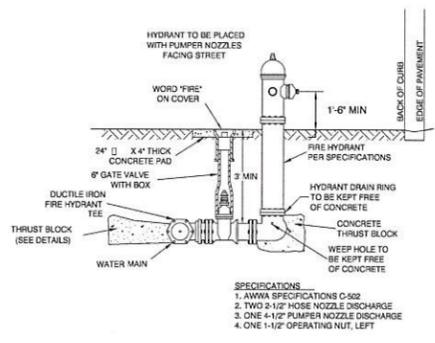
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AUG 08 2014

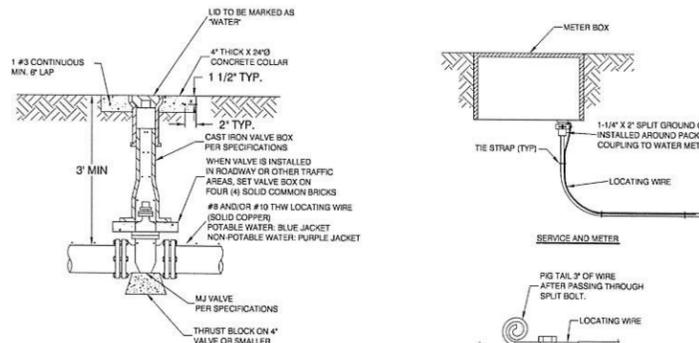
FARNER BARLEY AND ASSOCIATES, INC.
 ENGINEERS SURVEYORS PLANNERS
 Certificate of Authorization Number: 4709
 4450 N.E. 83rd Road • Wildwood, Florida 34785 • (352) 748-3126

ENGINEER: CHRISTOPHER A. POTTS, P.E. # 73842
 DATE: _____
 FBA PROJECT NO. 131238.0000

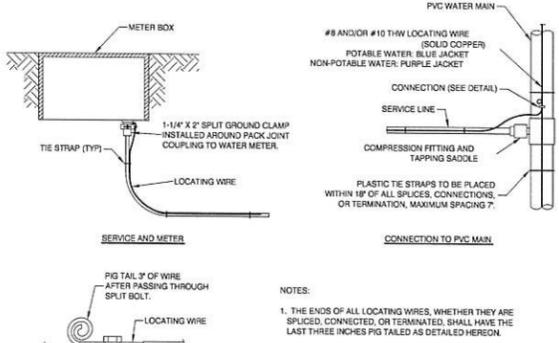
BESSOLO DESIGN GROUP, INC.
 ARCHITECTURE • DEVELOPMENT
 License #AA-C002117
 556 CENTRAL AVENUE
 ST. PETERSBURG, FL 33701
 727 894-4453 www.bessolo.com



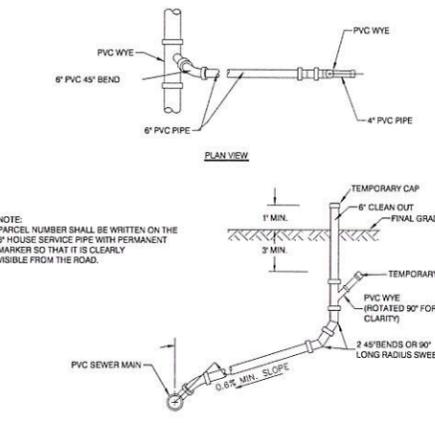
FIRE HYDRANT ASSEMBLY DETAIL
N.T.S.



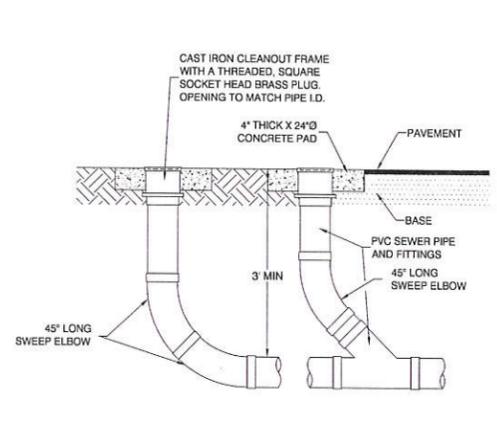
GATE VALVE & BOX DETAIL
N.T.S.



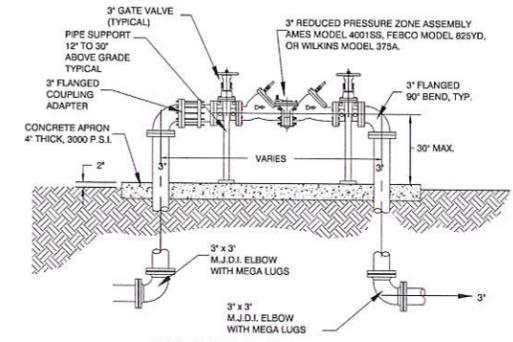
WATER SERVICE LOCATING WIRE DETAIL
N.T.S.



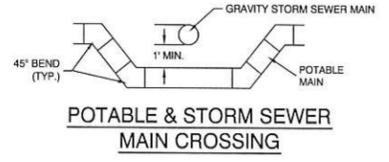
SANITARY SEWER SINGLE SERVICE



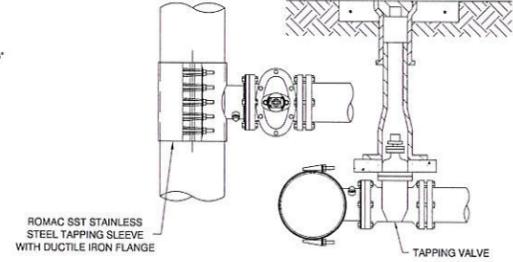
CLEAN-OUT DETAIL (6" AND SMALLER MAINS)



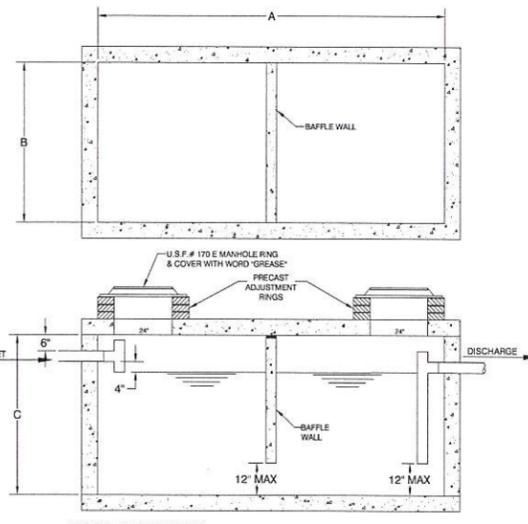
COMMERCIAL WATER RPZ BACKFLOW PREVENTER



POTABLE & STORM SEWER MAIN CROSSING



TAPPING SLEEVE AND VALVE DETAIL

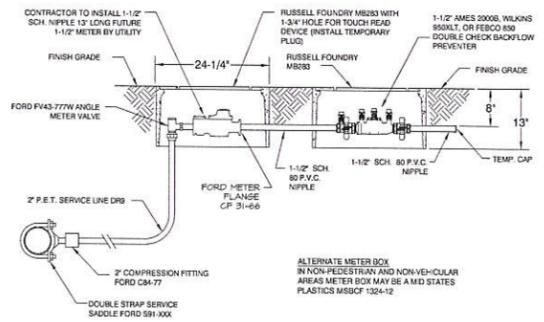


PROVIDE H-20 TRUCK LOADING MIN. IF INSTALLED IN AREAS SUBJECT TO VEHICLE TRAFFIC

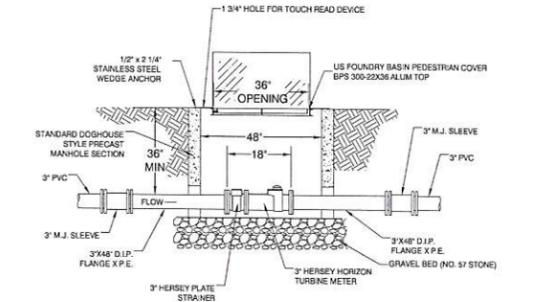
DIM	CAPACITY IN GALLONS					
	900	1,000	1,250	1,500	2,000	3,000
A	8'-0"	7'-0"	10'-0"	11'-0"	13'-0"	14'-0"
B	5'-0"	5'-0"	4'-0"	3'-0"	6'-0"	6'-0"
C	5'-0"	5'-0"	3'-0"	2'-0"	6'-0"	6'-0"

DIMENSIONS SHOWN ARE NOT MANDATORY, BUT REPRESENT APPROXIMATE DIMENSIONS FOR THE TANK VOLUME INDICATED

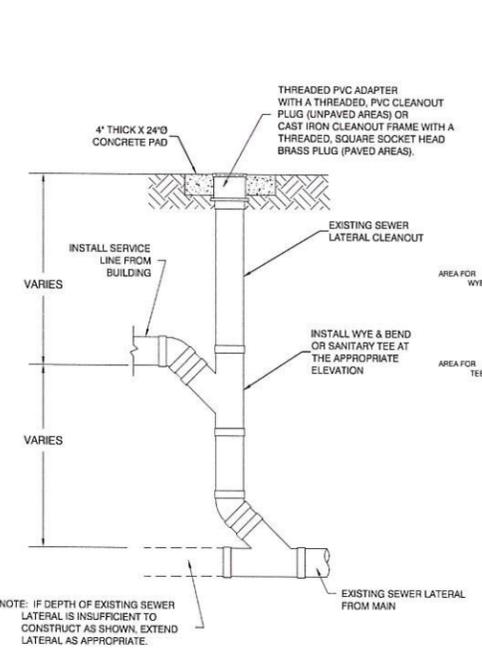
GREASE TRAP DETAIL



1-1/2" IRRIGATION METER DETAIL



3" COMMERCIAL WATER METER DETAIL

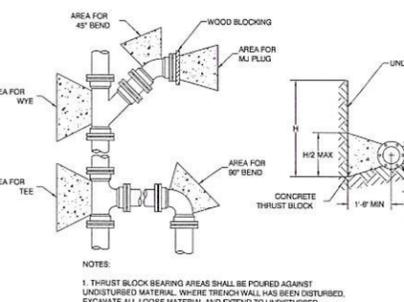


CONNECTION TO EXISTING SEWER LATERAL DETAIL

SCHEDULE FOR THRUST BLOCK AREAS

PIPE SIZE (INCHES)	30' (9.14)	40' (12.19)	50' (15.24)	60' (18.29)	70' (21.34)	80' (24.38)	SEASONAL RESERVE (F.T.)
4"	2.0	1.0	0.5	0.25	1.4	1.50	
6"	4.0	2.2	1.1	0.6	2.9	1.50	
8"	7.0	3.9	1.9	0.9	5.0	1.50	
10"	11.4	6.2	3.2	1.6	8.1	1.50	
12"	16.3	9.8	4.9	2.2	11.9	1.50	

NOTE: Thrust block areas computed on basis of 2000 lb. per sq. ft. soil resistance bearing.



