



## SPECIAL MEETING OF THE LADY LAKE TOWN COMMISSION

**DATE:** Monday, April 20, 2015  
**TIME:** 5:00 p.m.  
**PLACE:** 409 Fennell Blvd.  
Town Hall Commission Chambers

ALL INTERESTED PERSONS ARE CORDIALLY INVITED TO ATTEND THIS PUBLIC MEETING

### AGENDA

1. Call to Order: Mayor Ruth Kussard
2. Roll Call
3. Public Comment
4. Conceptual Presentation for the Church of St. Alban's (Anglican), Inc. – Proposal to Submit a Sign Variance Application Requesting Wall Signage to be Placed on the Rear of the Building Where There is No Public Entrance – Located at 625 West Lady Lake Blvd. (Thad Carroll)
5. Conceptual Presentation for the Auto Zone Store Major Modification – MJM 03/15-002 – A Development Consisting of a 6,815 Sq. Ft. Automotive Parts Retail Building – To Be Located at 213 West Hermosa Street (Formerly the Northcott Center Site) (Thad Carroll)
6. Conceptual Presentation for the Lumen Park at Lady Lake Major Site Plan Application – MJSP 04/15-001 – Proposing a Main Assisted/Independent Living Facility Building of Approximately 151,790 Sq. Ft. With a Total of 129 Units for Phase 1, and a 120,000 Sq. Ft. Building With 100 Units for Phase 2 – Located at 1175 Highway 466, Approximately 1,000 ft. East of the Sumter County Line (Thad Carroll)
7. Adjourn

This public hearing is being conducted in a handicapped accessible location. Any handicapped person requiring an interpreter for the hearing impaired or the visually impaired should contact the Clerk's Office at least five (5) calendar days prior to the meeting and an interpreter will be provided. To access a Telecommunication Device for Deaf Persons (TDD), please call (352) 751-1565. Any handicapped person requiring special accommodation at this meeting should contact the Clerk's Office at least five (5) calendar days prior to the meeting. Advice to the Public: If a person decides to appeal a decision made with respect to any matter considered at the above meeting or hearing, he may need a verbatim record of the proceedings including the testimony and evidence which record is not proved by the Town of Lady Lake. (F.S. 286-0105) Please be advised that one or more members of any other Town Board or Committee may be in attendance of this meeting.



## TOWN COMMISSION SPECIAL WORKSHOP AGENDA ITEM

REQUESTED COMMISSION MEETING DATE: April 20, 2015

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**SUBJECT:** Conceptual Presentation for the St. Alban's Anglican Church - Proposal to submit for a Sign Variance application requesting wall signage to be placed on the rear of the building where there is no public entrance- Located at 625 West Lady Lake Blvd. (Alternate Key 1610958).

**DEPARTMENT:** GROWTH MANAGEMENT

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### STAFF RECOMMENDATION:

Town Staff is requesting feedback from the Town Commission to advise and direct applicant on the next step.

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### SUMMARY:

The Church of St. Alban's (Anglican) Inc. is the property owner of a .33-acre parcel located at 625 West Lady Lake Blvd., in the Vicinity of Highway 466 and Rolling Acres Road. The property was annexed in 2011, received a Development Order for commencement of construction of the church in September 2013, and received a final Certificate of Occupancy on the building on September 30, 2014.

Harry W. Hennessey, a member of the church's Vestry, would like to acquire feedback from the Town Commission in the likelihood of approval of a variance before submitting a wall signage variance application pursuant to *Chapter 17, Section 4.b.2.E* to request to place a sign on the rear of the building. When a sign contractor submitted for permitting, they found a discrepancy between the Town-approved Sign Elevations and the sign shown on the construction drawings. The Town-approved Sign shows on the West elevation of the building while the sign proposed on the construction plans show the sign on the rear of the building which would be the north elevation facing Hwy 466; where there is not a public entrance.

In an enclosed letter dated April 2, 2015, Mr. Hennessey cited the following four (4) reasons as to why the Church believes the sign would be better served on the proposed location:

1. The north elevation faces Hwy 466 and provides an unobstructed, albeit somewhat distant, visibility from the road; which is high traffic and many passing people could see the sign.
2. The West location is at right angles to Lady Lake Blvd., and would have very few opportunities to be seen.
3. The West end of the church is the location of the sewer lift station and of several air conditioning units, which are fenced for security. These fences obscure the sign area on the West end, when viewed from Lady Lake Blvd.
4. Required trees required partially obscure the sign area on the West wall.

Please find within your packets the following items:

- Town Approved Exterior Building Elevations
- Proposed Sign Location

The applicant is expected to submit variance application in accordance with the direction of the Town Commission

FISCAL IMPACT: \$ \_\_\_\_\_

- Capital Budget
- Operating
- Other

ATTACHMENTS:  Ordinance(s)  Resolution  Budget Resolution

Other – Conceptual Discussion of Sign Proposal

Support Documents/Contracts Available for Review in Manager's Office

*JA* 4-13-15  
DEPARTMENT HEAD *[Signature]*

Submitted

*4/13/15*

Date

FINANCE DEPARTMENT

Approved as to Budget Requirements

Date

TOWN ATTORNEY

Approved as to Form and Legality

Date

TOWN MANAGER *[Signature]*

Approved Agenda Item for:

*4/20/15*

Date

*4/13/15*

BOARD ACTION:  Approved as Recommended  Disapproved

Tabled Indefinitely

Continued to Date Certain

Approved w/Modification



St. Alban's Anglican Church  
625 West Lady Lake Boulevard  
Lady Lake, Florida 32159  
352-343-8932

April 2, 2015

Mr. Thad Carroll  
Growth Management Director  
Town of Lady Lake  
409 Fennell Boulevard  
Lady Lake, FL. 32159

Dear Mr. Carroll:

St. Alban's Anglican Church has recently moved into its newly completed building at 625 W. Lady Lake Blvd. We have found a discrepancy between the Site Plan Drawing originally submitted to you for approval, and the construction drawings used to finish the building. The discrepancy is in the location of the exterior signage to be placed on the wall of the building. The approved Site Plan shows the sign on the West wall of the building. The construction plans show the sign on the North wall of the building.

We ask to come before the Town Commission to seek advice and feedback on the likelihood of approval of a request for a variance. Our funds are very limited, and it does not seem wise to begin the process of seeking a variance if we cannot be reasonably assured of the outcome in advance.

We believe the North wall location is necessary for the following reasons:

1. That side faces Co. Rd 466, and has unobstructed, albeit somewhat distant, visibility from that road. The intervening space is a water runoff retention area. This road has high traffic, and many passing people could see the sign.
2. The West location is at right angles to Lady Lake Blvd. That street is little-used as a through street, and consequently has very little traffic. The sign would have very few opportunities to be seen.
3. The West end of the church is the location of several air conditioning units, which are fenced for security. It is also the location of the sewer lift station we were required to construct, and fence for safety reasons. These fences obscure the sign area on the West end, when viewed from Lady Lake Blvd.
4. Trees on our property that the Town of Lady Lake required us to leave in place partially obscure the sign area on the West wall.

Churches, like most other organizations, need to grow to survive. We need to keep our presence before the public in the hope of inviting new members through all the means available to us. Thank you for your attention.

Sincerely,

Harry W. Hennessey  
Member of the Vestry

4/20

X X

# ST ALBANS ANGLICAN CHURCH

**JOBSITE COPY**

Town of Lady Lake  
Building Department Reviewed Plans

Any errors or omissions in these plans  
Shall be made to conform with applica-  
ble code requirements of the Florida  
Building Code and Florida Statutes.

Reviewed by: MS Date: 12-18-13  
Fire Review by: KE Date: 12-18-13

TABLE OF AREAS	
2,540	HVAC (ENCLOSED) AREA
49	ENTRY PORCH
2,589	TOTAL UNDER ROOF

9 / 19 / 2013

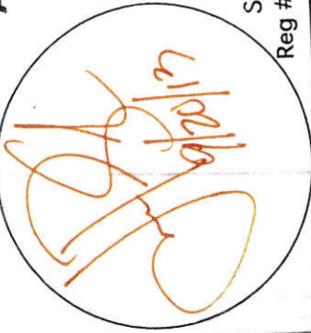
### COVER SHEET PROJECT INFO

### PERMIT APPLICATION SET

Designed By: James P. Senatore  
Drawn By: Chris Zipperer  
Drawing No: 2013.08

**C**

**James P. Senatore,  
Architect**



State of Florida  
Reg # AR 0006808

**St Alban's Anglican Church**  
265 Lady Lake Blvd, Lady Lake, Florida 32159

Design / Build Specialists

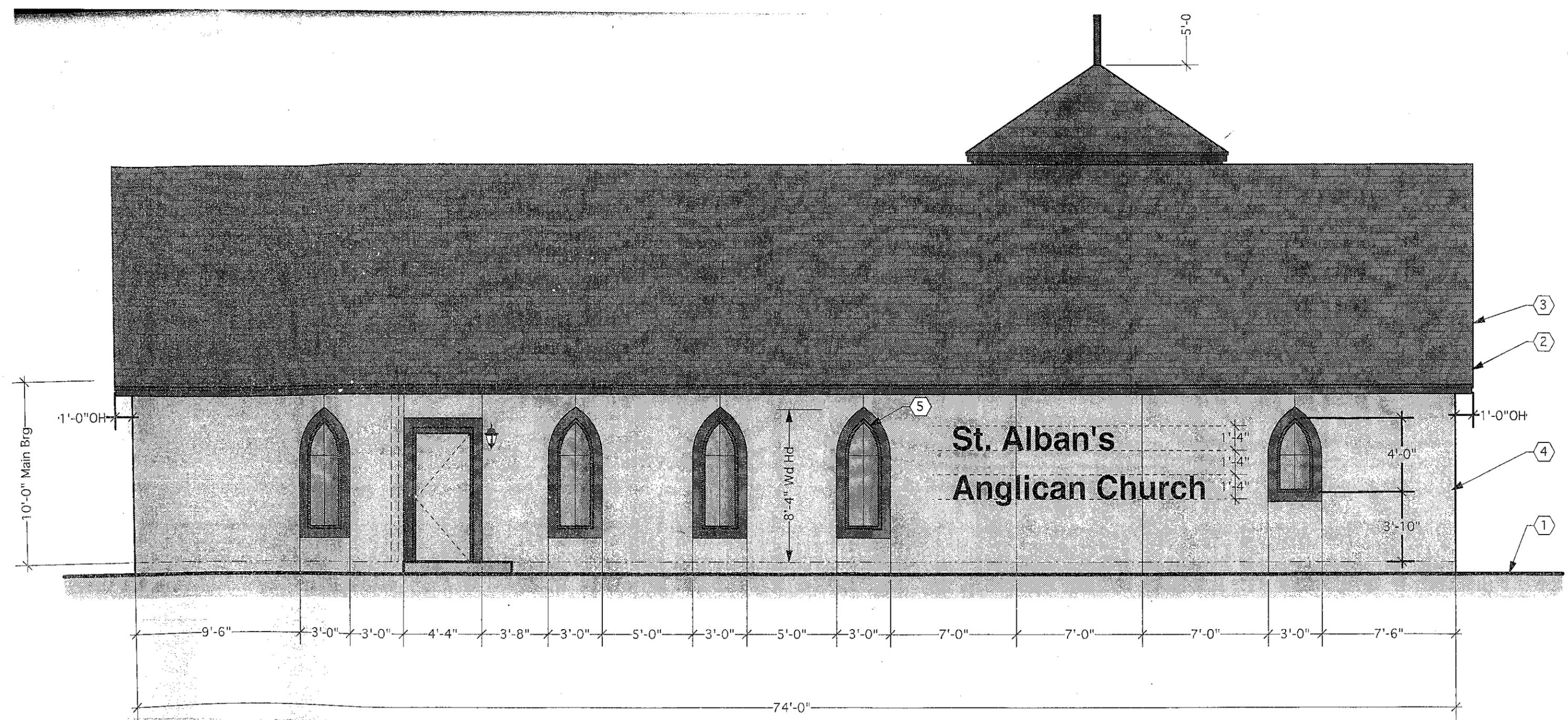
## SENATORE INC.

James P. Senatore, Architect • Senatore Construction  
Architect FI License No. AR 0006808 Certified Contractor FI License No. CB C060129  
1317 Sumter Street, Leesburg, Florida 34748 • Phone 352.787.1121 Fax: (352) 728-8292

Notice: The Information on This Sheet is The Property of James P. Senatore Architect, State Reg. # 6808, and is Not To Be Copied In Whole or Part Without The Written Permission of James P. Senatore, Architect.