PIPE JOINT THRUST RESTRAINT DETAIL

CLEARANCE REQUIREMENTS POTABLE WATER/ SANITARY, STORM SEWER, RECLAIMED WATER AND NON-POTABLE IRRIGATION PIPING

THE MINIMUM VERTICAL AND HORIZONTAL SEPARATION BETWEEN POTABLE WATER AND SANITARY SEWER MAINS TO COMPLY WITH RULES 62-604.400(2)(5) - (7), F.A.C. AND 62-604.400 (3), F.A.C. ARE AS NOTED BELOW.

1. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER, NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.

2. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, OR PIPES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

CLIENT APPROVAL:
 SIGNATURE: _____
 DATE: _____

TITAN ALF & MC CENTER
 THE VILLAGES, FL
 AVENIDA CENTRAL & ALVEREZ AVENUE

ISSUED
 DATE: _____
 ISSUED FOR: _____

PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 3842
 REVISIONS
 NO. DATE DESCRIPTION
 1 5/2/14
 PROJECT MANAGER: _____
 CHECKED BY: _____
 DATE: _____
 SCALE: AS NOTED

C12
 WATER & SANITARY SEWER DETAILS

AUG 08 2014

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FARNER BARLEY AND ASSOCIATES, INC.
 ENGINEERS SURVEYORS PLANNERS
 Certificate of Authorization Number: 4709
 4450 N.E. 83rd Road • Wildwood, Florida 34785 • (352) 748-3126

ENGINEER: CHRISTOPHER A. POTTS, P.E. # 73842
 DATE: _____
 FBA PROJECT NO. 131238.0000

BESSOLO DESIGN GROUP, INC.
 ARCHITECTURE ■ DEVELOPMENT
 License #AA-C002117
 556 CENTRAL AVENUE
 ST. PETERSBURG, FL 33701
 727 894-4453 www.bessolo.com

CLIENT APPROVAL:
 SIGNATURE: _____
 DATE: _____

ISSUED
 DATE: _____ ISSUED FOR: _____

TITAN ALF & MC CENTER
 CENTRAL & ALVAREZ AVENUE
 THE VILLAGES, FL

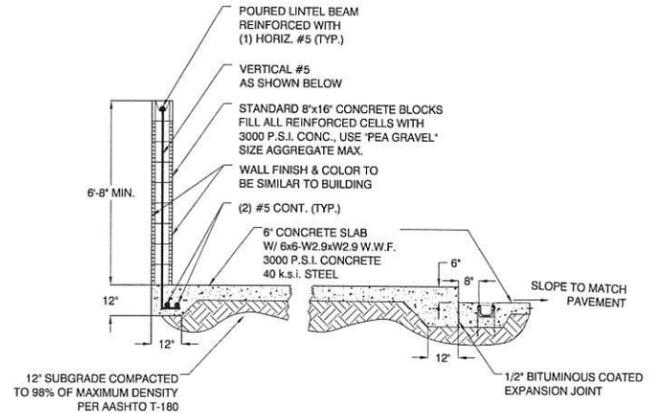
REVISIONS
 NO. DATE DESCRIPTION

STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE No. 73842
 CHRISTOPHER ANDREW POTTS

PROJECT NO. 13016
 DRAWN BY: BRP
 PROJECT MANAGER: _____
 CHECKED BY: CAP
 DATE: 8/2/14
 SCALE: AS NOTED

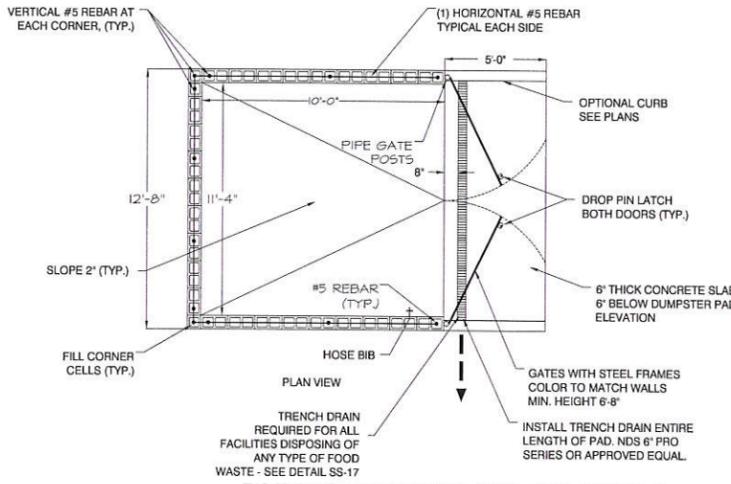
C13
 DUMPSTER PAD & ENCLOSURE DETAILS

AUG 03 2014

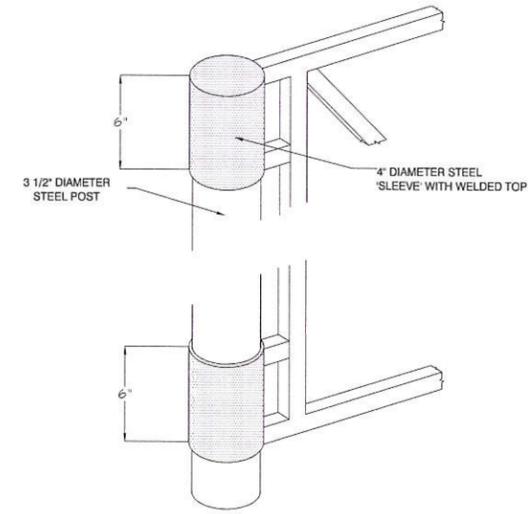


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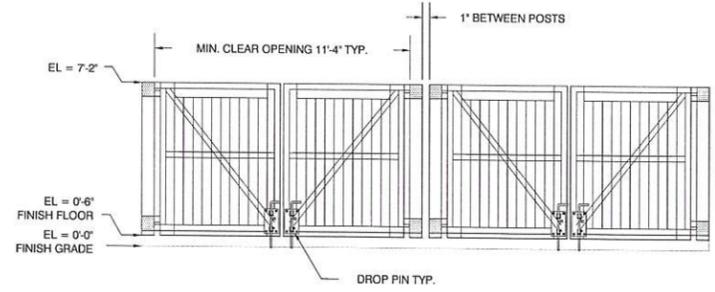
DISCHARGE TO GREASE TRAP (MIN. 300 GAL. OR BUILDING GREASE TRAP)



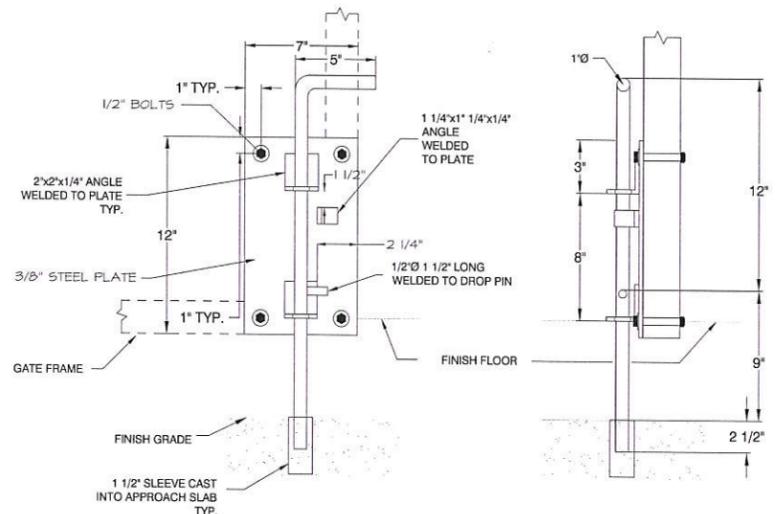
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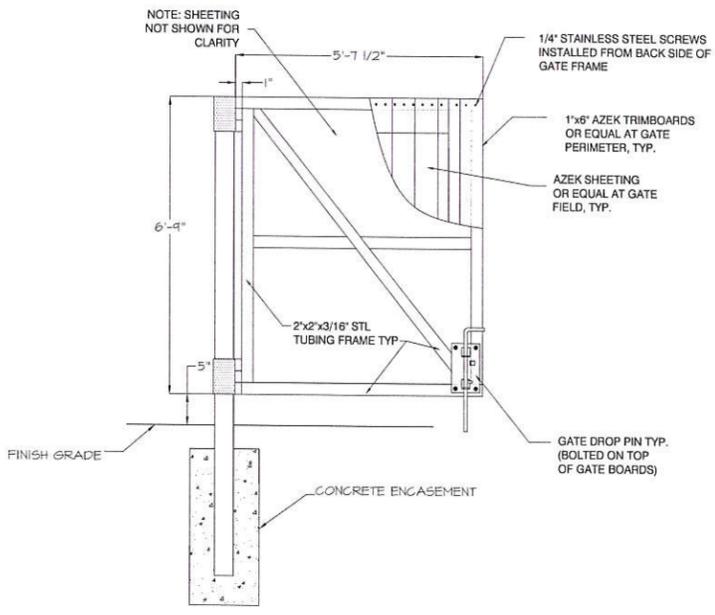
GATE HINGE



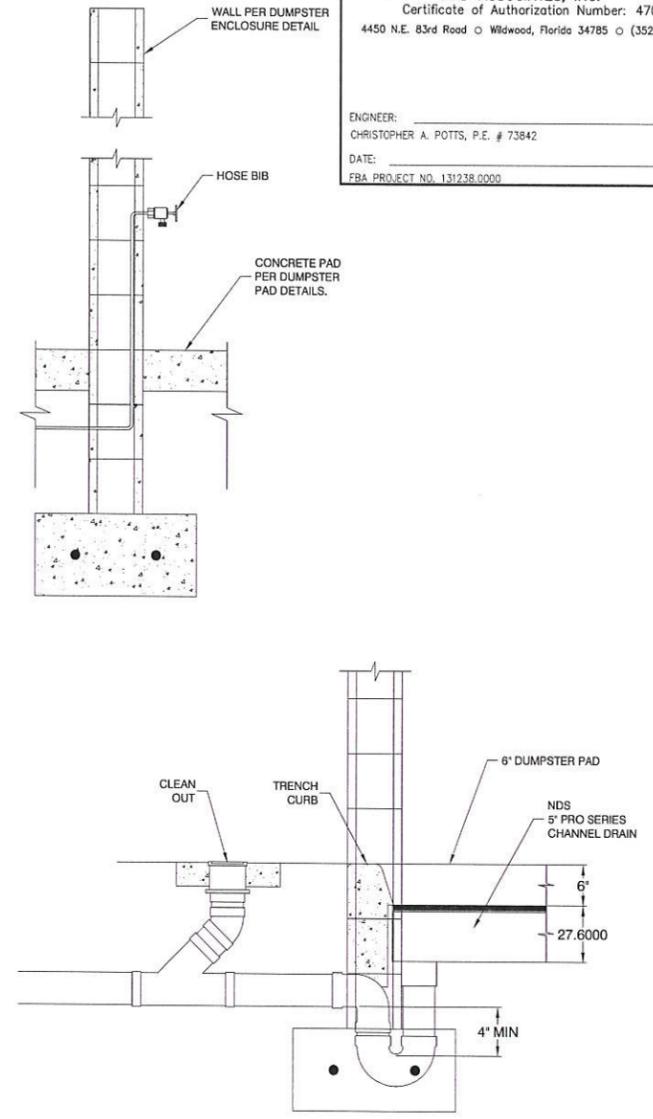
DOUBLE ENCLOSURE GATE



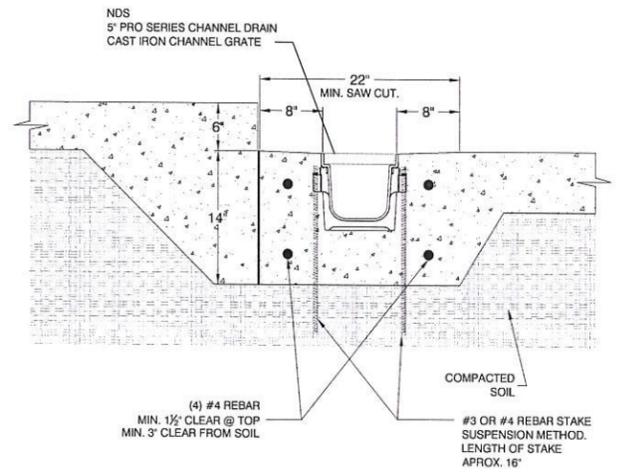
GATE DROPPING PIN



GATE FRAME



DUMPSTER PAD DRAIN DETAIL



DUMPSTER PAD DRAIN DETAIL

S:\LAKEINON-VILLAGES PROJECTS\TITAN ALF\CIVIL\CONSTRUCTION\13 TITAN EROSION.dwg, 8/8/2014 7:27:13 AM, BRP

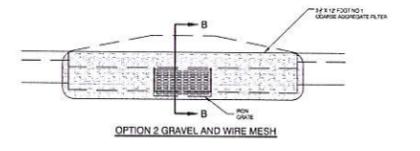
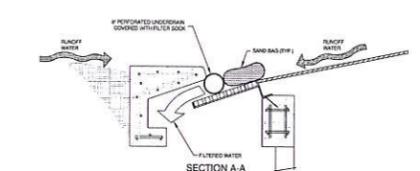
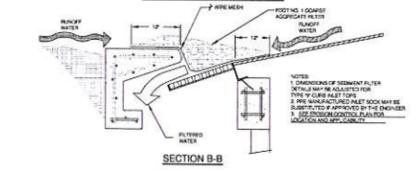
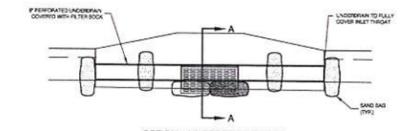
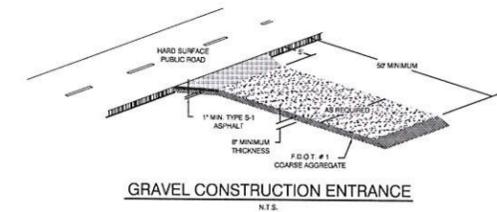
FARNER BARLEY AND ASSOCIATES, INC.
 ENGINEERS SURVEYORS PLANNERS
 Certificate of Authorization Number: 4709
 4450 N.E. 83rd Road • Wildwood, Florida 34785 • (352) 748-3126

ENGINEER: CHRISTOPHER A. POTTS, P.E. # 73842
 DATE: _____
 FBA PROJECT NO. 131238.0000

BESSOLO DESIGN GROUP, INC.
 ARCHITECTURE ■ DEVELOPMENT
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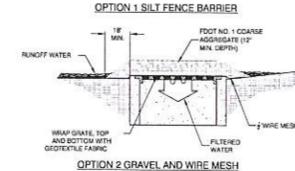
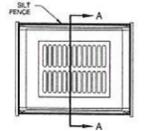
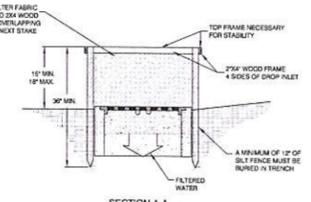
CONSTRUCT TEMPORARY GRAVEL ENTRANCE
 INSTALL 1,093 L.F. SILT FENCE EROSION CONTROL

INSTALL CURB INLET SEDIMENT CONTROL (TYP)

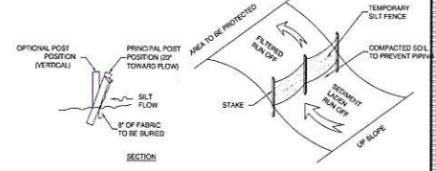
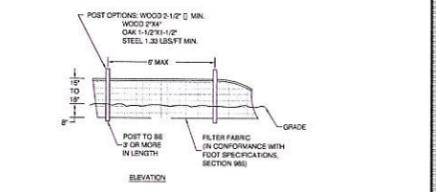
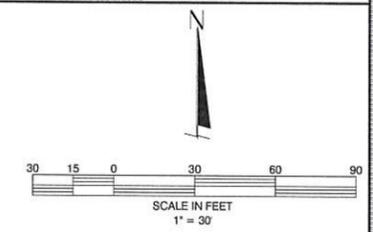


CURB INLET SEDIMENT FILTER DETAIL TYPE A

NOTES: 1. DROP PALET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, LEAKY LEVEL, DRAINAGE AREAS LESS THAN 5' x 5'.
 2. USE 2\"/>



DROP INLET SEDIMENT FILTER DETAIL TYPE B



FLORIDA DOT TYPE III SILT FENCE AND EROSION CONTROL

1. THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.
2. TEMPORARY EROSION CONTROL TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY THE ENGINEER OR AREAS ON SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL MAY BE REMOVED AFTER UP-SLOPE AREA HAS BEEN STABILIZED BY SO, OR COMPACTED AS DETERMINED BY THE OWNER.
3. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
4. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICALLY EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENCY IN LIEU OF PERMANENT MEASURES.
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
6. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
7. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
8. MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM SUSCEPTIBLE TO BEING WASHED INTO AN ADJACENT WATERCOURSE BY RUNOFF OR HIGH WATER.
9. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NOT TO BE REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
10. SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR STAKED SILT FENCE (L.F.).
11. SILT FENCE TO REMAIN IN PLACE UNTIL FINISH GRADING FOR THE LANDSCAPING IS UNDER WAY.

THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE IN THE OPINION OF THE ENGINEER, THE MINIMUM THAT MAY BE REQUIRED. ACTUAL FIELD CONDITIONS MAY REQUIRE EITHER ADDITIONAL OR REDUCED EROSION CONTROL MEASURES TO BE IMPLEMENTED. THE CONTRACTOR IS DIRECTED TO FOLLOW STANDARD BEST MANAGEMENT PRACTICES IN IMPLEMENTING A SUCCESSFUL EROSION CONTROL PLAN.

CHRISTOPHER A. POTTS, P.E.
 REGISTERED ENGINEER NO. 73842
 STATE OF FLORIDA

KEVIN J. BESSOLO
 AUTHORIZED AGENT ON BEHALF OF
 RETIREMENT TWO, LLC

CLIENT APPROVAL:
 SIGNATURE: _____
 DATE: _____

TITAN ALF & MC CENTER
 AVENIDA CENTRAL & ALVAREZ AVENUE
 THE VILLAGES, FL

ISSUED
 DATE: _____ ISSUED FOR: _____

CHRISTOPHER A. POTTS
 LICENSE # 73842

REVISIONS
 NO. DATE DESCRIPTION
 1 7/17/14 [REDACTED]
 2 8/2/14 [REDACTED]

PROJECT NO. [REDACTED]
 DRAWN BY [REDACTED]
 PROJECT MANAGER [REDACTED]
 CHECKED BY [REDACTED]
 DATE: 8/2/14
 SCALE: AS NOTED

E-1
 EROSION CONTROL PLAN

AUG 03 2014

BESSOLO
 DESIGN GROUP, INC.
 ARCHITECTURE • DEVELOPMENT
 License #AA-002117
 558 CENTRAL AVENUE
 ST. PETERSBURG, FL 33701
 727 894-4453 www.bessolo.com

LANDSCAPE SPECIFICATIONS

- The Contractor shall be responsible for getting all locates and for any repairs to existing improvements damaged by his work.
- All plants shall be Florida No. 1 or better, as outlined under Grades and Standards for Nursery Plants, Division of Plant Industries, State of Florida, current edition.
- All work shall be performed in accordance with standard and accepted nursery practices in a workmanlike manner; the Contractor shall be responsible for notifying the Landscape Architect of any conditions which would adversely affect the completed work.
- The Contractor shall be responsible for fine grading, 1/4", in all areas of the site to be landscaped. The Contractor is responsible for ensuring that surface drainage is not affected or hindered in any manner due to any reason.
- The Contractor shall be responsible for the thorough removal of existing vegetation and grass in the areas to be planted, including application of appropriate herbicides before and after plant installation. A pre-emergent herbicide approved by the Landscape Architect shall be applied in accordance with the manufacturer's instructions for all plant beds.
- Limerock, debris, and other unavailable materials shall be removed from the planting areas, and clean sandy fill used to bring all areas to proper grade. Soil used for planting shall consist of two parts of the existing soil and one part domestic peat moss (or sandy fill in heavy soils). Fertilizer shall be Agrifon tablets, incorporated into all shrub and tree planting pits per the manufacturer's instructions. Backfill shall consist of equal parts clean sandy fill and peat moss mix, well mixed.
- Refer to the Details for plant installation requirements. Care shall be taken to insure that all plants are set properly and the finish grade conforms to adjacent lawns, walks, pavement, etc. All plant beds shall be top-dressed with 3" pine straw mulch.
- The Landscape Architect reserves the right to field locate or review flagged locations of any or all proposed plantings. Locations of trees and plants shall be coordinated with irrigation head locations to insure proper coverage, including minor adjustments of plant and head locations as needed.
- Sod shall be clean, weed-free Zoysia 'Empire', as indicated in the areas shown on the plan. Sod shall be installed in a level, clean manner without noticeable grade differences, rough edges, or gaps. Sod shall be rolled, and staked as necessary to prevent erosion.
- No substitutions shall be permitted without prior approval from the Landscape Architect.
- All site areas which are not built upon or paved shall be landscaped, sodded, seeded, and/or mulched, unless left in a natural, undisturbed state.
- The Contractor shall be responsible for the thorough repair of existing grade, turf, landscaping, etc. damaged in the course of work.
- The Contractor is entirely responsible for the work until the job is in full and exact compliance and conforms with provisions expressed or implied in the plans and specifications and as otherwise directed and determined by the Landscape Architect. The Landscape Architect will inspect the work to insure that it complies as a condition for final payment to the Contractor.
- The Contractor is responsible for maintenance of the project during construction and shall bear all risk of loss, theft or damage to the project until all punchlist items are satisfactorily resolved and the job is officially turned over. Plantings shall be maintained by watering, removing dead branches, resetting plants to proper grades and upright positions, staking to ensure vertical growth, weeding, mowing, and any other operations necessary to complete maintenance, including the replacement of any material that exhibits visible and weighty evidence of "shocking" without full recovery prior to job completion and final inspection.
- Warranty: All new plant material, except trees, shall be guaranteed for 90 days, and shall be alive and in satisfactory condition at the end of the warranty period. Trees, Palms, and specimen plants shall be guaranteed for a period of 1 year. The warranty period shall commence upon the date of release of the retainage for the job, or for any defined phase of the job.
- At the end of the warranty period, and at any time during that period, any plant material that has died or is not in satisfactory condition as determined by the Owner and the Landscape Architect, shall be removed and replaced with new healthy material of the original specified size and type within 10 calendar days. Excluded are replacements of plants due to acts of God, theft, vandalism, or acts of negligence on the part of others, and due to deteriorated soil and/or drainage conditions which the Contractor documented to the attention of the Owner and Landscape Architect at the time of installation. The new material shall be guaranteed as outlined above, commencing the date that the job is accepted. The Contractor shall be responsible for the cost of all material and labor.