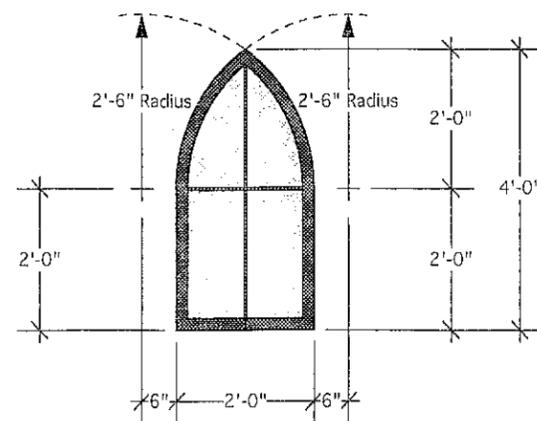
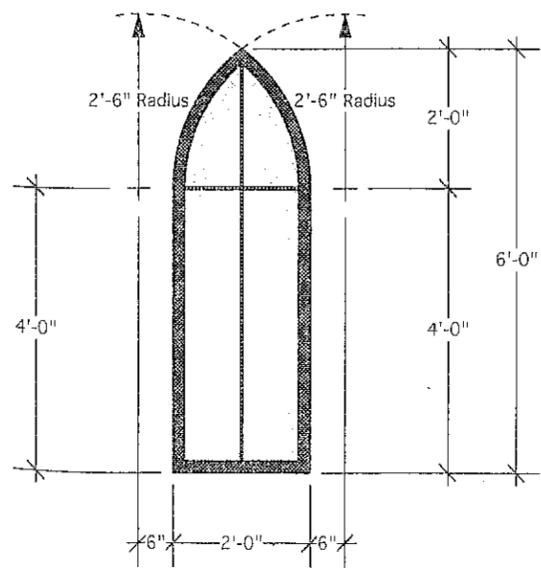
- E5 Lighting Plan, Mechanical
- E6 Power Main Floor
- E7 Power Mechanical Floor
- P1 Plumbing Notes, Schedules and Legend
- P2 Water Piping
- P3 SWV plan
- P4 SWV Riser Diagram

FLORIDA PRODUCT APPROVAL NUMBERS		
PRODUCT TYPE	APPROVAL NUMBER	MFG AND DESCRIPTION
Windows	FL 1435.1	"PGT" - Single Hung Windows
	FL 5012.3	"PGT" - Fixed Glass Windows
Exterior Door	FL 1170.3	"THERMA TRU" - Fiber Classic Doors
	FL 4553.1	"CECO" - Steel Flush Doors
	FL 5381.1	"KAWNEER" - Alum Storefront Entry System
Storefront Door		
Lintels	FL 158 - R1	"Cast-crete" - Pre-cast Concrete Lintels
	FL 85	"Owens Corning" - Arch Shingle
Shingles	FL 1621	"Alcoa" - Alum Fascia And Soffit
	FL 1999	"Alpine" - Metal Truss Plates
Fascia & Soffit	FL 2034.2	"Robbins Engineering, Inc." - Metal Truss Plates
	FL 1566	"Fastening Specialist, Inc." - Structural Components Wood Connectors Anchors
Steel All-thread	FL 2209.5	"Powers Fastener Inc." - High Performance Epoxy Anchor System
Epoxy	FL 2209.10	"Powers Fastener Inc." Heavy Duty Concrete Screw Anchor
Wedge Bolts		
Straps & Clips	"A35" - 474.4	"Simpson Strong Tie Connectors"
	"H1" - FL 474.108	"LU24" - FL 474.267
	"H2" - FL 474.114	"LTT208" - FL 474.264
	"H4" - FL 474.117	"LSTA30" - FL 1901.35
	"H10" - FL 474.109	"META16" - FL 1901.15
	"H10-2" - FL 474.110	"TBE4" - FL 503.49



"PGT" Exterior windows "Gothic" style  
 Fixed glass, "Bronze" aluminum frame,  
 Flange style frame for masonry wall  
 Insulated Tempered glass, tinted "Gray" with  
 Muttons between glass "Cross" pattern

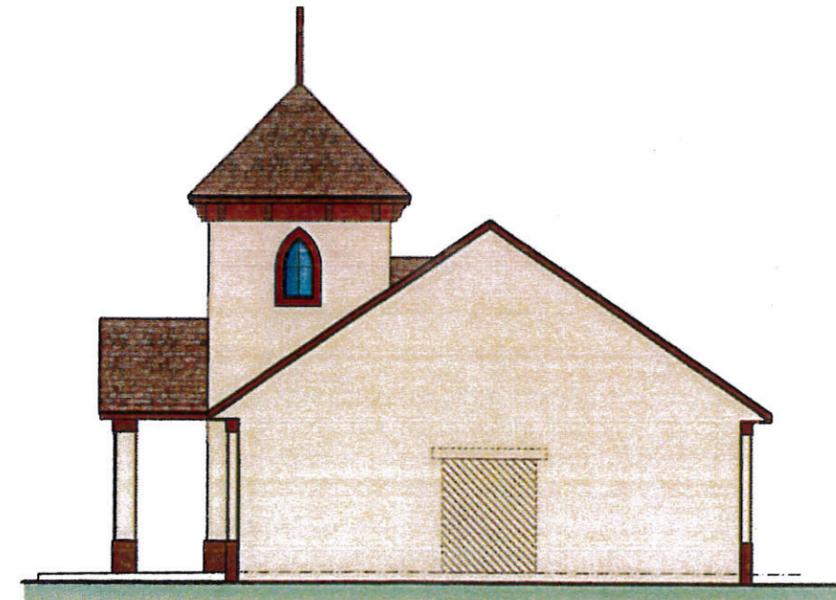
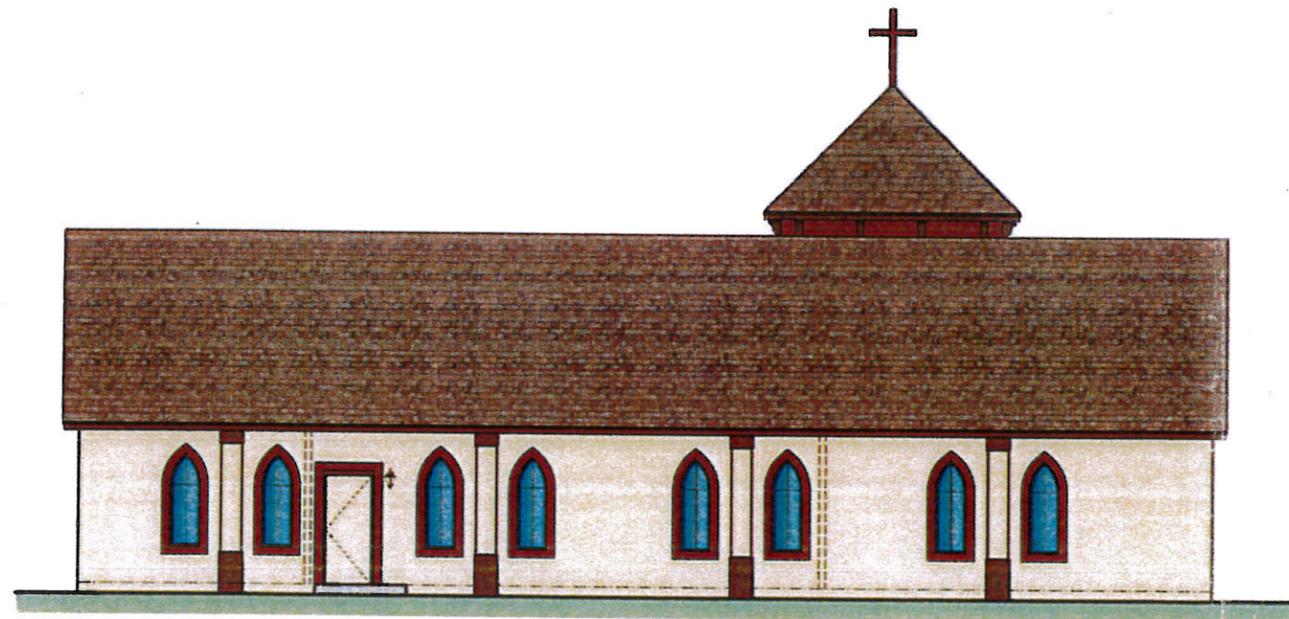
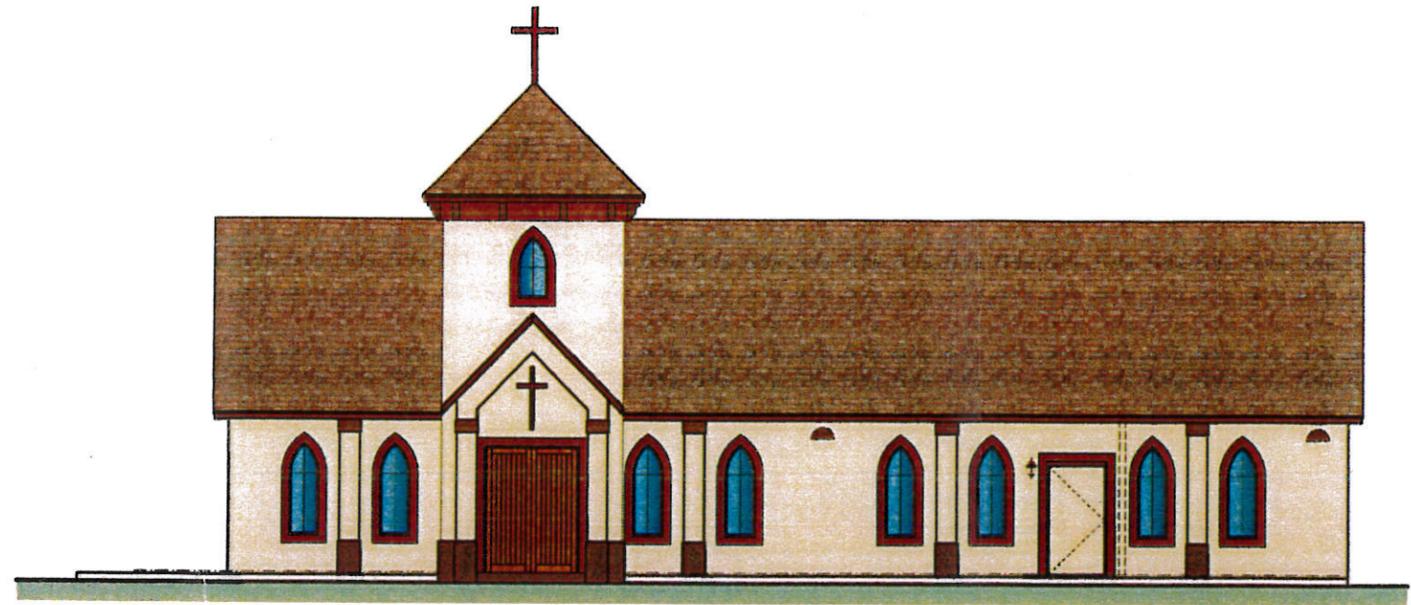
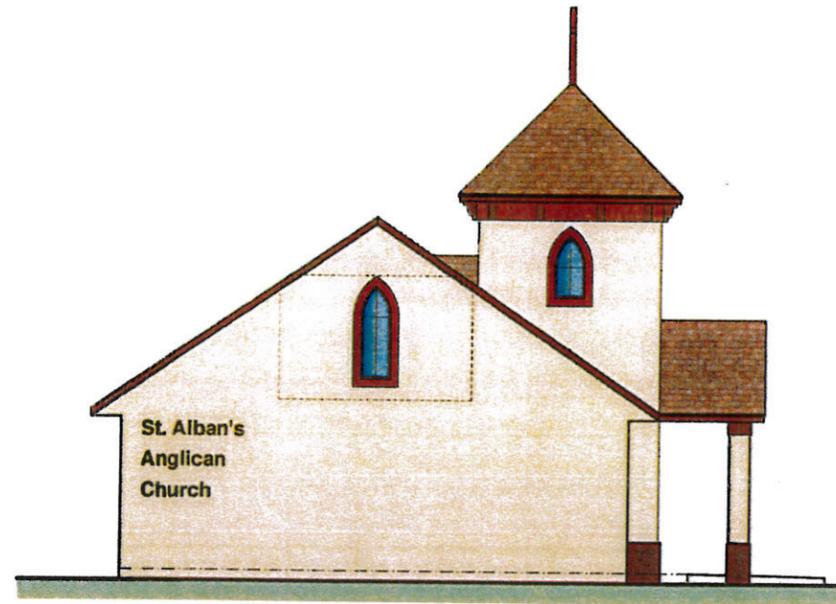
Windows to meet new FBC 2010 code  
 Risk Category II, 130mph assembly building  
 less than 300 people



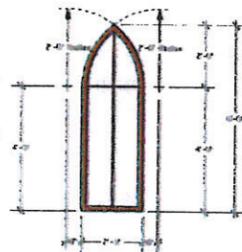
Rear (North) Elevation

Scale: 3/16" = 1'-0"

D  
2



"VGT" Exterior windows "Gothic" style  
Fixed glass, "Ercosa" aluminum frame,  
Flange style frame for masonry unit  
Insulated Tempered glass, tinted "Gray" with  
Muntins between glass "Cross" pattern  
Windows to meet new FSC 2010 code  
Risk Category II, 130mph assembly building  
less than 300 people

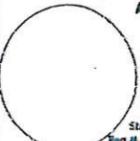


EXTERIOR ELEVATIONS

6 / 11 / 2013

EXTERIOR ELEVATIONS

FOR REVIEW ONLY

<p><b>St Alban's Anglican Church</b> Landy Lakes Blvd, Landy Lakes, Florida 32159</p>	<p>Designed By: James P. Senatore Drawn By: Chris Zippner Drawing No: 2013.05</p>	<p>2</p>
 <p>Design / Build Specifiers <b>SENATORE INC.</b> James P. Senatore, Architect • Senatore Construction 10000 University Blvd, Suite 100 • Orlando, Florida 32817 407-261-1111 • www.senatoreinc.com</p>	<p><b>James P. Senatore,</b> Architect</p>  <p>State of Florida Reg. # AR 000406</p>	

120 in



ACP Faces

# St. Alban's Anglican Church



- Traditional Liturgy -  
Services 9:30 am Sunday



625

6 in

6"x6" Metal Poles

96 in

Ground Level

Ground Level

Anchoring  
Footers

Actual Footer size  
to be determined  
by engineer

Anchoring  
Footers

Actual Footer size  
to be determined  
by engineer

76 in

96 in

36 in

24 in

24 in

# 5



## SPECIAL TOWN COMMISSION - CONCEPTUAL WORKSHOP AGENDA ITEM

REQUESTED COMMISSION MEETING DATE: April 20, 2015

**SUBJECT:** Conceptual Presentation for the Auto Zone Store Major Modification  
MJM 03/15-001- The construction of a 6,815-Square-foot Automotive  
Parts Retail Building proposed at 213 West Hermosa Street -formerly  
the Northcott Center Site- (Alternate Key 2580348).