PLANT SCHEDULE

NOTE: Plant quantities are provided as a guide only. The contractor shall confirm total quantities as reflected by the plan.

Key	Qty	Plant Name	Size and Spacing	Maintenance
AS	575	Lily-of-the-Nile <i>Agapanthus africanus</i>	#1, full; 8-4 ppp min; 12" oc	24" ht x full mass; remove dead flower stalks
AI	41	African Iris, white <i>Dietsa vegeta</i>	#1, full; 8-4 ppp min; 3" oc	30" ht x full mass; remove dead flower stalks
BA	4	Banaroo <i>Barraxia multiplax 'Alphonse Karr'</i>	#1.5, 8" ht; 20+ canes; full; 3" oc	15" ht x full mass; control encroachment
BFL	207	Bleeberry Flax Lily <i>Dianella laevis</i>	#1, full; 30" oc	24" ht x full mass
BOP	5	Bird of Paradise <i>Strelitzia reginae</i>	#1.5, 36" x 36" min; full; 8 ppp; sun grown	Allow natural growth; maintain informally; remove dead foliage
BUL	347	Bulbine <i>Bulbine frutescens 'Hollander'</i>	#1, full; 2" oc	15" ht x full mass
CAM	5	Camellia <i>Camellia japonica</i>	#1.5, 4-5' ht x 2-3' spr; choose variety with max mature ht of 8-10'; mature specimen, var. may vary for sun/shade condition	8' ht x 6' spr
CL	2	Crimm Lily, white <i>Crimm spp.</i>	#1, 30" OA	Allow mature growth
CLL	8	Crimm Lily, white <i>Crimm spp.</i>	#1.5, 36" x 36" min; mature specimen	Allow mature growth
CHL	1	Crope Myrtle, lavender <i>Lagerströmia indica 'Makogee'</i>	#30, 14' x 4" ht x 3" spr; multi-trunk	25" ht x 20" spr; prune no more than 1/2" wood
DBH	48	Dwarf Barford Holly <i>Ilex cornuta 'Barford Nana'</i>	#1, 24-30" ht x 18-22" spr; 30" oc	5' ht x 3' full hedge; may be sheared
DCJ	2092	Dwarf Confederate Jasmine <i>Trachelospermum asiaticum 'Nina'</i>	#1, full; 15" runners; 5-1 runners min; 12" oc	10-15" ht, full mass; prevent intrusion into other plants
DTH	318	Dwarf Yaupon Holly <i>Ilex vomitoria 'Stokes Dwarf'</i>	#3, 10-12" ht x 14-16" spr; 30" oc	30" ht x full mass
EPFL	4	European Fan Palm <i>Chamaerops humilis</i>	Cont./B4/B; 3 trunks min; 5' ht OA; min trunk CT #2; mature specimen	Allow natural growth; control encroachment
EP	21	Ginger, pink <i>Alpinia henryi 'Pink Perfection'</i>	#1, full	Allow natural growth; maintain informally; remove dead foliage
LEG	664	Emerald Goddess Liriodopsis <i>Liriodopsis muscari 'Emerald Goddess'</i>	#1, full; 5-7 ppp min; 2" oc	18" ht x full mass
LSH	1	Little Gem Magnolia <i>Magnolia grandiflora 'Little Gem'</i>	Cont./B4/B; 13-14" ht x 6' spr; 4" cal	Allow natural growth; prune only for form or dead wood
LTT	1	Ligustrum, tree-type <i>Ligustrum japonicum</i>	B4/B; 8-12' ht x 7" spr; multi-trunk; 4" min open below	12" ht x 12" spr; 6-8' open below; prune informally; do not shear
MB	8	Leatherleaf Mahonia <i>Mahonia bealei</i>	#1.5, 18" ht x 15" spr; 2 canes min	Allow natural growth
MD	4	Madagascar Palm <i>Phoebastria madagascariensis</i>	B.R.; 16' CT; matched specimens; certified Madjools	Allow natural growth; prune any dead fronds
HXA	610	Hybrid Anemone	4" pot; full; 12" oc; huge; install subject available varieties for LA's selection	Replace all seasonally
ND	52	Heavenly Bamboo <i>Nandina domestica</i>	#1, 28" ht x 2" spr; 5 canes min	Allow natural growth
NP	1	Needle Palm <i>Rhaphidophyllum hystrix</i>	Cont./B4/B; 4' OA; mature specimen	Allow natural growth
PC	64	Plumbago <i>Plumbago capensis</i>	#3, 18" x 18"; 3" oc	4' ht x full mass; maintain informally; do not shear
PJ	144	Parson's Juniper <i>Juniperus chinensis 'Parson'</i>	#3, 8-10" ht x 18" spr; 3" oc	30" ht x full mass; maintain informally; do not shear
PM	38	Japanese Yew <i>Podocarpus macrophyllus</i>	Cont.; 4" ht x 2" spr; burgid, full and vigorous; 2" oc	6' ht x 3' full hedge; may be sheared
FR	1	Pygmy Date Palm <i>Phoenix roebelenii</i>	Cont./B4/B; 6' ht; 10' OA; single trunk; mature specimen	12' ht x 6' spr
PTRT	4	Pygmy Date Palm <i>Phoenix roebelenii</i>	Cont./B4/B; triple trunk; staggered hts; 6' OA; min trunk 2' OA; mature specimen	12' ht x 6' spr
PS	100	Split-leaf Philodendron <i>Philodendron sellowii</i>	#3, 18" ht x 18" spr; 3" oc	Allow natural growth; maintain informally
PSX	54	Philodendron 'Xanadu' <i>Philodendron</i>	#3, 18" ht x 24" spr; 30" oc	Allow natural growth; remove frost damage in spring
PSXR	2	Phoenix Sylvester x Reclinata	Cont./B4/B; 3 trunks; CT heights 12/12, 4/6; LA to approve prior to install	Allow natural growth; prune only dead fronds
QV	10	Live Oak <i>Quercus virginiana</i>	Cont./B4/B; 14-16" ht x 7-9" spr; 4" cal min	Allow natural growth; prune only for form or dead wood
RI	164	Indian Hawthorn, white <i>Raphirolepis indica 'Alba'</i>	#3, 12" ht x 18" spr; 3" oc	30" ht x full mass; maintain informally; do not shear
SP	45	Sabal Palm <i>Sabal palmetto</i>	B.R.; hurricane cut; Varying CT heights 14-30"	Allow natural growth; prune only dead fronds
SR	31	Saw Palmetto <i>Serenoa repens</i>	#1, 24" ht x 24" spr; 3" oc	Allow natural growth; maintain informally
V56	12	Variiegated Shell Ginger <i>Alpinia zerumbet 'Variegata'</i>	#3, 3' OA; shade-grown; 3" oc	Allow natural growth; maintain informally; remove dead foliage
ZF	213	Zamia Floridaana <i>Zamia floridana</i>	#3, full; 18" spr; 30" oc	Allow natural growth; prune only dead fronds
SOD		Zoysia 'Empire' <i>Zoysia japonica 'Empire'</i>		
MULGH		Pine Straw	3" depth	Refresh annually or as needed
ROCK		Smooth River Rock, Mixed sizes 3"-8"; Brown/Tan color	6" depth	

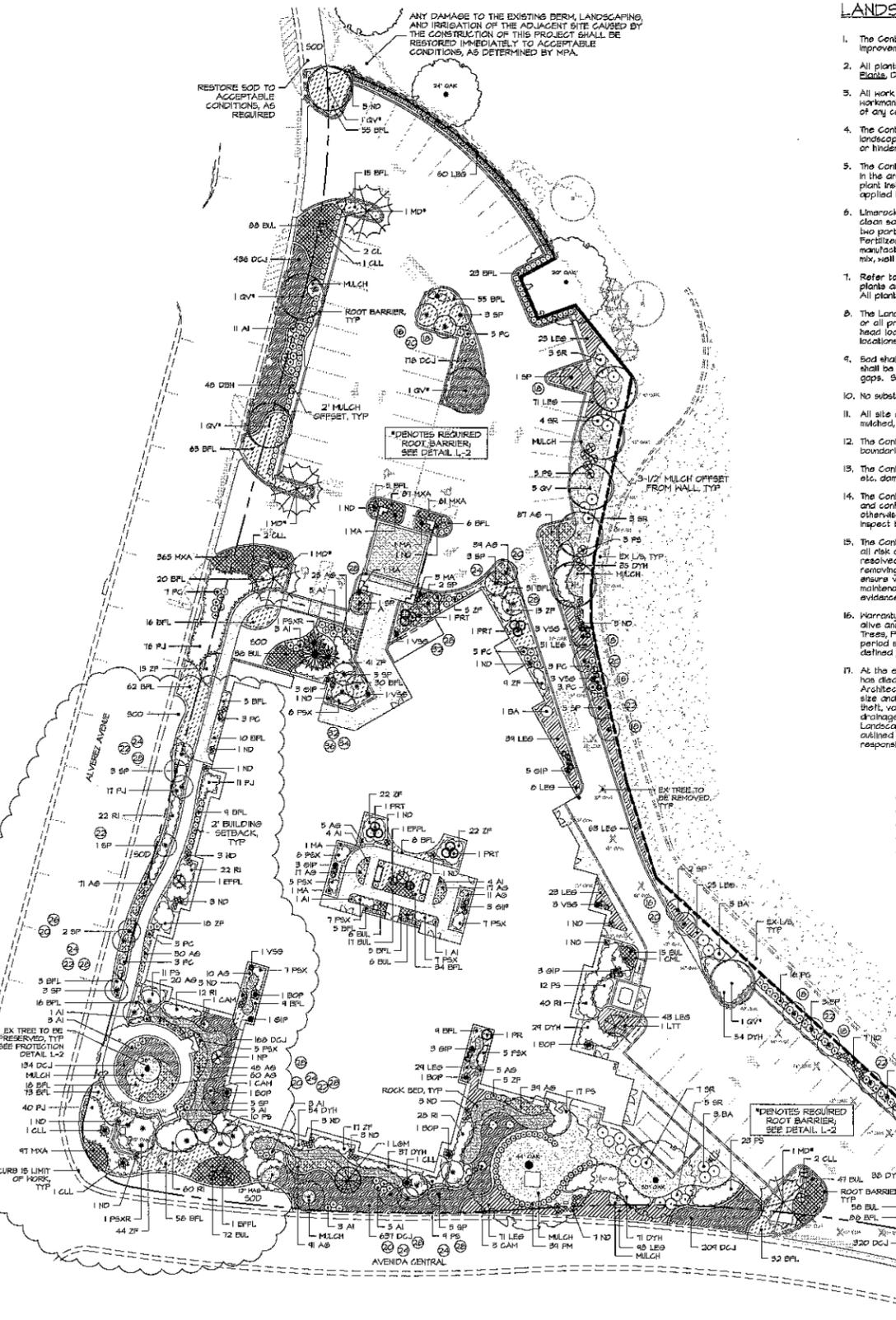
LANDSCAPE DATA

TREE REQUIREMENTS: 2.85 ACRES X 160' x 375' REQUIRED
 EXISTING TREES: 183'
 PROPOSED TREES: 48'
 CANOPY AND UNDERSTORY: 48'
 PALMS: 342'
 TOTAL EXISTING + PROPOSED: 625'

SEE SHEET 2 FOR ADDITIONAL DETAILS & INFORMATION



Michael Pape
 8/11/14



IMPORTANT! NOTICE TO CONTRACTORS:
 This project is within the jurisdiction of The Villages. Bidding on these landscape plans is subject to mandatory procedures under The Villages' design review authority. Bidding shall occur only under direction of The Villages' Design Review Committee to insure that all requirements have been met. Bids solicited, submitted or received otherwise, will not be qualified bids.
 Details about this process shall be obtained by contacting Michael Pape & Associates FA.

CLIENT APPROVAL:
 SIGNATURE: _____
 DATE: _____

TITAN ALF & MC CENTER
 AVENIDA CENTRAL & ALVAREZ AVENUE
 THE VILLAGES, FLORIDA

ISSUED
 DATE: _____ ISSUED FOR: _____

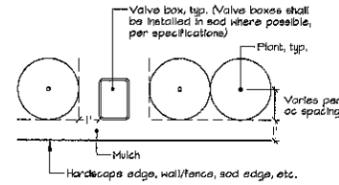
REVISIONS

NO.	DATE	DESCRIPTION
1	08/04/14	UPDATE PER TOLL 1 CIVIL REV

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 PROJECT MANAGER: SPB
 CHECKED BY: MPA
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 SCALE: 1"=30'

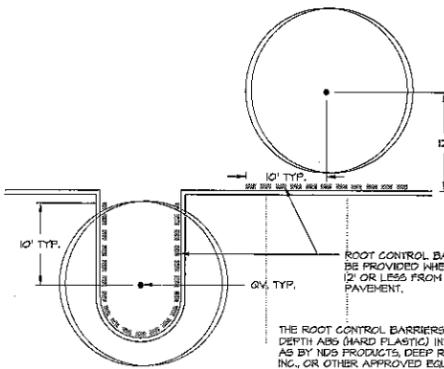
LS-1
 LANDSCAPE PLAN

BESSOLO
 DESIGN GROUP, INC.
 ARCHITECTURE • DEVELOPMENT
 License #AA-C002117
 556 CENTRAL AVENUE
 ST. PETERSBURG, FL 33701
 727 804-4453 www.bessolo.com

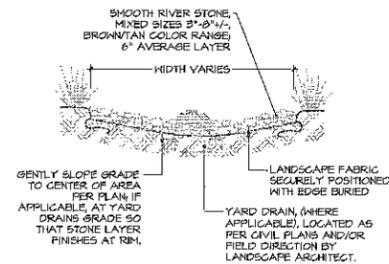


As shown on plan, all shrubs and groundcovers adjacent to curb/pavement, race track, wall/fence, building foundation, valve box/utility vault, etc., shall be installed with the plant center spaced an additional 1" from the edge, unless otherwise noted.

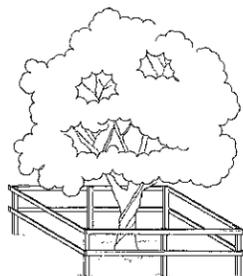
OFFSET DETAIL
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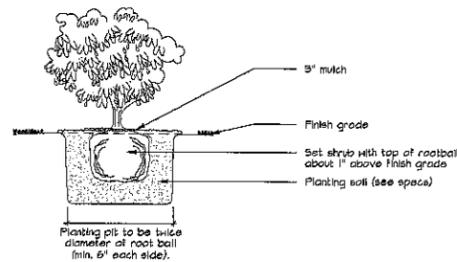
ROOT CONTROL BARRIER DETAIL
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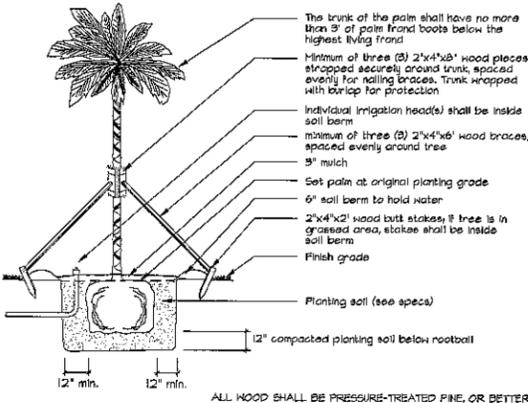
ROCK SWALE DETAIL



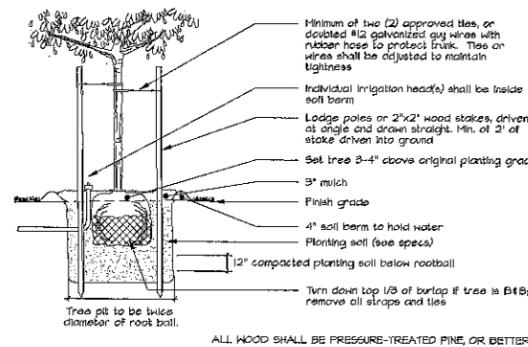
TREE PROTECTION DETAIL
 NOT TO SCALE



SHRUB INSTALLATION DETAIL

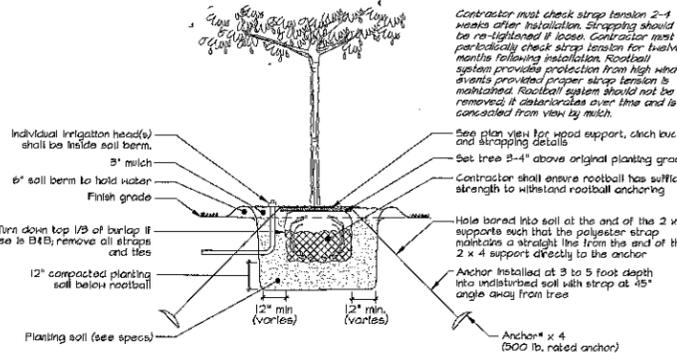
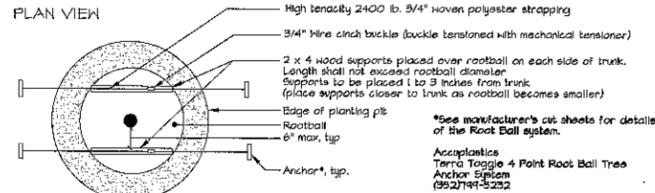


PALM INSTALLATION DETAIL



TREE INSTALLATION DETAIL

FOR MULTI-TRUNK TREES, TREES LESS THAN 3" CAL., OR CONTAINER TREES UP TO 30 GAL.



TREE INSTALLATION DETAIL
 FOR 3-4" CAL., 45-100 GAL. TREES OR B4B TREES UP TO 40" DIAMETER ROOTBALL.

SPECIAL REQUIREMENTS OF THE VILLAGES

- This plan has been approved by The Villages' Design Review Committee (DRC) and/or its Representative. No changes in the plan or the specifications shall occur without specific authorization of the DRC or its Representative, except that minor adjustments may be made to adjust for actual site conditions or on-site circumstances.
- This project is within the jurisdiction of The Villages. Bidding on these landscape plans is subject to mandatory procedures under The Villages' design review authority. Bidding shall occur only under direction of The Villages' Design Review Committee to insure that all requirements have been met. Bids solicited, submitted or received otherwise will not be qualified bids. Details about this process shall be obtained by contacting Michael Pape & Associates PA.
- Upon completion of the irrigation and landscape installation, the Parcel Developer and/or his representative shall contact The Villages to inspect the site to determine whether the completed job meets the form, intent, and quality called for in the approved final plans and specifications, and whether additional landscape measures may be required to meet The Villages' standards, in the opinion of the DRC's representative, due to conditions and circumstances that were not indicated by the submitted plans. The Parcel Developer shall be responsible for contacting The Villages to specifically request a landscape inspection by the DRC's representative, upon completion of the installation. Any deficiencies found by the DRC's representative will be identified in writing and submitted to the Parcel Developer, who shall then be responsible for immediately taking all corrective action necessary to remedy the deficiencies.
- The Owner and/or all successors and assigns, shall provide perpetual grounds maintenance to insure generally that all grounds and landscaped areas shall be kept free of trash, leaves and dead landscape material; all landscaped areas shall be maintained regularly, including trimming, fertilization, mowing, and replacement of diseased, damaged, or dead plant material as required; all annual/perennial bedding plants shall be replaced to maintain seasonal color; all irrigation systems shall be thoroughly inspected periodically, shall be kept in good repair, and shall be adjusted as necessary to provide continued proper coverage; all parking lots, sidewalks, and other areas shall be swept regularly and otherwise kept free from accumulations of grass clippings, leaves, and other debris; any exterior lighting shall be periodically checked, lamps replaced, and dimmers adjusted, as required. No trees shall be topped or unilaterally and abusively pruned at any time, and shall be subject to immediate replacement per the original plan if they were.
- Large Shade Tree Requirement Calculations:
 64 parking spaces
 1 large shade tree (Live Oak) per 3 spaces, first 30 spaces = 10 required
 1 large shade tree (Live Oak) per every 10 spaces above 30 = 2 required
 Total large shade trees = 12 required (10 provided)

INSTALLATION NOTES:

- NO CONSTRUCTION OR DEMOLITION IS PROPOSED FOR THIS SITE BEYOND WHAT IS SHOWN ON THIS PLAN.
- ALL EXCAVATED SOIL, DEBRIS, AND YARD WASTE SHALL BE PROPERLY DISPOSED OFF SITE.
- ALL TREES, SHRUBS, AND SOIL SHALL BE WATERED BY A 100% AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH A RAIN SENSOR DEVICE PURSUANT TO F.S. CHAPTER 57B. LANDSCAPING SHALL CONFORM GENERALLY TO WATER-EFFICIENT DESIGN PRINCIPLES, INCLUDING THE USE OF NATIVE AND/OR DROUGHT TOLERANT SPECIES. ALL IRRIGATION ZONES SHALL BE "MODERATE WATER USE".
- THE IRRIGATION WATER SOURCE SHALL BE A 1/2" POTABLE METER.
- ALL SITE AREAS WHICH ARE NOT BUILT UPON OR PAVED SHALL BE LANDSCAPED, SODDED, SEED, AND/OR MULCHED UNLESS LEFT IN A NATURAL UNDISTURBED STATE.
- ALL PLANT MATERIAL SHALL BE EQUAL TO OR EXCEED THE GRADE OF FLORIDA III AS PER "GRADES AND STANDARDS FOR NURSERY PLANTS", STATE OF FLORIDA, LATEST EDITION.
- ALL LANDSCAPING SHALL BE INSTALLED IN A PROFESSIONAL MANNER FOLLOWING ACCEPTABLE NURSERY PRACTICES AS SET BY THE FLORIDA NURSERY, GROWERS AND LANDSCAPE ASSOCIATION, FINSA.
- THE OWNER, INCLUDING SUCCESSORS AND ASSIGNS, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING ON-SITE AND THE GRASSED RIGHTS-OF-WAY.
- THE OWNER RESERVES THE RIGHT TO ADD UNREQUIRED LANDSCAPING, UPGRADE MINIMUM SIZES, AND MAKE OTHER IMPROVEMENTS TO THE INSTALLED LANDSCAPING.