**DEPARTMENT:** GROWTH MANAGEMENT

### STAFF RECOMMENDATION:

Staff recommends having the applicant move forward with the Major Site Plan Application as submitted, with the proposed waivers.

### SUMMARY:

Wade Davis with AutoZone Stores, Inc. submitted a site plan application for a 1.97 +/- acre parcel located at 213 West Hermosa Street. The parcel originally received Major Site Plan approval on July 7, 2008, by the Town Commission for the construction of 11,880 square feet of medical and professional offices under the project name of Northcott Center. At this time, the new applicant proposes the construction of a 6,815-Square-foot Automotive Parts Retail Building. The property is zoned HC, which is Heavy Commercial, and permits retail sales and services on this site. The Future Land Use Map designation for the site is RET – General Commercial Retail Sales & Services. The use is consistent with directives of the Comprehensive Plan.

Under the Northcott Center development, the applicant was granted site plan approval with landscaping buffers along the East Elevation for the site due to a retaining wall and overhead power utility lines.

The traffic impacts of this proposed development has been documented through a Tier 1 Traffic Analysis which was submitted to the Metropolitan Planning Organization (MPO). The MPO reviewed the traffic analysis and indicated that all necessary information to support the project has been provided and that no further analysis is required. The proposed Automotive Parts Retail Building is expected to generate 422 daily trips, with 41 pm peak hour trips (20 entering and 21 exiting).

### Tree Requirements:

In accordance with Chapter 10-Landscape and Tree Protection, the site is required to provide 315.2 tree caliper inches based on its 1.97-acre area (160"x 1.97). Please see the landscaping tree proposal breakdown:

Existing Trees to remain	222 tree caliper inches
Proposed Canopy & Understory Trees	130 tree caliper inches
Total tree caliper inches	352 tree caliper inches

The applicant is providing more than the required on-site tree caliper inches.

### Notes:

- No historic trees will be removed for this development.

The applicant is pursuing the following landscaping waiver:

- In accordance to **Chapter 10, Section 10-3. b.2).**, the East Elevation Buffer requires twenty (20) feet minimum width with four (4) canopy trees, three (3) understory trees and a continuous hedge or an approved fence or wall.

The applicant is required to provide 17 canopy trees and 13 understory trees.

The applicant is requesting a waiver for 16 canopy trees and 13 understory trees.

**Justification:** due to a retaining wall and overhead power utility lines along the elevation facing N Hwy 27/441.

### Commercial Design Standards

In accordance with the Land Development Regulations, **Chapter 20, Section 20-3C).3).A).**, new buildings should adopt one of the four recommended architectural styles: Frame Vernacular, Craftsman/Bungalow, Mediterranean, or Mission.

- The applicant is proposing a mix of styles combining modern style with some Mediterranean style elements. Consistency with adjacent architecture on a case-by-case basis has been allowed for other outparcel projects along this corridor in the past (i.e. McDonalds, Mattress Firm, etc.).

### Public Meetings:

The **Technical Review Committee** members individually reviewed the application on Thursday, April 2, 2015, and provided outstanding comments regarding the Site Plan application.

The **Parks, Recreation, and Tree Advisory Committee** is tentatively scheduled to consider the Site Plan application on Wednesday, May 13, 2015 at 5:30 p.m.

The **Town Commission** is tentatively scheduled to consider this application for final approval on Monday, May 18, 2015 at 6:00 p.m.

FISCAL IMPACT: \$ \_\_\_\_\_

Capital Budget  
 Operating  
 Other

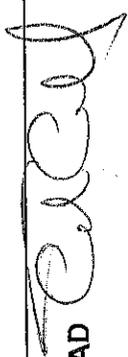
ATTACHMENTS:  Ordinance(s)  Resolution  Budget Resolution

Other – Conceptual Site Plan Documents

Support Documents/Contracts Available for Review in Manager's Office

4-13-15

DEPARTMENT HEAD



Submitted

4/13/15

Date

FINANCE DEPARTMENT

Approved as to Budget Requirements

Date

TOWN ATTORNEY

Approved as to Form and Legality

Date

TOWN MANAGER

Approved Agenda Item for: 4/20/15

Date

4/13/15

BOARD ACTION:  Approved as Recommended  Disapproved

Tabled Indefinitely  Continued to Date Certain  Approved w/Modification

**TOWN OF LADY LAKE  
APPLICATION FOR SITE PLAN REVIEW**

Wade Davis, AutoZone Stores, Inc.

wade.davis@autozone.com

MAR 12 2015

RECEIVED

GRAND PLANNING DEPT.  
TOWN OF LADY LAKE

1. Applicant's Name:

Telephone/Email:

Applicant is: Owner \_\_\_ Developer \_\_\_ Lessee \_\_\_ Agent \_\_\_ Optonee \_\_\_

2. Owner's Name:

Address:

Telephone/Email:

3. Engineer's Name:

Address:

Telephone/Email:

Reg. Number:

4. Architect's Name:

Address:

Telephone/Email:

Registration Number:

5. Landscape Architect:

Address:

Telephone/Email:

Registration Number:

6. Project Name:

Physical Location/Address:

11. The property is located in the vicinity of the following streets:

Northwest corner Hermosa St. & US Highway 27

Smallwood Marvin O & Gary J Tutor

615 Lake Shore Dr, Leesburg, FL 34748

N/A

Kinney Engineering, LLC

2573 34th Ave. N., St. Petersburg, FL 33713

jason@kinney-engineering.com

FL # 62547

TBD

Placemaker Design Studio

3000 Gulf to Bay Blvd, Suite 301, Clearwater, FL 33759

chris@placemakerdesignstudio.com

FL # LA 6667068

AutoZone - 6341

NWC Hermosa St. & US Highway 27

Northwest corner Hermosa St. & US Highway 27

**TOWN OF LADY LAKE**  
**APPLICATION FOR SITE PLAN REVIEW**  
Page 2

8. Area of property 85,464 Square Feet 1,962 Acres

9. The exact legal description of the property as shown on the Tax Receipt or the Warranty Deed, or attach a separate sheet to the application form:  
See attached

10. The property is currently zoned: HC Heavy Commercial

11. Briefly describe the proposed project: Construct 6,815 Auto Parts Retail Store

If for storage, what type of material will be stored? N/A

12. Have any development reviews and/or approvals been granted to this property?  
Yes X No      If yes, list the type, date and result:  
Previous Site Plan Approval # XXXXX

13. Has any Variance been granted concerning this property? Yes      No X  
If yes, list the Case Number and briefly describe the nature of the Variance.

14. The plans shall be drawn on 24" x 36" sheets as a minimum, at the largest scale feasible. The plans or any portion thereof involving engineering, shall be certified by a professional engineer or landscape architect as required by SJRWMD. The following information must be included on the site plan:

**General Information**

- a. Name of project.
- b. General statement of intended use of site.
- c. Legal description of the property and size of parcel in acres or square feet.
- d. Name and address of owner.

**TOWN OF LADY LAKE**  
**APPLICATION FOR SITE PLAN REVIEW**

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- \_\_\_\_ e. Name, address and phone number of owner's agent.
- \_\_\_\_ f. Name, address, signature and registration of the professionals preparing the plans.
- \_\_\_\_ g. Date, north arrow and scale shall be designated and where appropriate, the same scale shall be used on all sheets.
- \_\_\_\_ h. Vicinity map showing relationship of proposed development to the surrounding streets and thoroughfares, shall be at a scale no smaller than one inch equals five thousand two hundred eighty feet (1" = 5,280' or 1" = Mile).
- \_\_\_\_ i. Linear dimensions of the site.
- \_\_\_\_ j. Existing topography with a maximum of one (1) foot contour intervals for the proposed site.
- \_\_\_\_ k. Finished grading elevations.
- \_\_\_\_ l. Zoning of the site and of all adjacent parcels.
- \_\_\_\_ m. All existing and proposed building restriction lines (i.e., highway setback lines, easements, covenants, rights-of-way and building setback lines).
- \_\_\_\_ n. Percent of open space of site.
- \_\_\_\_ o. Location of proposed signs.

**Building and Structure**

- \_\_\_\_ a. Existing and proposed structures.
- \_\_\_\_ b. Intended use.
- \_\_\_\_ c. Number of stories.
- \_\_\_\_ d. Height of building(s).
- \_\_\_\_ e. Number of dwelling units and density.
- \_\_\_\_ f. Projected number of employees, if applicable.
- \_\_\_\_ g. If restaurant, show number of seats and occupancy load.

**TOWN OF LADY LAKE**  
**APPLICATION FOR SITE PLAN REVIEW**

Page 4

- \_\_\_ h. Square footage for proposed development, i.e., gross square footage, nonstorage area, square footage of each story, gross square footage of sales area, etc.
- \_\_\_ i. Photograph or sketch of proposed sign with dimensions and material type.

***Street, Sidewalks, Driveways, Parking Areas and Loading Spaces***

- \_\_\_ a. Engineering plans and specifications for streets, alleys, sidewalks and driveways to include soil borings, if necessary.
- \_\_\_ b. All parking spaces delineated.
- \_\_\_ c. Number of parking spaces.
- \_\_\_ d. Number and location of handicapped spaces.
- \_\_\_ e. Number of square feet of paved parking and driveway area.
- \_\_\_ f. Surface materials and cross-section of proposed paved areas.
- \_\_\_ g. Fire lanes per the Standard Fire Prevention Code adopted in the Building and Fire Codes chapter.
- \_\_\_ h. Description/location of proposed driveway(s) and median cut(s).
- \_\_\_ i. Internal traffic control circulation plan, including directional arrows and signs to direct traffic flow, as necessary.
- \_\_\_ j. Location of traffic-control signs and signalization devices, if required.
- \_\_\_ k. Number and location of required loading spaces.
- \_\_\_ i. Number and location of required bicycle spaces.

***Drainage and Stormwater***

- \_\_\_ a. Soil classifications, cross-sections and details of proposed retention/detention ponds, swales, berms, etc., as required by SJRWMD.
- \_\_\_ b. Size, material and location of stormwater structures and pipes.

**TOWN OF LADY LAKE**  
**APPLICATION FOR SITE PLAN REVIEW**

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- \_\_\_\_\_ c. Indicate flood elevation for 100-year flood and any other information required in Environmental Regulations chapter.

***Proposed Water, Sewer and Solid Waste Facilities***

- \_\_\_\_\_ a. Size, material, specifications and location of water mains, valves, services and fire hydrants.
- \_\_\_\_\_ b. Size, material, specifications and location of sanitary sewer lines and laterals with submittal of a profile, if necessary.
- \_\_\_\_\_ c. Size and location of septic tank and drainfield, if applicable.
- \_\_\_\_\_ d. Grease separation system, if applicable: Size, location and materials.
- \_\_\_\_\_ e. Location(s) and access provisions for refuse service, including pad, screening, fencing and landscaping, if applicable.

***Landscaping***

- \_\_\_\_\_ a. Landscaping plan and provisions for maintenance including size, type and location of all landscaping, screens, walls, fences and buffers per the requirements in the Landscaping and Tree Protection chapter. If water efficient landscaping is used, the information required in that chapter should be included.

- \_\_\_\_\_ b. Irrigation system plan.

***Environmental Protection***

- \_\_\_\_\_ a. Natural features such as waterbodies, wetlands, native vegetative communities, etc., as required in the Environmental Regulations chapter.
- \_\_\_\_\_ b. Conservation easements per the requirements.
- \_\_\_\_\_ c. Provisions for the adequate control of erosion and sediment, including the location and description of the methods to be utilized during and after all phases of clearing, grading and construction.

***ADDITIONAL INFORMATION TO BE PROVIDED***

- \_\_\_\_\_ a. Summary report of all concurrency data needed as noted in Chapter 4 of the Lady Lake Land Development Regulations.

**TOWN OF LADY LAKE**  
**APPLICATION FOR SITE PLAN REVIEW**  
Page 6

- \_\_\_ b. Drainage calculations as required in the Stormwater Management chapter.
- \_\_\_ c. Fire flow calculations, if applicable.
- \_\_\_ d. Lift station calculations, where required.
- \_\_\_ e. Copy of HRS permit, where required.
- \_\_\_ f. A construction cost estimate prepared by the engineer of record, which shall delineate any proposed improvements to be maintained by the Town.
- \_\_\_ g. Environmental assessment per the requirements, if applicable.
- \_\_\_ h. Any additional data, maps, plans or statements, as may be required, which is commensurate with the intent and purpose of the Code.

  
Signature of Applicant

PLEASE SUBMIT APPLICATION TO THE GROWTH DEVELOPMENT DEPARTMENT ACCOMPANIED BY EIGHT (8) COPIES OF THE SITE PLAN AND FOUR (4) 11 X 17 (SIGNED AND SEALED IF REQUIRED), APPROPRIATE REVIEW FEES, PROOF OF OWNERSHIP AND ALL APPLICABLE INFORMATION AND DOCUMENTATION AS REQUIRED BY LADY LAKE ORDINANCE 94-08, LAND DEVELOPMENT REGULATIONS, ADOPTED AUGUST 15, 1994.