FINAL INSPECTION AND JOB CLOSEOUT PROCEDURES

- A final inspection shall be scheduled only when all work is complete per the plan and specifications. The following documents shall be submitted to MPA and determined to be in complete and acceptable condition before the final inspection will be scheduled:
 - Full size Landscape Plan with any significant deviations from the original plan to be noted on clean copies of the original Landscape Plan in a clean neat and professional manner with black indelible ink. (2 copies)
 - Full size, as-built Irrigation Plan. The Contractor shall record dimensional locations of mainlines, wiring, valves and specific areas watered by each zone along with the zone/valve number and gallonage of each zone. This information and any significant deviations from the original plan shall be noted on clean copies of the irrigation plan in a clean neat and professional manner with black indelible ink. (2 copies)
 - Zone Schedule and Operating Times enclosed with manual.
 - Confirmation that zones are properly identified on the chart mounted inside the controller, with standardized designations and clear area locations.
 - Irrigation Operations Manual containing all operational information, directions, manufacturer's manuals, warranties, and cut sheets or catalog pages for the major system components in a three ring binder. (2 copies)
 - Hazardous Statement (with blanks for dates to be filled in by MPA at Final Turnover). (2 copies)
 - Contractor's Affidavits and Lien Releases
- The Contractor shall provide a minimum of two personnel for the final inspection. The owner or other senior person shall accompany the Landscape Architect's representative during the inspection, and another qualified employee shall be stationed at the irrigation controller, fully capable of operating it per instructions given via radio during the inspection. The final inspection will be canceled if this requirement is not met.
- During the inspection, the Contractor shall be responsible for taking thorough notes on all deficiencies identified, to insure that they are properly addressed and corrected. Minor deficiencies that are immediately corrected by the Contractor's personnel, may not be included on the punchlist. The Contractor shall not rely on the punchlist to begin correcting the noted deficiencies, as the punchlist may take up to one week to be prepared and issued. Rather, the Contractor shall rely on his own notes from the final inspection to begin making the required corrections as soon as possible, and in no instance shall these corrections take longer than 7 calendar days allowed to complete all punchlist requirements.
- The punchlist will be issued by MPA to the Contractor. Re-inspections will be conducted if required. A maximum of 14 calendar days is allowed for punchlist completion. Liquidated damages may be assessed if this is neglected. Reinspection shall be requested by the Contractor when the punchlist is complete. The reinspection may be handled informally by the Landscape Architect, or with the Contractor's attendance required, at the sole discretion of the Landscape Architect.
- When the punchlist is complete as determined by the reinspection, the turnover will be confirmed via memo to the Landscape Architect, and the Contractor's Affidavit shall be forwarded to the Landscape Architect and the original copy mailed to the Landscape Architect within three days of the turnover memo date.

IMPORTANT! NOTICE TO CONTRACTORS:

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Details about this process shall be obtained by contacting Michael Pape & Associates PA.

Michael Pape
 8/11/14

CLIENT APPROVAL:
 SIGNATURE: _____
 DATE: _____

TITAN ALF & MC CENTER
 AVENIDA CENTRAL & ALVAREZ AVENUE
 THE VILLAGES, FLORIDA

ISSUED

DATE:	ISSUED FOR:

REVISIONS

NO:	DATE:	DESCRIPTION
1	08/11/14	UPDATE PER TOLL & CIVIL REV

PROJECT NO.:	107409
DRAWN BY:	SPS
PROJECT MANAGER:	SPS
CHECKED BY:	MJE
DATE:	01-09-14
SCALE:	1"=30'

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 ST. PETERSBURG, FL 33701
 727-894-4453 www.bessolo.com

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM
1	Rain Bird PEB	1"	Shrub Spray	4.7
2	Rain Bird PEB	1-1/2"	Shrub Spray	24.1
3	Rain Bird PEB	1-1/2"	Shrub Spray	42.5
4	Rain Bird PEB	1"	Shrub Spray	14.6
5	Rain Bird PEB	1"	Tree Spray	TBD
6	Rain Bird PEB	1"	Shrub Spray	15.2
7	Rain Bird PEB	1-1/2"	Shrub Spray	34.4
8	Rain Bird PEB	1-1/2"	Shrub Spray	44.9
9	Rain Bird PEB	1"	Shrub Spray	12.1
10	Rain Bird PEB	1-1/2"	Shrub Spray	30.0
11	Rain Bird PEB	1-1/2"	Shrub Spray	44.7
12	Rain Bird PEB	1"	Shrub Spray	TBD
13	Rain Bird PEB	1-1/2"	Sod Spray	45.9
14	Rain Bird PEB	1-1/2"	Shrub Spray	44.5
15	Rain Bird PEB	1"	Sod Spray	6.74
16	Rain Bird PEB	1-1/2"	Shrub Spray	30.0
17	Rain Bird PEB	1"	Annual Spray	6.2
18	Rain Bird PEB	1-1/2"	Shrub Spray	16.6
19	Rain Bird PEB	1-1/2"	Shrub Spray	23.0

IRRIGATION SLEEVING LEGEND

- (A) = (1) 4" SLEEVE
(2) 4" SLEEVE
- (B) = (1) 4" SLEEVE
(1) 2" SLEEVE
- (C) = (1) 2" SLEEVE

INSTALLATION NOTES:

- NO CONSTRUCTION OR DEMOLITION IS PROPOSED FOR THIS SITE BEYOND WHAT IS SHOWN ON THIS PLAN.
- ALL EXCAVATED SOIL, DEBRIS, AND YARD WASTE SHALL BE PROPERLY DISPOSED OF OFF SITE.
- ALL TREES, SHRUBS, AND SOD SHALL BE WATERED BY A 100% AUTOMATIC IRRIGATION SYSTEM EQUIPPED WITH A RAIN SENSOR DEVICE PURSUANT TO F.S. CHAPTER 37B. LANDSCAPING SHALL CONFORM GENERALLY TO WATER-EFFICIENT DESIGN PRINCIPLES, INCLUDING THE USE OF NATIVE AND/OR DROUGHT TOLERANT SPECIES. ALL IRRIGATION ZONES SHALL BE MODERATE WATER USE.
- THE IRRIGATION WATER SOURCE SHALL BE A 1-1/2" POTABLE METER.
- ALL SITE AREAS WHICH ARE NOT BUILT UPON OR PAVED SHALL BE LANDSCAPED, SODDED, SEEDED, AND/OR MULCHED, UNLESS LEFT IN A NATURAL, UNDISTURBED STATE.
- ALL PLANT MATERIAL USED SHALL BE EQUAL TO OR EXCEED THE GRADE OF FLORIDA #1 AS PER "GRACES AND STANDARDS FOR NURSERY PLANTS" STATE OF FLORIDA, LATEST EDITION.
- ALL LANDSCAPING SHALL BE INSTALLED IN A PROFESSIONAL MANNER FOLLOWING ACCEPTABLE NURSERY PRACTICES AS SET BY THE FLORIDA NURSERY, GROWERS AND LANDSCAPE ASSOCIATION, FNGLA.
- THE OWNER, INCLUDING SUCCESSORS AND ASSIGNS, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING ON-SITE AND THE GRASSED RIGHTS-OF-WAY.
- THE OWNER RESERVES THE RIGHT TO ADD NONREQUIRED LANDSCAPING, UPGRADE MINIMUM SIZES, AND MAKE OTHER IMPROVEMENTS TO THE INSTALLED LANDSCAPING.

*FIELD ADJUSTMENTS WILL BE REQUIRED TO THE IRRIGATION SYSTEM FOR THIS ADDED FEATURE.

SEE SHEET 2 FOR ADDITIONAL INFORMATION

IMPORTANT NOTICE TO CONTRACTORS:

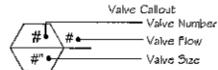
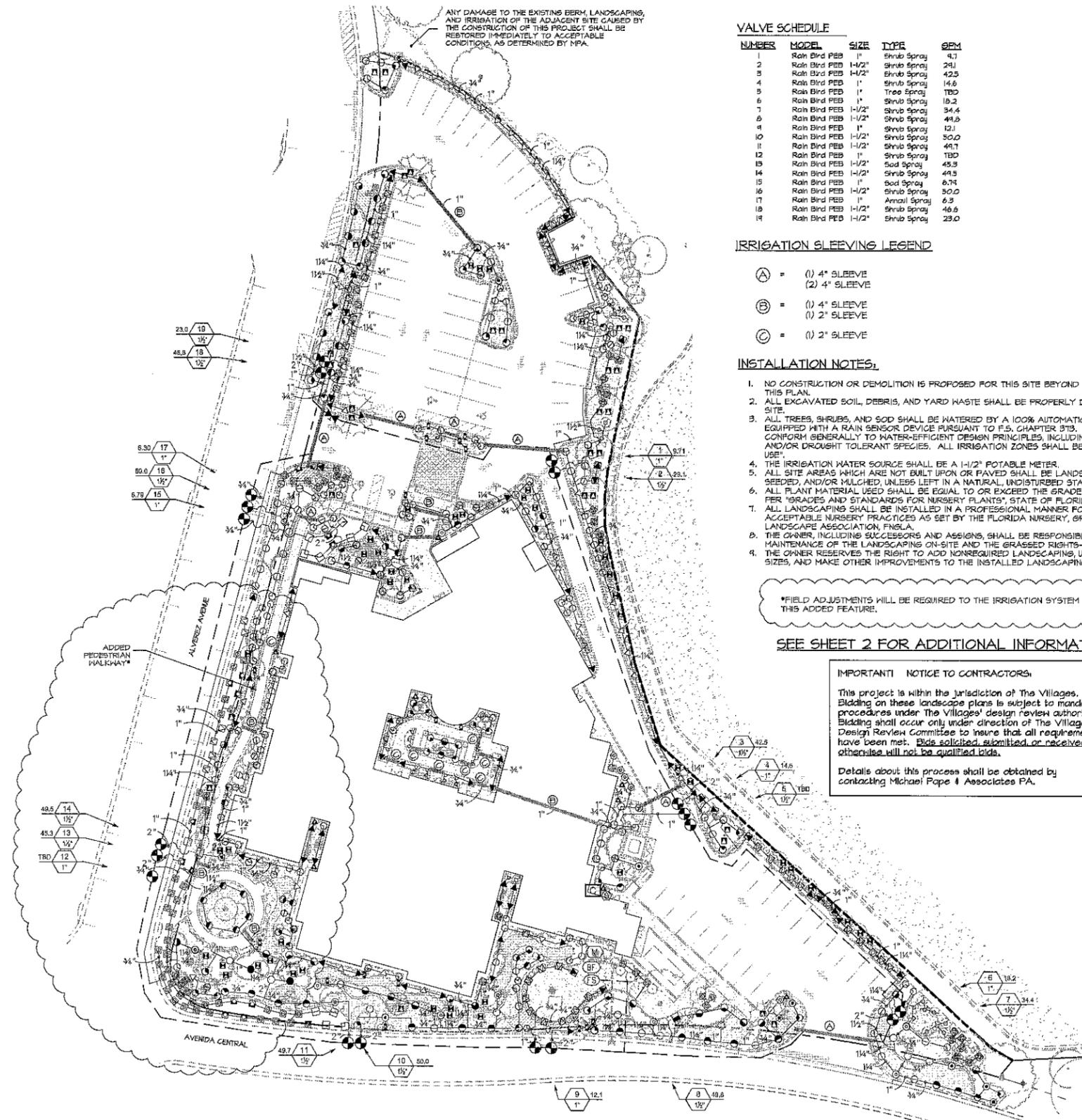
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Details about this process shall be obtained by contacting Michael Pape & Associates PA.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	ARC	PSI	GPM	RADIUS
■	Rain Bird 180G-PRS 15 Strip Series	EST	30	0.61	4x15'
□	Rain Bird 180G-PRS 15 Strip Series	55T	30	1.21	4x30'
◇	Rain Bird 180G-PRS 5 Series MPR	90	30	0.10	5'
⊕	Rain Bird 180G-PRS 5 Series MPR	180	30	0.52	6'
⊗	Rain Bird 180G-PRS 5 Series MPR	90	30	0.26	6'
⊙	Rain Bird 180G-PRS 5 Series MPR	120	30	0.35	6'
⊚	Rain Bird 180G-PRS 10 Series MPR	180	30	0.79	10'
⊛	Rain Bird 180G-PRS 10 Series MPR	90	30	0.39	10'
⊜	Rain Bird 180G-PRS 12 Series MPR	180	30	1.30	12'
⊝	Rain Bird 180G-PRS 12 Series MPR	90	30	0.65	12'
⊞	Rain Bird 180G-PRS 12 Series MPR	120	30	0.67	12'
⊟	Rain Bird 180G-PRS 15 Series MPR	180	30	1.85	15'
⊠	Rain Bird 1812-PRS 15 Strip Series	EST	30	0.61	4x15'
⊡	Rain Bird 1812-PRS 15 Strip Series	55T	30	1.21	4x30'
⊣	Rain Bird 1812-PRS 5 Series MPR	180	30	0.20	5'
⊤	Rain Bird 1812-PRS 5 Series MPR	90	30	0.10	5'
⊥	Rain Bird 1812-PRS 5 Series MPR	160	30	0.52	6'
⊦	Rain Bird 1812-PRS 5 Series MPR	90	30	0.26	6'
⊧	Rain Bird 1812-PRS 5 Series MPR	120	30	0.35	6'
⊨	Rain Bird 1812-PRS 10 Series MPR	180	30	0.79	10'
⊩	Rain Bird 1812-PRS 10 Series MPR	90	30	0.39	10'
⊪	Rain Bird 1812-PRS 10 Series MPR	120	30	0.53	10'
⊫	Rain Bird 1812-PRS 12 Series MPR	360	30	2.60	12'
⊬	Rain Bird 1812-PRS 12 Series MPR	160	30	1.30	12'
⊭	Rain Bird 1812-PRS 12 Series MPR	90	30	0.65	12'
⊮	Rain Bird 1812-PRS 12 Series MPR	120	30	0.67	12'
⊯	Rain Bird 1812-PRS 12 Series MPR	270	30	1.95	12'
⊰	Rain Bird 1812-PRS 15 Series MPR	360	30	3.70	15'
⊱	Rain Bird 1812-PRS 15 Series MPR	180	30	1.85	15'
⊲	Rain Bird 1812-PRS 15 Series MPR	90	30	0.92	15'
⊳	Rain Bird 1812-PRS 15 Series MPR	120	30	1.23	15'
⊴	Rain Bird 1812-PRS 15 Series MPR	270	30	2.78	15'
⊵	Rain Bird 1812-PRS 12 Series HE VAN	Adj	30		12'
⊶	Rain Bird 1812-PRS 15 Series HE VAN	Adj	30		15'
⊷	Rain Bird 1812-PRS 5 Series VAN	Adj	30		6'
⊸	Rain Bird 1812-PRS 10 Series VAN	Adj	30		10'
⊹	Rain Bird 180G-PRS 5 Series Stream	160	30	0.50	1x10'
⊺	Rain Bird 180G-PRS 2.55Q	180	30	0.20	2.5'
⊻	Two Rain Bird 180G-PRS 2.55Q	360	30	0.20	2.5'
⊼	Rain Bird 1401 Bubbler	360	30	0.25	1'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
⊕	Rain Bird PEB in 1 2"x1 2"x1 7" valve box
⊗	Nibco T-113 2" Isolation Valve in 1 7"x2 1 1/2" valve box
⊙	Wilcox 975XL 1-1/2" Backflow Preventer
⊚	Rain Bird ESP20UMEP 20 Station Controller
⊛	Rain Bird RSD-BE Rain Sensor
⊜	Rain Bird 150PEB master valve and F5150P flow sensor in separate 1 7"x2 1 1/2" valve boxes
⊝	Water Meter 1-1/2" to produce 50 gpm @ 55 psi
⊞	Irrigation Lateral Line: PVC Class 1 GD SDR 26
⊟	Irrigation Mainline: PVC 2" Class 1 GD SDR 21
⊠	Irrigation Sleeve: PVC Schedule 40



48 HOURS BEFORE YOU DIG
 CALL SUNSHINE
 1-800-432-4770
 IT'S THE LAW IN FLORIDA

Crawford Irrigation Design, Inc.
 IRRIGATION DESIGN AND CONSULTATION SERVICES
 Edgewater, Florida EMAIL: CID@atlantia.net
 Tel: (386)-424-0021



SCALE: 1"=30'

Michael Pape
 8/11/14

CLIENT APPROVAL:
 SIGNATURE: _____
 DATE: _____

TITAN ALF & MC CENTER
 AVENIDA CENTRAL & ALVAREZ AVENUE
 THE VILLAGES, FLORIDA

ISSUED

DATE:	ISSUED FOR:

REVISIONS

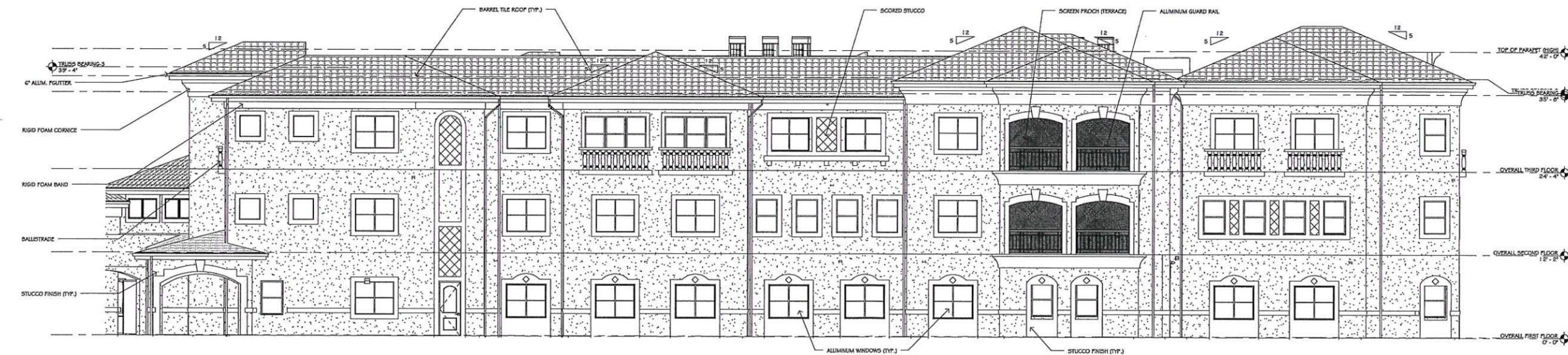
NO.	DATE:	DESCRIPTION
001/14	08/11/14	UPDATE PER TOLL & CIVIL REV

PROJECT NO: 082420
 DRAWN BY: SJB
 PROJECT MANAGER: BJB
 CHECKED BY: JPC
 DATE: 07-09-14
 SCALE: 1"=30'

IR-1
 IRRIGATION PLAN



1 EXTERIOR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - WEST
SCALE: 1/8" = 1'-0"

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AUG 07 2014

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AIA 12069
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SIGNATURE: _____
DATE: _____

TITAN SENIOR LIVING ALF &
MEMORY CARE
930 ALVAREZ AVENUE
THE VILLAGES, FL 32159

ISSUED

DATE	ISSUED FOR:
11-06-13	SCHEMATIC DESIGN #1
12-05-13	SCHEMATIC DESIGN #2
03-07-14	DESIGN DEVELOPMENT
07-10-14	DESIGN DEVELOPMENT #2

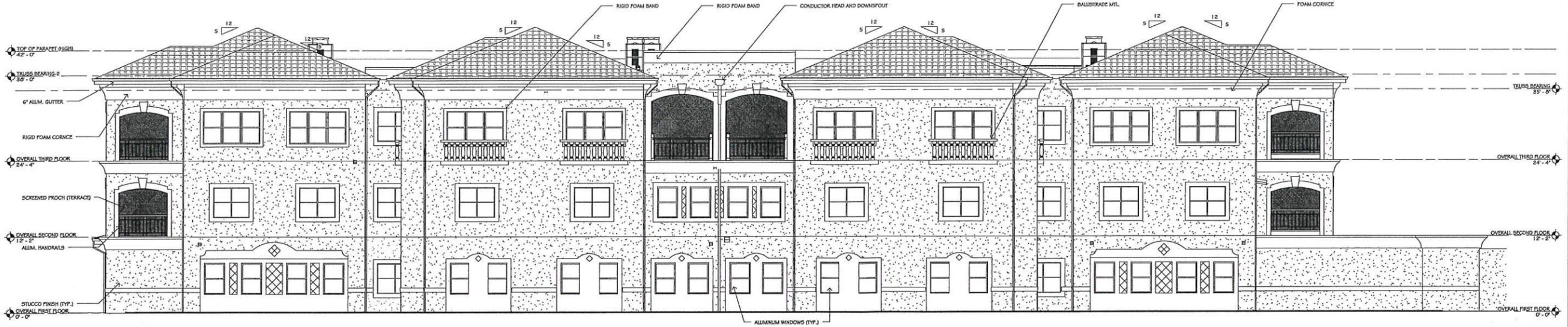
REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO.: 13050.00
DRAWN BY: DC
PROJECT MANAGER: DJ
CHECKED BY: KB
DATE: 07-24-13
SCALE: As indicated

NOTES
1. ALL GLASS USED FOR THIS PROJECT SHALL HAVE A VISIBLE LIGHT TRANSMITTANCE (VLT) OF 35% OR GREATER, AND A VISIBLE LIGHT REFLECTANCE (VLR) OF LESS THAN 15%.