**Office Use:**

Date Application Received: 03-12-15 Received by: Watson

**Fees Paid:**

Site Development Plan - Minor  
Site Development Plan - Major up to 100,000 sq. ft.  
Site Development Plan - Major 100,001 sq. ft. and up

\$2,495.00 = Major Modification to Site Plan

**Property Record Card**  
**General Information**

Alternate Key:	2580348	Parcel:	17-18-24- 000400003000
Owner Name:	SMALLWOOD MARVIN O &	Millage:	00LL (Lady Lake): 17.6629
Owner Address:	GARY J TUTOR 615 LAKE SHORE DR LEESBURG, FL 34748	Property Location:	LADY LAKE FL 32159

BEG 25 FT N OF SE COR OF NW 1/4 OF SE 1/4, RUN E TO HWY, |  
N'LY ALONG HWY TO PT 431 FT N OF S LINE OF NW 1/4 OF SE 1/4, |  
W TO PT 210 FT W OF E LINE OF NW 1/4 OF SE 1/4, S 210 FT, W |  
TO RR, S ALONG RR TO PT W OF POB, E TO POB--LESS FROM NE COR |  
OF SEC 20-18-24 RUN N 89-55-43 W ALONG N LINE OF SEC 20 A |  
DIST OF 499.35 FT TO A POINT LYING ON CENTERLINE OF SR 500, |  
N 25-44-24 W ALONG SAID CENTERLINE 1379.57 FT TO THE POINT |  
OF CURVATURE OF A CURVE CONCAVE TO THE NE, SAID CURVE HAVING |  
A CENTRAL ANGLE OF 03-04-02 & A RADIUS OF 1910.08 FT, THENCE |  
RUN NW'LY ALONG SAID CENTERLINE OF SR 500 & ARC OF SAID |  
CURVE A DIST OF 102.25 FT, THENCE RUN N 89-35-41 W 81.03 FT |  
TO THE INTERSECTION OF W'LY RW LINE OF SR 500 & N'LY RW |  
LINE OF HERMOSA ST FOR POB, CONT N 89-35-41 W ALONG SAID |  
N'LY RW LINE OF HERMOSA ST A DIST OF 44.99 FT, N 56-57-46 E |  
40.72 FT TO A POINT LYING W'LY RW LINE OF SR 500, S |  
25-44-24 E ALONG SAID W'LY RW LINE 25 FT FOR RD RW-- |  
ORB 2950 PG 766 |

**Legal Description:**

**Land Data**

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Just Value
1	VACANT COMMERCIAL (1000)	0	0		82259	SF	\$0.00	\$468,876.00

**Miscellaneous Improvements**

No.	Type	No. Units	Unit Type	Year	Depreciated Value
0001	PAVING (PAV)	67724	SF	2010	\$92,159.00
0002	PAVING (PAV)	210	SF	2010	\$494.00

**Sales History**

O.R. Book / Page	Sale Date	Instrument	Q/U	Var./Imp.	Sale Price
------------------	-----------	------------	-----	-----------	------------

1726 / 1460	6/17/1999	GD	U	V	\$0.00
1831 / 2113	6/13/2000	GD	U	V	\$0.00
2950 / 766	9/15/2005	WD	Q	V	\$1,000,000.00

**Value**

**Total Just Value:** \$561,529.00

**Assessed Value:** = \$561,529.00

**Total Exempt Value:** - \$0.00

**Total Taxable Value:** = \$561,529.00

**Millage Rate:**  x 0.0176629

**Base Ad-Valorem Tax:** = \$9,918.23

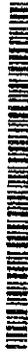
**Non-Exempt School Levies:** + \$0.00

**Estimated Ad-Valorem Tax:** = \$9,918.23

\* The just values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes. The amounts shown may not include all exemptions. The estimated tax totals do not reflect Non-Ad Valorem assessments. (Fire Fees, Solid Waste, etc.) Please consult the Tax Collector for actual taxation amounts.

**Truth In Millage (TRIM) Notice**

- Notice of Proposed Property Taxes & Proposed or Adopted Non-Ad Valorem Assessments



CFN 2005145383  
Bk 02950 Pgs 0766 - 768; (3pgs)  
DATE: 09/16/2005 10:34:12 AM  
JAMES C. WATKINS, CLERK OF COURT  
LAKE COUNTY  
RECORDING FEES 27.00  
DEED DPC 7,000.00

Prepared by and return to:

J. ROBERT DUGGAN, P.A.  
1029 West Magnolia Street  
Leesburg, FL 34748  
352-787-1440  
File Number: 05-209  
Will Call No.:

[Space Above This Line For Recording Data]

## Warranty Deed

This Warranty Deed made this 15th day of September, 2005 between DOUGLAS A. HILL, SR. as Personal Representative of the Estate of EUGENE P. HILL, deceased, and individually, VERNON SIMPKINS, as Personal Representative(s) of the Estate of EDWARD S. HILL, also known as EDWARD SIMUEL HILL, deceased, MADELINE O. HOLTZ, and HARVEY HILL whose post office address is 2904 Register Road, Fruitland Park, FL 34731, grantor, and MARVIN O. SMALLWOOD, a married person and GARY J. TUTOR, a married person whose post office address is 615 Lake Shore Drive, Leesburg, FL 34748, grantees:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

**Witnesseth**, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Lake County, Florida to-wit:

A portion of the S.E. 1/4 of Section 17, Township 18 South, Range 24 East, Lake County, Florida, being described as follows:

Begin 25.00 feet North of the S.E. corner of the N.W. 1/4 of the S.E. 1/4; thence run East to Highway; thence Northerly along Highway to a point 431.00 feet North of the South line of the N.W. 1/4 of the S.E. 1/4; thence West to a point 210.00 feet West of the East line of the N.W. 1/4 of the S.E. 1/4; thence South 210.00 feet; thence West to railroad right of way; thence Southerly along railroad right of way to a point West of P.O.B.; thence East to the point of beginning.

Parcel Identification Number: 1718240004-000-03000

Grantor warrants that at the time of this conveyance, the subject property is not the Grantors' homestead within the meaning set forth in the constitution of the state of Florida, nor is it contiguous to or a part of homestead property.

The purpose of this warranty deed instrument is to convey to the Grantee any and all interest of the Grantors, in their representative capacities of the estates for which they serve as personal representative, and individually, and as otherwise provided by law.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all

encumbrances, except taxes accruing subsequent to December 31, 2004. Notwithstanding the foregoing, there is no warranty as to the title as it pertains to Douglas A. Hill, Sr., as Personal Representative of the Estate of Eugene P. Hill and Vernon Simpkins, as Personal Representative of the Estate of Edward S. Hill, also known as Edward Simuel Hill, deceased, nor do the Grantors warrant any matters contained within Attorneys' Title Insurance Fund, Inc. binder number CF-1537988 effective June 29, 2005, or the terms and conditions of the lease referenced therein.

**In Witness Whereof**, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

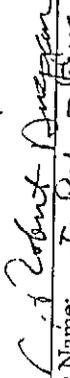
  
Witness Name: ALVIN KIBBAT

  
Witness Name: J. Robert Duggan

  
Witness Name: ALVIN KIBBAT

  
Witness Name: J. Robert Duggan

  
Witness Name: ALVIN KIBBAT

  
Witness Name: J. Robert Duggan

  
Witness Name: ALVIN KIBBAT

  
Witness Name: J. Robert Duggan



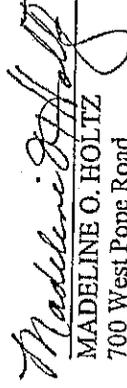
DOUGLAS A. HILL, SR., AS PERSONAL REPRESENTATIVE OF THE ESTATE OF EUGENE P. HILL, DECEASED, AND INDIVIDUALLY

2904 Register Road  
Fruitland Park, Florida 34731



VERNON SIMPKINS, AS PERSONAL REPRESENTATIVE OF THE ESTATE OF EDWARD S. HILL, ALSO KNOWN AS EDWARD SIMUEL HILL

Post Office Box 709  
Tavares, Florida 32778

 (Seal)

MADELINE O. HOLTZ  
700 West Pope Road  
St. Augustine, Florida 32084

 (Seal)

HARVEY HILL  
4451 King Cole Boulevard  
Orlando, Florida 32811

State of Florida  
County of Lake

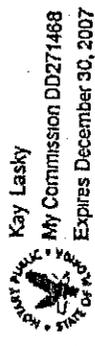
The foregoing instrument was acknowledged before me this 15th day of September, 2005 by DOUGLAS A. HILL, SR., AS PERSONAL REPRESENTATIVE OF THE ESTATE OF EUGENE P. HILL, DECEASED, AND INDIVIDUALLY, VERNON SIMPKINS, AS PERSONAL REPRESENTATIVE OF THE ESTATE OF EDWARD S. HILL, ALSO KNOWN AS EDWARD SIMUEL HILL, DECEASED, MADELINE O. HOLTZ AND HARVEY HILL, who  are personally known or  have produced a driver's license as identification.

[Notary Seal]

Kay Lasky  
Notary Public

Printed Name: KAY LASKY

My Commission Expires: \_\_\_\_\_



## APPLICANT'S AFFIDAVIT

Tennessee  
STATE OF FLORIDA  
COUNTY OF LAKE SHELBY

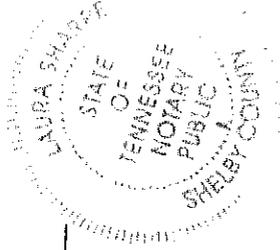
Before me, the undersigned authority, personally appeared James C. Griffith  
who being by me first duly sworn on oath, deposes and says:

- (1) That he/she affirms and certifies that he/she understands and will comply with all ordinances, regulations, and provisions of the Town of Lady Lake, Florida, and that all statements and diagrams submitted herewith are true and accurate to the best of his/her knowledge and belief, and further, that this application and attachments shall become part of the Official Records of the Town of Lady Lake, Florida, and are not returnable.
- (2) That he desires approval for:  
AutoZone 4999
- (3) That the submittal requirements for the application have been completed and attached hereto as part of this application.

  
Affiant (Applicant's Signature)

The foregoing instrument was acknowledged before me this 24<sup>th</sup> day of SEPTEMBER  
2011, by James C. Griffith, who is personally known to me or who has produced  
\_\_\_\_\_ as identification and who did (did not) take an oath.

  
Notary Public



**OWNER'S AFFIDAVIT**

STATE OF FLORIDA  
COUNTY OF LAKE

Before me, the undersigned authority, personally appeared Cary Tator  
who being by me first duly sworn on oath, deposes and says:

(1) That he/she is the fee-simple owner of the property legally described on page  
one of this application.

(2) That he/she desires approval for:

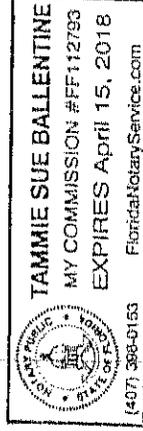
AutoZone 4999

(3) That he/she has appointed AutoZone Stores Inc and Kinney Engineering LLC to act as  
agent in his/her behalf to accomplish the above. The Owner is required to  
complete the APPLICANT'S AFFIDAVIT of this application if no agent is  
appointed to act in his/her stead.

Cary Tator  
Affiant (owner's Signature)

The foregoing instrument was acknowledged before me this 27<sup>th</sup> day of September  
2014, by Cary Tator, who is personally known to me or who has  
produced N/A as identification and who did (did not) take an oath.

Tammie Sue Ballentine  
Notary Public



NOTE

All applications shall be signed by the owner of the property, or some person duly  
authorized by the owner to sign. This authority authorizing a person other than  
the owner to sign must be attached.

LEGAL DESCRIPTION

A PORTION OF THE SOUTHEAST 1/4 OF SECTION 17, TOWNSHIP 18 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

BEGIN 25.00 FEET NORTH OF THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4; THENCE RUN EAST TO HIGHWAY; THENCE NORTHERLY ALONG HIGHWAY TO A POINT 431.00 FEET NORTH OF THE SOUTH LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4; THENCE WEST TO A POINT 210.00 FEET WEST OF THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4; THENCE SOUTH 210.00 FEET; THENCE WEST TO RAILROAD RIGHT OF WAY; THENCE SOUTHERLY ALONG RAILROAD RIGHT OF WAY TO A POINT WEST OF POINT OF BEGINNING; THENCE EAST TO THE POINT OF BEGINNING.

LESS AND EXCEPT THAT PART TAKEN IN OFFICIAL RECORDS BOOK 3899, PAGE 825, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

CONTAINS 85,464 SQUARE FEET OR 1.962 ACRES MORE OR LESS.