A201
EXTERIOR ELEVATIONS



1 EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION - EAST
SCALE: 1/8" = 1'-0"

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SIGNATURE: _____
DATE: _____

TITAN SENIOR LIVING ALF
MEMORY CARE
930 ALVAREZ AVENUE
THE VILLAGES, FL 32159

ISSUED FOR:

DATE	ISSUED FOR:
11-06-13	SCHEMATIC DESIGN #1
12-05-13	SCHEMATIC DESIGN #2
03-07-14	DESIGN DEVELOPMENT
07-10-14	DESIGN DEVELOPMENT #2

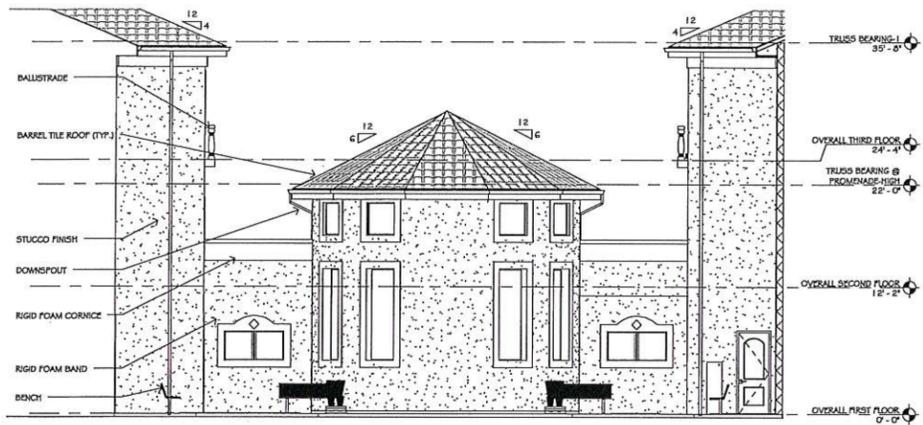
REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO.	13090.00
DRAWN BY:	CCG
PROJECT MANAGER:	DJ
CHECKED BY:	KJB
DATE:	07-24-13
SCALE:	As Indicated

NOTES
1. ALL GLASS USED FOR THIS PROJECT SHALL HAVE A VISIBLE LIGHT TRANSMITTANCE (VLT) OF 35% OR GREATER, AND A VISIBLE LIGHT REFLECTANCE (VLR) OF LESS THAN 15%.

A202
EXTERIOR ELEVATIONS



1 NORTH COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



2 EAST COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



3 SOUTH COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"



4 WEST COURTYARD ELEVATION

SCALE: 1/8" = 1'-0"

NOTES

1. ALL GLASS USED FOR THIS PROJECT SHALL HAVE A VISIBLE LIGHT TRANSMITTANCE (VLT) OF 35% OR GREATER, AND A VISIBLE LIGHT REFLECTANCE (VLR) OF LESS THAN 15%.

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AUG 07 2014

REVIEWED BY: BESSOLO
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CLIENT APPROVAL

SIGNATURE: _____

DATE: _____

TITAN SENIOR LIVING ALF & MEMORY CARE

930 ALVAREZ AVENUE
 THE VILLAGES, FL 32119

ISSUED

DATE	ISSUED FOR:
11-06-13	SCHEMATIC DESIGN #1
12-05-13	SCHEMATIC DESIGN #2
03-07-14	DESIGN DEVELOPMENT
07-10-14	DESIGN DEVELOPMENT #2

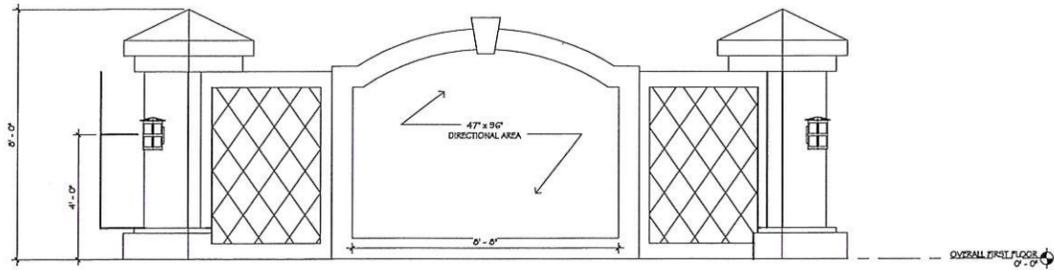
REVISIONS

NO.	DATE	DESCRIPTION

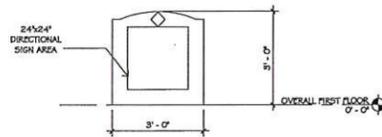
PROJECT NO.:	13050.00
DRAWN BY:	cc
PROJECT MANAGER:	DU
CHECKED BY:	KJB
DATE:	07-24-13
SCALE:	As indicated

A203

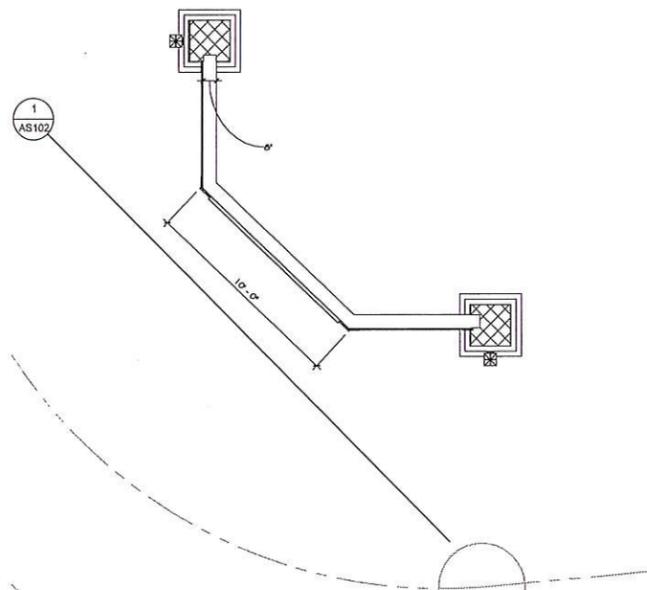
EXTERIOR ELEVATIONS



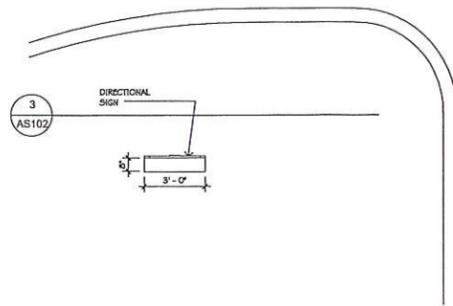
1 TITAN SENIOR LIVING MONUMENT SIGN ELEVATIONS
SCALE: 3/8" = 1'-0"



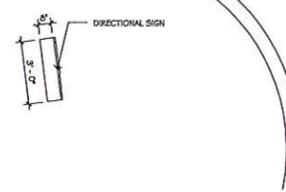
3 TITAN SENIOR LIVING DIRECTION SIGN #1 ELEVATIONS
SCALE: 3/8" = 1'-0"



2 TITAN SENIOR LIVING MONUMENT SIGN PLAN
SCALE: 1/4" = 1'-0"



3A TITAN SENIOR LIVING DIRECTION SIGN #1 PLAN
SCALE: 1/4" = 1'-0"



4 TITAN SENIOR LIVING DIRECTION SIGN #2 PLAN
SCALE: 1/4" = 1'-0"

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ST. PETERSBURG, FL 33701
727-894-4453 www.bessolo.com

AUG 07 2014
REVIN J. BESSOLO
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CLIENT APPROVAL
SIGNATURE: _____
DATE: _____

TITAN SENIOR LIVING ALF #
MEMORY CARE
980 ALVAREZ AVENUE
THE VILLAGES, FL 32159

ISSUED	
DATE:	ISSUED FOR:
11-06-13	SCHEMATIC DESIGN #1
12-05-13	SCHEMATIC DESIGN #2
03-07-14	DESIGN DEVELOPMENT
07-10-14	DESIGN DEVELOPMENT #2

REVISIONS		
NO:	DATE:	DESCRIPTION:

PROJECT NO: 13050.00
DRAWN BY: Author
PROJECT MANAGER: Approver
CHECKED BY: Checker
DATE: 07-24-13
SCALE: As indicated

AS102
SITE DETAIL MONUMENT AND
DIRECTION SIGNS



PS
5

TOWN COMMISSION AGENDA ITEM

REQUESTED COMMISSION MEETING DATE: August 19th, 2014

SUBJECT: Presentation and Discussion of Wastewater and Reuse Master Plan Study

DEPARTMENT: Public Works - Utilities

STAFF RECOMMENDED MOTION: N/A – Presentation and Discussion

SUMMARY: On November 4th, 2013 the Town Commission approved the study of the Town's Wastewater and Reuse Systems for the development of a Master Plan. Town Engineer, Jason Shepler with Mittauer and Associates has completed the study and will present the recommendations to Town Commission for discussion.

FISCAL IMPACT: N/A

- Capital Budget
- Operating
- Other- Contingency Funds

ATTACHMENTS: Ordinance Resolution Budget Resolution
 Other – *Draft Master Plan*
 Support Documents

DEPARTMENT HEAD Submitted  Date: 8/12/2014
HR Approved as to Form Date

FINANCE DEPARTMENT Approved as to Budget Requirements Date

TOWN MANAGER  Approved Agenda Item for: 8/19/14 Date 8/12/14

COMMISSION ACTION:
 Approved as Recommended Disapproved Tabled Indefinitely
 Continued to Date Certain Approved with Modification

Note: The Draft Wastewater and Reuse Master Plan is available for viewing in the Town Clerk's Office.