TOWN OF LADY LAKE  
APPLICATION FOR CONCURRENCY DETERMINATION

1. Purpose for Concurrence Determination: (check one)

Comprehensive Plan Land Use Amendment       Rezoning  
 Preliminary/Final Subdivision Approval       Site Plan Approval  
 Other

2. Applicant: AutoZone Stores, Inc., Wade Davis  
Address: 123 S. Front Street, Floor 3, Memphis, TN 38103  
Telephone: (901) 495-8701      E-Mail: wade.davis@autozone.com

3. Owner: Marvin O. Smallwood & Gary J. Tutor  
Address: 615 Lake Shore Dr., Leesburg, FL 34748  
Telephone: N/A      E-Mail: N/A

4. Property Address: NWC W. Hermosa and US Highway 27

5. Alt. Key #: 2580348      6. Total Acreage: 1.96

7. Existing Zoning: HC      8. Proposed Zoning: HC

9. Existing Land Use: Vacant      10. Proposed Land Use: Auto Parts Retail

11. Residential Lots/Units: 0      12. Non-Resident, Gross Sq. Ft.: 6,815

13. Method of Wastewater Treatment:

a. Septic Tank: \_\_\_\_\_ b. Central Sewer:       c. Other: \_\_\_\_\_  
County Permit: \_\_\_\_\_      County #: \_\_\_\_\_

14. Wastewater Flow Rates: \*  
ERU Determination Per Chapter 14, Appendix A-A: ERUS x 250 = 682      682 GPD

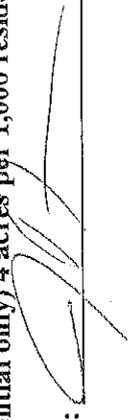
15. Water Usage: \*  
ERU Determination Per Chapter 14, Appendix A-A: ERUS x 250 = 614      614 GPD

16. Solid Waste: (3.39 pounds per capita, per day): 150      \_\_\_\_\_ Pounds

17. Traffic Analysis: Name and Functional Classification of roadways adjacent to the property, the Average Daily Trip Generation and Average Daily Peak Hour Generation expected from this development (please refer to the Lake-Sumter MPO Traffic Analysis Guideline):  
See Traffic Analysis  
\_\_\_\_\_  
\_\_\_\_\_

18. Population (residential only) 1.86 persons per household: N/A      \_\_\_\_\_ Persons

19. Recreation (residential only) 4 acres per 1,000 residents: N/A      \_\_\_\_\_ Acres

Signature of Engineer:       Date: 11/7/14

\* If circumstances apply where additional Water or Wastewater Capacity beyond minimum ERU based GPD is requested, please provide a justification letter with supporting calculations and documentation. At no time will the Town reduce Water or Wastewater Capacity request below the minimum ERU based GPD.



## APPLICATION FOR UTILITY QUOTE

Town of Lady Lake, 409 Fennell Boulevard, Lady Lake, Florida 32159 USA  
Utility Customer Service (352) 751-1525 Public Works Administration (352) 751-1526

Project Name: AutoZone 4999 Alias/FKA (if applicable): \_\_\_\_\_  
Project Location Address: NWC W. Hermosa and US Highway 27 Alternate Key #: 2580348  
Project Point of Contact\*: Jason Kinney, P.E. Company: Kinney Engineering, LLC  
Phone Number: (727) 804-6922 E-Mail Address: jason@kinney-engineering.com  
Name of Individual Completing this Application: Jason Kinney Date: 10/10/2014

*\*All correspondence and questions from Town Staff will be directed solely to this individual*

Property Owners Name: AutoZone Stores, Inc.  
Address: 123 S. Front Street, Floor 3 City/State/Zip Memphis, TN 38103  
Fax #: \_\_\_\_\_ Phone Number: (901) 495-8701 E-Mail Address: wade.davis@autozone.com

Tenants Name (if applicable): N/A  
Legal Street Address: \_\_\_\_\_ City/State/Zip \_\_\_\_\_  
Fax #: \_\_\_\_\_ Phone Number: \_\_\_\_\_ E-Mail Address: \_\_\_\_\_

Type of Project: Residential \_\_\_\_\_ Commercial  Irrigation \_\_\_\_\_ Square Footage/Units: \_\_\_\_\_  
Occupant Information: Owner Occupied  Leased/Rented \_\_\_\_\_

Utility Account will be Established and Billed in the name of the Following:

Name: AutoZone Stores, Inc. Phone: (901) 495-8701  
Address: 123 S. Front Street, Floor 3 City/State/Zip Memphis, TN 38103

Estimated Consumption\* (ERUs): Water (Potable) 2.7 Sewer 2.5 Reuse 2.0

*\*Calculations shall be based upon the Specifications of the Land Development Regulations, Chapter 14, Appendix A. If consumption amounts being proposed differ from calculations resulting from the figures as supplied by the ERU matrices, please attach a justification letter from a professional engineer as to why lesser quantities, or greater quantities, are being sought for the project.*

Growth Management Personnel Verification of Completed Form: Name: \_\_\_\_\_ Date: \_\_\_\_\_

## PROPERTY RECORD CARD

## General Information

<b>Owner Name:</b>	SMALLWOOD MARVIN O &	<b>Alternate Key:</b>	2580348
<b>Mailing Address:</b>	GARY JTUTOR 615 LAKE SHORE DR LEESBURG, FL 34748 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b>	17-18-24-000400003000
		<b>Millage Group and City:</b>	00LL (Lady Lake)
		<b>Total Millage Rate:</b>	19.04670
		<b>Trash/Recycling /Water/Info:</b>	<a href="#">My Public Services Map</a>
<b>Property Location:</b>	LADY LAKE FL 32159 <a href="#">Update Property Location</a>	<b>Property Name:</b>	<a href="#">Submit Property Name</a>
		<b>School Locator:</b>	<a href="#">School and Bus Map</a>
<b>Property Description:</b>	<p>BEG 25 FT N OF SE COR OF NW 1/4 OF SE 1/4, RUN E TO HWY, N'LY ALONG HWY TO PT 431 FT N OF S LINE OF NW 1/4 OF SE 1/4, W TO PT 210 FT W OF E LINE OF NW 1/4 OF SE 1/4, S 210 FT, W TO RR, S ALONG RR TO PT W OF POB, E TO POB--LESS FROM NE COR OF SEC 20-18-24 RUN N 89-55-43 W ALONG N LINE OF SEC 20 A DIST OF 499.35 FT TO A POINT LYING ON CENTERLINE OF SR 500, N 25-44-24 W ALONG SAID CENTERLINE 1379.57 FT TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE NE, SAID CURVE HAVING A CENTRAL ANGLE OF 03-04-02 &amp; A RADIUS OF 1910.08 FT, THENCE RUN NW'LY ALONG SAID CENTERLINE OF SR 500 &amp; ARC OF SAID CURVE A DIST OF 102.25 FT, THENCE RUN N 89-35-41 W 81.03 FT TO THE INTERSECTION OF W'LY R/W LINE OF SR 500 &amp; N'LY R/W LINE OF HERMOSA ST FOR POB, CONT N 89-35-41 W ALONG SAID N'LY R/W LINE OF HERMOSA ST A DIST OF 44.99 FT, N 56-57-46 E 40.72 FT TO A POINT LYING W'LY R/W LINE OF SR 500, S 25-44-24 E ALONG SAID W'LY R/W LINE 25 FT FOR RD R/W-- ORB 2950 PG 766</p>		

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	VACANT COMMERCIAL (1000)	0	0		82259	SF	\$0.00	\$468,876.00

## Wendy Then

---

**From:** Marcondes, Olga <omarcondes@lakecountyfl.gov>  
**Sent:** Friday, April 10, 2015 3:03 PM  
**To:** Wendy Then  
**Cc:** Thad Carroll; Franco, Francis  
**Subject:** RE: Auto Zone Auto Parts Major Mod @ 213 West Hermosa St.  
**Attachments:** Lake Lady -AutoZone Store (LOS Inquiry).pdf

Good Afternoon Wendy;

The MPO has reviewed the Request for Exemption from submitting a full Traffic Impact Study submitted by Kinney Engineering dated 3/10/15. A methodology letter was submitted and reviewed on 8/5/14. The traffic analysis is in support of the proposed AutoZone Store and I offer the following comments:

1. The project is a proposed 6,815 SF automotive parts retail store located in the northeast corner of the intersection of US 27 & Hermosa Street. Access to the proposed development is located on Hermosa Street. Build out of the project is anticipated to be completed by 2015.
2. Trip generation was determined using the ITE Land Use Code 843 – Automobile Parts Sales from the ITE Trip Generation, 9th Edition. The project is estimated to generate 422 daily trips, with 41 pm peak hour trips (20 entering and 21 exiting).
3. The applicant should have used the ITE Trip Generation Handbook, 2<sup>nd</sup> Edition to estimate pass-by trips. The percentages of new trips for this land use is estimated to be 57%. With the pass-by trips reduction of 43%, the net trip generation for this project is 240 new daily trips with 23 pm peak hour trips (11 entering and 12 exiting). Trip distribution, which was estimated using a manual method, was reviewed and found to be reasonable.
4. A segment analysis was conducted and available capacity on each impacted roadway segment was verified. I have enclosed a copy of the capacity analysis for your files.

The applicant has provided all necessary information to support the project and no further analysis is required. If you have any questions regarding my comments, please do not hesitate to contact me. **Please let us know if or when this project is approved so that we can record it and update the TMS database.**

Regards,

**Olga V. Marcondes**  
Transportation Planner

**LAKE-SUMTER MPO**  
1616 South 14<sup>th</sup> Street  
Leesburg, Florida 34748  
Ph: (352) 315-0170  
Fx: (352) 315-0993

[www.LakeSumterMPO.com](http://www.LakeSumterMPO.com)

"Promoting Regional Transportation Partnerships."



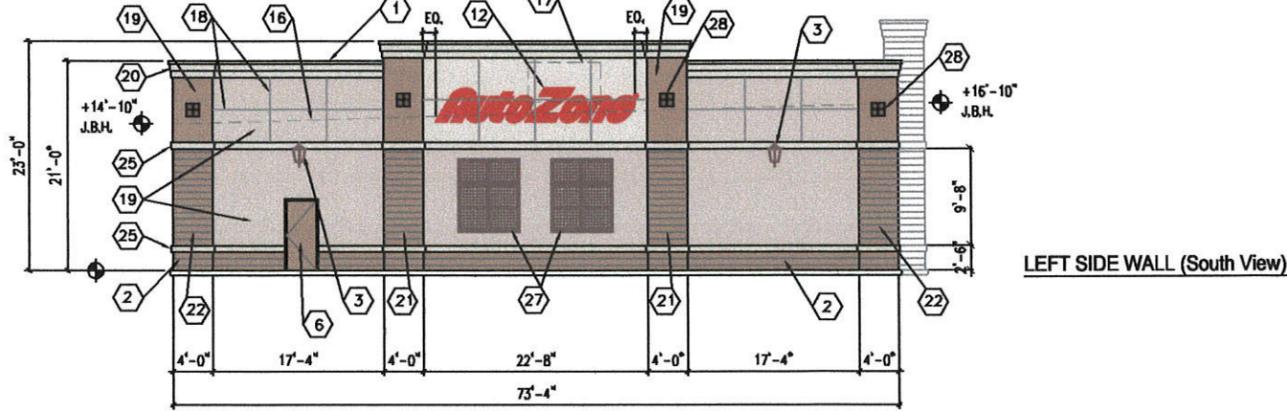
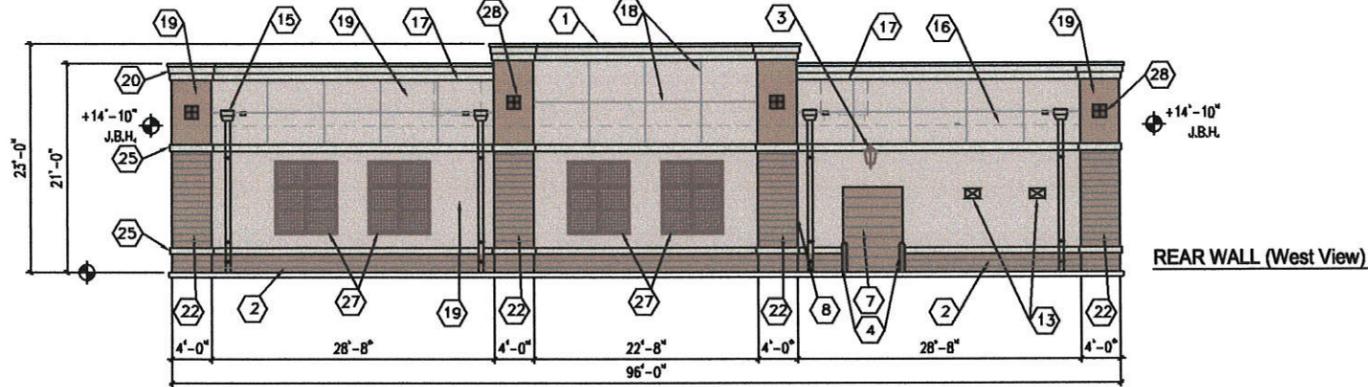
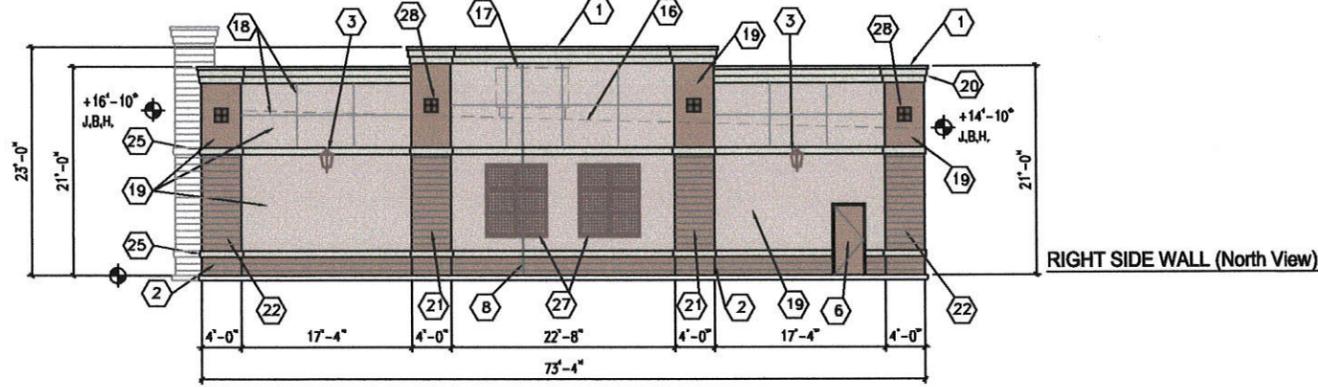
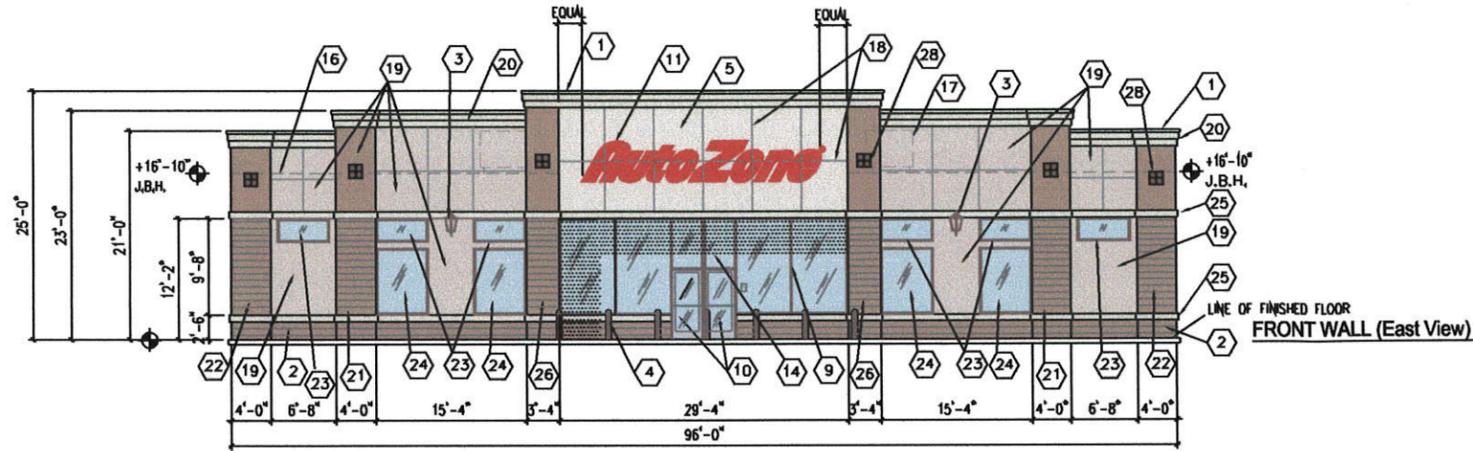
Go Green: Please do not print this e-mail unless you really need to.

Project Name: Autozone Store

Jurisdiction: Town of Lady Lake

Segment ID	Roadway	Segment	Applied LOS	LEVEL OF SERVICE (LOS) PROJECT CAPACITY INQUIRY										Project MP Dist	Project Impact (%)		
				From	To	Existing	Committed	Peak Hour	Peak Direction	V/C Ratio	Available Capacity	Project MP Dist	Project Impact (%)				
				Applied LOS	Capacity	NB/EB	Project	Total	LOS	SB/MB	Project	Peak Hour	Peak Direction	V/C Ratio	Available Capacity	Project MP Dist	Project Impact (%)
1030	C.R. 486	ROLLING ACRES ROAD	D	2,000	788	2	790	C	757	2	759	C	0.40	1,210	18%	0.10%	
1040	C.R. 486 / LAKE GRIFFIN ROAD	US 27 / US 441	D	572	199	0	199	C	106	1	106	C	0.35	373	5%	0.17%	
3690	US 27/US 441	ALT US 441 / ALT US 27	D	2,000	1,267	4	1,261	C	1,371	4	1,375	C	0.69	625	34%	0.20%	
3700	US 27/US 441	CR 466	D	2,000	1,111	5	1,116	C	1,612	5	1,617	C	0.91	183	43%	0.25%	

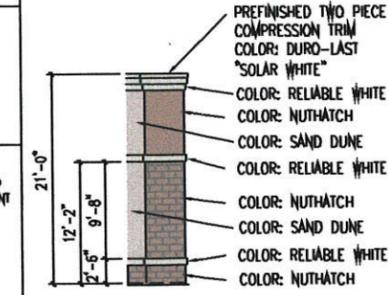
Note: Existing + Committed Volumes are based on the Lake County TMS Report dated April 3, 2015.



- 1 PREFINISHED TWO PIECE COMPRESSION TRIM  
COLOR: DURO-LAST "SOLAR WHITE"
- 2 SPLIT FACE CONCRETE MASONRY UNITS SEE PAINT  
DETAIL SCHEME THIS SHEET
- 3 DECORATIVE WALL LIGHT FIXTURE - BRONZE FINISH
- 4 PIPE GUARD WITH ARCHITECTURAL BRONZE SLEEVE
- 5 MFG. EXTERIOR INSULATED FINISH SYSTEM  
COLOR: SH 6081 "RELIABLE WHITE"
- 6 PAINT MAIN DOOR COLOR: SH 6088 "NUTHATCH",  
PAINT METAL FRAMES COLOR: SH "ANTIQUE BRONZE"
- 7 PAINT OVERHEAD DOOR COLOR: SH 6088 "NUTHATCH"  
PAINT ANGLE COLOR: SH "ANTIQUE BRONZE"
- 8 EXPANSION JOINT
- 9 ALUMINUM STOREFRONT - BRONZE FINISH  
TINTED GLASS WINDOWS "VISIBLE LIGHT TRANSMITTANCE=30%"
- 10 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
- 11 FRONT WALL SIGN - 48" HIGH CHANNEL LETTERS
- 12 SIDE WALL SIGN - 40" HIGH CHANNEL LETTERS
- 13 TOILET WALL VENTS PAINT TO MATCH WALL
- 14 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
- 15 SCUPPERS AND DOWNSPOUTS, PAINTED TO MATCH  
BACKGROUND WALL COLOR, ADJACENT 4" H. X 6" W.  
OVERFLOW SCUPPER, FLOWLINE 2" ABOVE ROOF.
- 16 BOND BEAM AT ROOF LINE
- 17 HVAC UNITS SCREENED BEHIND PARAPET WALL
- 18 1" WIDE SCORED JOINT (TYP.)
- 19 CHU BLOCK W/ STUCCO FINISH - SEE PAINT  
SCHEME DETAIL THIS SHEET
- 20 DECORATIVE FOAM CORNICE COLOR: RELIABLE WHITE
- 21 SPLIT FACE CHU PILASTER (1'-4" PROJECTION)
- 22 SPLIT FACE CHU PILASTER (8" PROJECTION)
- 23 ALUMINUM STOREFRONT - BRONZE FINISH  
TINTED CLERESTORY GLASS WINDOWS  
VISIBLE LIGHT TRANSMITTANCE=30%
- 24 ALUMINUM STOREFRONT - BRONZE FINISH  
TINTED OPAQUE GLASS WINDOWS  
VISIBLE LIGHT TRANSMITTANCE=30%
- 25 8" HIGH X 2" DEPTH FOAM BOARD TRIM WITH E.F.S.
- 26 SPLIT FACE CHU PILASTER (3'-4" PROJECTION)
- 27 METAL TRELLIS COLOR:  
COLOR: SHERWIN WILLIAMS "ANTIQUE BRONZE"
- 28 (4) 8" X 8" GLAZED CERAMIC TILE RECESSED 1/2"  
COLOR: DARK BRONZE

2 ELEVATION KEYNOTES

COLORS:  
SHERWIN WILLIAMS "RELIABLE WHITE" - SW 6091  
SHERWIN WILLIAMS "SAND DUNE" - SW 6086  
SHERWIN WILLIAMS "NUTHATCH" - SW 6088



- GENERAL NOTES:
1. REFER TO SECTION 0900 OF THE SPECIFICATIONS FOR PAINT AND EXTERIOR COATINGS. ALL COLORS ARE BY SHERWIN-WILLIAMS PAINT COMPANY.
  2. PAINT RESTROOM WALL VENTS TO MATCH THE ADJACENT WALL COLOR.
  3. SEALANT AT EXPANSION JOINTS TO MATCH ADJACENT WALL COLOR.
  4. ALL MASONRY JOINTS TO BE CONCAVE TOOLED.

4 GENERAL NOTES

- SIGNAGE NOTES:
1. AUTOZONE'S SIGN VENDOR WILL FURNISH AND INSTALL ALL SIGNS UNLESS SPECIFICALLY NOTED ON THE DRAWINGS OTHERWISE. WALL SIGNS TO BE INSTALLED ON SURFACES THAT ARE FINISHED AND PREPARED BY GENERAL CONTRACTOR.
  2. SIGN INSTALLER SHALL OBTAIN SIGN PERMITS AND INSTALL ALL FREESTANDING SIGNS AND THEIR FOUNDATIONS UNLESS NOTED OTHERWISE. GENERAL CONTRACTOR SHALL INSURE SIGN LOCATION IS TO GRADE AND SHALL MARK WHERE SIGN IS TO BE LOCATED.
  3. GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF PRIMARY ELECTRICAL, AND FINAL ELECTRICAL HOOK-UP. SEE "SW" SHEETS FOR ADDITIONAL INFORMATION.
  4. SEE SHEET E3 FOR LOCATIONS OF J-BOXES TERMINATING EACH WALL SIGN CIRCUIT.

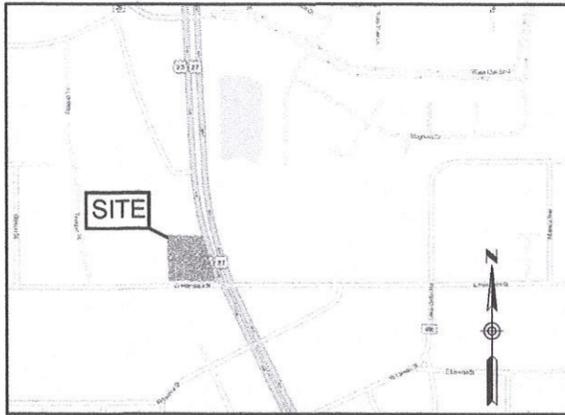
5 SIGNAGE NOTES - BUILDING

REVISIONS	
1	4
2	5
3	6

AutoZone Store No. 4999  
US HIGHWAY 27/1441  
LADY LAKE FL  
EXTERIOR ELEVATIONS AND NOTES

Architect: George Callow  
123 South Front Street  
Memphis, Tennessee 38103  
TEL: 901-495-8705 FAX: (901) 495-8969  
For Bidding & Contractor Information Contact:  
McGraw - Hill Construction Tel. 615-884-1017  
www.construction.com

03/09/15  
65W2-L  
CE1



Location Map  
SCALE: 1"=500'



## Site Development Plans Approval Application

Proposed

# AutoZone Store #4999 NWC US Hwy 27 and Hermosa Street Lady Lake, Florida

Applicant / Developer:

**AutoZone, Inc.**  
123 S. Front Street, 3rd Floor  
Memphis, Tennessee 38103

Architect:

**AutoZone, Inc.**  
c/o: Wade Davis  
123 S. Front Street, 3rd Floor  
Memphis, Tennessee 38103

Civil Engineer:

**Kinney Engineering, LLC**  
Jason D. Kinney, P.E.  
2573 34th Avenue N.  
St. Petersburg, Florida 33713  
727-527-1526

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C1.2	UTILITY PLAN
C1.3	SEDIMENT & EROSION CONTROL PLAN
L1	LANDSCAPE PLAN
L2	LANDSCAPE DETAILS
L3	LANDSCAPE NOTES
IR1	IRRIGATION PLAN
LP.1	LIGHTING PHOTOMETRICS PLAN
C1.A	SITE DETAILS
C1.B	SITE DETAILS
C1.C	SITE DETAILS
C1.D	SITE DETAILS

Owner / Developer:  
**AutoZone Inc.**  
123 South Front Street, 3rd Floor  
Memphis, Tennessee 38103  
Tel: (901) 495-8709 Fax: (901) 495-9969  
For Bidding & Contractor Information Contact:  
F.W. Dodge Plan Room Tel: (615) 884-1017

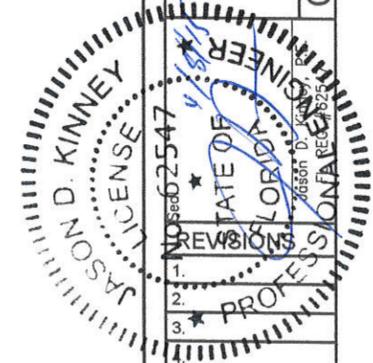


**Kinney Engineering, LLC**  
2573 34th Avenue N.  
St. Petersburg, FL 33713  
727-527-1656  
FL COA #30311

AutoZone Store Development  
4999  
NWC W. Hermosa Street and US Hwy 27  
LADY LAKE, FLORIDA

Prepared for:  
Store No.:

COVER SHEET



1.	
2.	
3.	
4.	
5.	
6.	
7.	
ARCHITECT:	N/A
DRAWN BY:	JK
CHECKED BY:	SK
DATE	10/6/14
PROTOTYPE SIZE	65W2

C0.0

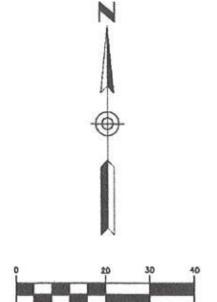
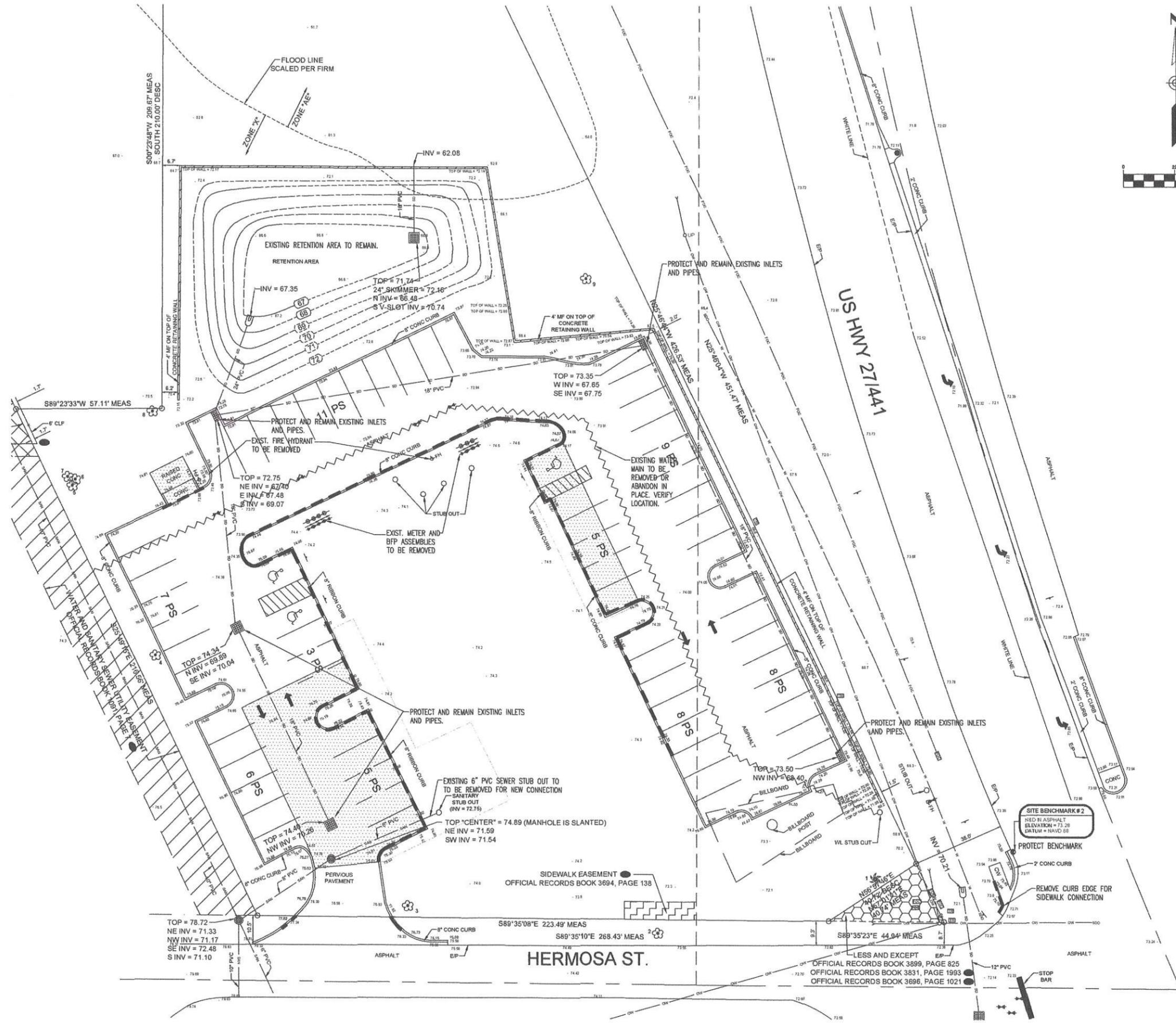


**GENERAL DEMOLITION NOTES:**

- All work to be accomplished in strict accordance with all local ordinances, city or state.
- Within the Subject Property, the intent is to have a clean, clear site, free of all existing items noted to be removed in order to permit the construction of the new project.
- All items noted to be removed by the Seller shall be accomplished prior to the closing of the Real Estate Transaction. All other items noted to be removed shall be done so as part of the contract for General Construction.
- Remove and dispose of any sidewalks, fences, stairs, walls, debris and rubbish requiring removal from the work area in an approved off site landfill.
- The Contractor shall secure all permits for his demolition and disposal of his demolition material to be removed from the site. The Contractor shall post bonds and pay permit fees as required. Building Demolition Contractor shall be responsible for permits and disposal of building demolition debris.
- The detailed plans may not reflect all utilities on the site or surrounding streets and properties. The Contractor shall verify locations and existence of utility services prior to construction. The Contractor shall call "SUNSHINE ONE CALL" at 1-800-432-4770, 72 hours prior to construction.
- The Contractor to remove all utilities to existing structures whether shown or not or arrange for the appropriate Utility Company to cut and cap service piping at the property line or main (as required). All services may not be shown on this plan.
- For all items noted to be removed - remove not only the above ground elements, but all underground elements as well including but not necessarily limited to: foundations, gravel fills, tree roots, old pipes, etc.
- Back fill all excavations resulting from the demolition work to meet the requirements for fill outlined in the Geotechnical Report.
- The Contractor shall protect all iron pins, monuments and property corners during construction. Any Contractor disturbed pins, monuments, etc. shall be reset by a Licensed Land Surveyor at the expense of the Contractor.
- The Contractor shall restore any utility structure, pipes, pavement, curbs, sidewalks or landscaped areas disturbed during demolition to their original condition to the satisfaction.
- All buildings, foundation walls and footings indicated on this plan to be removed from site. Contractor shall secure any permits and pay all fees and perform clearing and grubbing and debris removal prior to commencement of grading operations.
- Any hazardous waste, to include disturbed soil, shall be disposed of using a Licensed Hazardous Material Contractor.
- All utilities shall be cut and capped prior to demolition.
- All existing utilities shall be protected during demolition.
- Demolition shall not cause service interruptions for other utility customers.
- Contractor shall obtain and supply Asbestos Survey as necessary.
- Prior to removal of any asphalt or concrete materials within the ROW, the area must be sawcut to prevent any damage to the roadway.

**DEMOLITION LEGEND**

-  EXIST. ASPHALT TO BE MILLED AND OVERLAY
-  EXIST. PAVEMENT TO BE REMOVED
-  EXIST. CURBING TO BE REMOVED

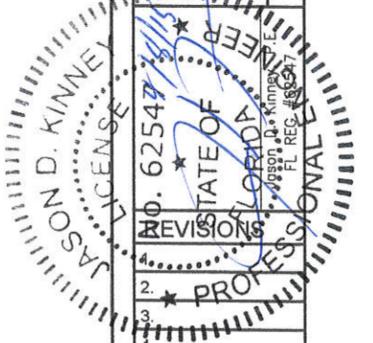


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 FL COA #30311

Prepared for: **AutoZone Store Development**  
 Store No.: 4999  
 NWC W. Hermosa Street and US Hwy 27  
 LADY LAKE, FLORIDA

DEMOLITION PLAN



ARCHITECT: N/A  
 DRAWN BY: JK  
 CHECKED BY: SK  
 DATE: 10/6/14  
 PROTOTYPE SIZE: 65W2

**D1.0**

GENERAL NOTES:

- 1. REFER TO SURVEY AND GRADING PLAN TO CONFIRM DATUM OF PLANS.
2. ENGINEER SHALL NOT HAVE AUTHORITY OVER THE SITE OR BUILDING CONTRACTORS' WORK OR RESPONSIBILITIES. ENGINEER IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION OR SITE SAFETY PROCEDURES.
3. THESE PLANS SHALL NOT BE USED FOR CONSTRUCTION UNLESS THEY SPECIFICALLY STATE THAT THEY HAVE BEEN APPROVED FOR CONSTRUCTION. PLANS WHICH ARE NOT STAMPED APPROVED SHALL BE CONSIDERED INTERIM AND SHALL NOT BE USED FOR CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS AND PAYING ALL PERMIT FEES REQUIRED TO CONSTRUCT THIS PROJECT. THE CONTRACTOR SHALL ALSO OBTAIN FROM THE OWNER COPIES OF ALL NECESSARY REGULATORY PERMITS AND LOCAL AGENCY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL PERMITS MUST BE IN-HAND PRIOR TO CONSTRUCTION AND MUST BE KEPT ON SITE.
5. PRIOR TO COMMENCEMENT OF ANY SITE WORK, A PRE-CONSTRUCTION MEETING MAY BE REQUIRED BY THE LOCAL MUNICIPALITY. AT A MINIMUM, THE CONTRACTOR, ENGINEER (OR ENGINEER'S REPRESENTATIVE), AND MEMBERS OF THE MUNICIPALITY SHALL BE PRESENT TO ADDRESS CONSTRUCTION REQUIREMENTS AND CONCERNS.
6. SURVEY INFORMATION INCLUDING BUT NOT LIMITED TO EXISTING SITE GRADES AND ELEVATIONS, LOCATION OF EXISTING IMPROVEMENTS, EXISTING PIPE INVERTS, EASEMENTS, RIGHTS OF WAY, AND OTHER TOPOGRAPHIC OR SURVEY INFORMATION HAS BEEN PREPARED BY OTHER PROFESSIONALS. ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS INFORMATION. FOR SPECIFIC INFORMATION REFER TO PROVIDED COPY OF SITE SURVEY AS PREPARED BY AND SIGNED/SEALED BY PROFESSIONAL SURVEYOR AND MAPPER.
7. CONTRACTOR SHALL VERIFY SITE BOUNDARY AND TOPOGRAPHIC/SURVEY INFORMATION AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO SUBMITTING PRICES OR ORDERING MATERIALS.
8. ALL EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND OTHER UTILITIES MAY EXIST. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL SUNSHINE11 PRIOR TO ANY DEMOLITION, DIGGING, OR CONSTRUCTION ACTIVITIES. CONTRACTOR MUST HAVE EXISTING UTILITIES LOCATED BY UNDERGROUND LINE LOCATORS AND FIELD VERIFIED BY ON-SITE PERSONNEL PRIOR TO ORDERING MATERIALS OR COMMENCING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ENGINEER.
9. PRIOR TO ORDERING ANY MATERIALS THE CONTRACTOR SHALL SUBMIT COPIES OF ALL SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AND APPROVAL. THE ENGINEER'S APPROVAL OF SHOP DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY CONCERNING ERRORS AND OMISSIONS. WHEN FIELD CONDITIONS MERIT DEVIATIONS FROM THE REQUIREMENTS OF THESE PLANS OR OTHER CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING AT THE TIME OF SUBMISSION OF SHOP DRAWINGS. PRIOR TO SUBMISSION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO THOROUGHLY REVIEW SHOP DRAWINGS AND MATERIALS OR PRODUCT DATA FOR COMPLETENESS AND COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS, TO VERIFY ALL DIMENSIONS AND FIELD CONDITIONS, AND TO COORDINATE THE SHOP DRAWINGS WITH THE REQUIREMENTS FOR OTHER RELATED WORK.
10. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PROPERTY CORNERS AND SURVEY BENCHMARKS AND TO ACCURATELY REPLACE OR RESTORE THEM IF DAMAGED OR DISTURBED DURING CONSTRUCTION.
11. IT SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE PROTECTION OF ADJACENT PROPERTIES AND EXISTING ON OR OFF SITE STRUCTURES, UTILITIES, AND OTHER IMPROVEMENTS TO REMAIN; AND IT SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGE CAUSED BY THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
12. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DEVELOP APPLICABLE BEST MANAGEMENT PRACTICES (BMPs) TO ENSURE THE CONTROL OF EROSION AND SEDIMENT, OFF-SITE TRACKING, SPILLS, SANITARY WASTE, FERTILIZERS & PESTICIDES, FUEL STORAGE, SOLID WASTE DISPOSAL, STORMWATER DISCHARGES, NON-STORMWATER DISCHARGES, AND HAZARDOUS WASTE. WHEN A SPILL IS ENCOUNTERED, CONSTRUCTION SHALL STOP AND WORK SHALL NOT RESUME UNTIL DIRECTED BY THE PROJECT ENGINEER. DISPOSITION OF HAZARDOUS WASTE, SOLID WASTE, OR SANITARY WASTE SHALL BE MADE IN ACCORDANCE WITH ANY REQUIREMENTS AND REGULATIONS OF ANY LOCAL, STATE, OR FEDERAL AGENCY HAVING JURISDICTION.
13. ALL WORK OR MATERIALS WHICH DO NOT CONFORM TO THE APPLICABLE SPECIFICATIONS OF THE LOCAL MUNICIPALITY ENGINEERING DESIGN STANDARDS OR APPLICABLE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS OR ANY WORK PERFORMED WITHOUT AN INSPECTION BY A REPRESENTATIVE OF THE TOWN OF LADY LAKE IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
14. AT THE COMPLETION OF WORK, THE ENTIRE PROJECT SITE AND ANY ADJACENT AREAS AFFECTED BY CONSTRUCTION ACTIVITIES SHALL BE THOROUGHLY CLEANED AND DISTURBED AREAS SHALL BE RESTORED. THE CONTRACTOR SHALL AT A MINIMUM CLEAN ALL INSTALLED AND PRE-EXISTING STRUCTURES AND PIPELINES AFFECTED BY CONSTRUCTION; CLEAR ACCUMULATED SILTS FROM PONDS, SWALES, AND OTHER DRAINAGE FACILITIES; AND CLEAN ALL SIDEWALKS, GUTTERS, AND PAVED AREAS.

SIGNING AND STRIPING NOTES:

- 1. ALL SIGNS AND PAVEMENT MARKINGS AND MATERIALS WITHIN THE FDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY & TRAFFIC DESIGN STANDARDS, LATEST EDITION. FDOT STANDARD INDEX NO. 11200, 11880, 11892, 1392, 17344, 17348, AND 17355 ARE APPLICABLE STANDARDS TO THIS PROJECT.
2. ALL MARKINGS WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE FOLLOWING: 8" EDGE AND LANE LINES, 6" SINGLE AND DOUBLE LINE CENTERLINES.
3. ALL PAVEMENT MARKINGS WITHIN AREAS OF THE RIGHT-OF-WAY ARE TO BE THERMOPLASTIC WITH RAISED PAVEMENT MARKERS (TYPE 811 - 4" X 4") AND ARE TO BE INSTALLED PER FDOT INDEX NO. 17352.
4. ALL ROADWAY SIGNS WITHIN THE RIGHT-OF-WAY ARE TO BE HIGH INTENSITY RETROREFLECTIVE MATERIALS WITH THE DATE OF FABRICATION SHOWN ON THE BACK OF EACH SIGN. INTERNAL TRAFFIC SIGNS DO NOT NEED TO BE RETROREFLECTIVE.

GRADING NOTES:

- 1. A GEOTECHNICAL REPORT HAS BEEN PREPARED BY ECS FLORIDA, LLC AND IS AVAILABLE FOR INFORMATION PURPOSES. THE CONTRACTOR SHOULD REVIEW THIS REPORT, VISIT THE SITE AND COMPLETE ANY ADDITIONAL EXPLORATIONS NECESSARY IN ORDER TO PROVIDE A SATISFACTORY BID FOR THE WORK REQUIRED.
2. ALL TOPSOIL WITHIN THE PROPOSED LIMITS OF GRADING SHALL BE STRIPPED AND SHALL BE STOCKPILED ON-SITE IN AN APPROVED LOCATION FOR LATER USE DURING GRADING AND LANDSCAPING. AFTER ALL LANDSCAPED AREAS HAVE BEEN BROUGHT TO FINISHED GRADE, ANY EXCESS SOILS SHALL BE DISPOSED OF OFF-SITE UNLESS OTHERWISE NOTED ON THE PLANS.
3. ALL STOCKPILES SHALL BE STABILIZED TO PREVENT EROSION.
4. COORDINATE THE SEQUENCING OF ALL CLEARING AND GRUBBING AND GRADING ACTIVITIES WITH THE EROSION CONTROL PLAN. ALL AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF 7 DAYS OR MORE SHALL BE STABILIZED WITH SEED AND MULCH OR OTHER ACCEPTABLE MEANS. FOR VEGETATED AREAS, PERMANENT VEGETATION SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF FINAL GRADING.
5. LIMITS OF LAND CLEARING SHALL BE 9' OUTSIDE OF ALL AREAS TO BE GRADED OR NOT BEYOND THE PROPERTY LINES, WHICHEVER IS LESS. NO GRADING SHALL OCCUR OFF-SITE OR IN ANY ROAD RIGHT-OF-WAY WITHOUT PRIOR APPROVALS.
6. THE CONTRACTOR SHALL EXCAVATE THE PROPOSED STORMWATER POND(S) OR AN APPROPRIATELY SIZED SEDIMENTATION BASIN AT THE COMMENCEMENT OF GRADING ACTIVITIES AND SHALL DIRECT SITE RUNOFF TO THESE LOCATIONS IN ORDER TO MINIMIZE OFFSITE RUNOFF.
7. PROPOSED GRADES INDICATED ON THIS PLAN ARE TO FINISHED GRADE. THE CONTRACTOR SHALL MAKE SUBGRADE ADJUSTMENTS FOR TOPSOIL PAVING, BUILDING PAD, ETC.
8. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL STORMWATER PONDS AND SWALES ARE CONSTRUCTION IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. THE POND VOLUME SHALL BE WITHIN THREE PERCENT OF THE DESIGN VOLUME AND POND SIDE SLOPES SHALL NOT BE STEEPER THAN THAT SHOWN ON THE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY, AT NO ADDITIONAL COST TO THE OWNER, TO MAKE ANY NECESSARY ADJUSTMENTS IF THE STORMWATER PONDS OR SWALES ARE NOT CONSTRUCTED ACCURATELY.
9. ALL GRADING ADJACENT TO EXISTING OR PROPOSED BUILDINGS SHALL BE SLOPED AWAY FROM THE STRUCTURES AT A MINIMUM OF 1% GRADE. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
10. THE MAXIMUM SLOPE IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2.0% GRADE IN ANY DIRECTION. THE MAXIMUM SLOPE IN THE DIRECTION OF TRAVEL IN ALL HANDICAP ACCESS ROUTES SHALL NOT EXCEED 5.0% GRADE AND 2.0% CROSS SLOPE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING COMPACTION TESTING.
12. COMPACTION TESTS SHALL BE TAKEN AT THE RECOMMENDATION OF THE ON-SITE GEOTECHNICAL ENGINEER, BUT AT A MINIMUM EVERY 500 SF OF BUILDING AREA OR 2,500 SQUARE FEET OF NON-BUILDING AREA PER 10'-12" LIFT (8" IN TRENCHES).
13. AREAS WITH LIMITED SPACES SUCH AS FOR INSTALLATION OF MANHOLES, INLETS, OR UTILITY TRENCHES SHOULD BE BACKFILLED AND COMPACTED METHODOUSLY, AT THE DISCRETION OF THE ON-SITE GEOTECHNICAL ENGINEER. STONE BACKFILL SHALL BE INSTALLED IN 12" LOOSE LIFTS AND COMPACTED WITH 8-PASSES OF A VIBRATORY COMPACTOR.
14. SUBGRADE SHALL BE PROFFER ROLLED AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING FILL. ANY AREAS SHOWING SIGNS OF PUMPING, RUTTING, OR ANY UNSUITABLE (ORGANIC, SOFT, WET, LOOSE) MATERIAL FOUND IN PLACE SHALL BE UNDERCUT AND REPLACED, OR MOISTURE CONDITIONED AND COMPACTED TO THE SPECIFIED DENSITY AND MOISTURE CONTENT LISTED BELOW.
a. ALL EXPOSED SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3" AND RECOMPACTED TO 95% MODIFIED PROCTOR MAXIMUM DRY DENSITY AND WITHIN +/- 2% OF OPTIMUM MOISTURE CONTENT.
15. IN THE EVENT THAT THE SUBGRADE IS AFFECTED BY INCLEMENT WEATHER OR CONSTRUCTION TRAFFIC AFTER IT HAS BEEN INITIALLY PREPARED THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING IT TO THE PROPER CONDITION PRIOR TO PLACING FILL.
16. FILL MATERIAL SHALL HAVE THE FOLLOWING PROPERTIES: FREE OF ORGANICS, NO ROCK FRAGMENTS GREATER THAN 4" WITHIN 4" OF FINISH GRADE. THE FILL SHALL CONSIST OF FINE TO MEDIUM SAND WITH LESS THAN 5% SOIL FINES. FILL MATERIAL WITH SOIL FINES BETWEEN 5 AND 12 PERCENT MAY BE USED BUT STRICT MOISTURE CONTROL MAY BE REQUIRED. COORDINATE WITH ON-SITE GEOTECHNICAL ENGINEER FOR MOISTURE CONTROL.
17. FILL MATERIAL SHALL BE COMPACTED TO 98% MODIFIED DRY DENSITY IN PAVED AND STRUCTURAL AREAS AND TO 95% MODIFIED DRY DENSITY IN NON-STRUCTURAL AND LANDSCAPED AREAS, AND SHALL BE PLACED IN 10"-12" LOOSE LIFTS (8" IN TRENCHES), AND WITHIN +/- 2% OF OPTIMUM MOISTURE CONTENT. STRUCTURAL AREAS INCLUDE ZONES OF INFLUENCE AROUND THE BUILDING, PAVEMENT AREAS, FILL SLOPES, ETC.
18. FILL SLOPES SHOULD BE BENCHED INTO THE EXISTING SLOPES AND SHOULD BE COORDINATED WITH THE ON-SITE GEOTECHNICAL ENGINEERING FOR DEPTH OF BENCH INTO THE SLOPE.
19. EXCAVATIONS AND MATERIALS SHALL NOT BLOCK ACCESS TO OFF-SITE SIDEWALKS, ROADS, OR DRIVEWAYS UNLESS AN ADEQUATE BYPASS ROUTE IS PROVIDED. CONTRACTOR SHALL MINIMIZE INCONVENIENCE TO ADJACENT PROPERTIES.
20. THE CONTRACTOR SHALL PROVIDE NECESSARY SAFETY AND PROTECTIVE DEVICES AT ALL EXCAVATION AREAS.
21. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY, AT NO ADDITIONAL COST TO THE OWNER, TO PROVIDE AND MAINTAIN ANY SHEETING, BRACING, SHORING, ETC. REQUIRED TO CONTAIN EXCAVATIONS AND STOCKPILES WITHIN THE PROPERTY OR EASEMENTS PROVIDED, TO STABILIZE THE SIDES OF THE EXCAVATION, TO BE IN ACCORDANCE WITH OSHA REQUIREMENTS, AND TO PREVENT ANY MOVEMENT WHICH MAY CAUSE DAMAGE TO ADJACENT STRUCTURES OR PAVEMENT.

STORM DRAINAGE NOTES:

- 1. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL STORM DRAINAGE MATERIALS AND STRUCTURES TO ENGINEER PRIOR TO INSTALLATION AND/OR FABRICATION.
2. ALL PROPOSED STORM INLETS (GRATES, CURB, YARD, AREA DRAINS) ARE TO BE LOCATED AT LOWPOINTS, AND SITE GRADING SHALL BE SUCH THAT RUNOFF IS DIRECTED TO THESE INLETS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED STORM INLET GRATES, PIPE SLOPES, PIPE INVERTS, POTENTIAL CONFLICTS AND POINTS OF CONNECTION PRIOR TO INSTALLATION OR ORDERING OF MATERIALS. CONFLICT MANHOLES SHALL NOT BE ALLOWED UNLESS APPROVED IN WRITING BY THE ENGINEER. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION OR ORDERING MATERIALS.
4. STORM DRAINAGE SYSTEMS SHALL BE CONSTRUCTED FROM DOWNSTREAM TO UPSTREAM TO ALLOW DRAINAGE DURING CONSTRUCTION.
5. PRIOR TO POURING FOOTINGS, CONTRACTOR SHALL COORDINATE ROOF DRAIN COLLECTOR LINES, DOWNSPOUTS AND BOOTS WITH FOOTING ELEVATIONS ON THE STRUCTURAL PLANS. TOP OF FOOTINGS SHALL BE A MINIMUM OF 3' BELOW GRADE AT ALL ROOF DRAIN DOWNSPOUT LOCATIONS TO ENSURE ADEQUATE COVER TO TRANSITION TO BELOW GRADE PIPING.
6. ALL STORM PIPES 12" AND LESS SHALL BE SMOOTH LINED HIGH DENSITY POLYETHYLENE (HDPE) OR SCHEDULE 40 POLYVINYL CHLORIDE (PVC) WITH WATER-TIGHT JOINTS UNLESS OTHERWISE NOTED. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
7. ALL STORM PIPES 18" AND GREATER SHALL BE CLASS 3 REINFORCED CONCRETE PIPE (RCP) BELL AND SPIGOT INSTALLED WITH WATER-TIGHT JOINTS UNLESS OTHERWISE NOTED. ROUND RCP SHALL COMPLY WITH ASTM C76. ELLIPTICAL RCP SHALL COMPLY WITH ASTM C507.
8. ALL STORM PIPE JOINTS SHALL COMPLY WITH ASTM C443 AND FDOT SPECIFICATION SECTION 438. RUBBER GASKETS SHALL COMPLY WITH FDOT SPECIFICATION SECTION 442. ALL PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC IN ACCORDANCE WITH FDOT INDEX NO. 280. FILTER FABRIC SHALL BE PER FDOT INDEX NO. 109, TYPE D-3, A.O.S. 10-100. A MINIMUM OVERLAP OF 12" IS REQUIRED.
9. ALL DRAINAGE STRUCTURES, INCLUDING CLEANOUTS, SHALL HAVE HS20 TRAFFIC RATED GRATES, TOPS, RING AND COVERS, ETC. UNLESS OTHERWISE NOTED.
10. LEAKAGE TESTING SHALL BE PERFORMED ON ALL STORM PIPING. THE CONTRACTOR SHALL CLEAN ALL INSTALLED LINES AND STRUCTURES PRIOR TO ANY TESTING PROCEDURES.
10.1. WHEN GROUNDWATER IS PRESENT ABOVE THE TOP OF THE PIPE, AN INFILTRATION TEST SHALL BE PERFORMED BY SEALING OFF A LENGTH OF PIPE AND MEASURING THE DEPTH OF FLOW OVER A MEASURING WEIR, OR BY PUMPING THE INFILTRATED WATER INTO CONTAINERS FOR MEASUREMENT. TEST DURATION SHALL BE A MINIMUM OF 4 HOURS.
10.1.1. INFILTRATION LEAKAGE SHALL NOT EXCEED 150 GALLONS PER 24 HOURS PER INCH DIAMETER PER MILE OF PIPE.
10.2. WHEN GROUNDWATER IS BELOW THE TOP OF THE PIPE, THE PIPE SHALL BE TESTED FOR LEAKAGE BY EXFILTRATION. EXFILTRATION LEAKAGE TEST SHALL CONSIST OF ISOLATING THE PARTICULAR SECTION, FILLING WITH WATER 4 FEET ABOVE THE TOP OF THE PIPE AT THE UPPER STRUCTURE, AND ALLOWING IT TO STAND AT LEAST 4 HOURS. THE SECTION SHALL THEN BE REFILLED WITH WATER UP TO THE ORIGINAL LEVEL AND THE WATER SURFACE CHANGE MEASURED AFTER TWO HOURS.
10.2.1. EXFILTRATION LEAKAGE SHALL NOT EXCEED 150 GALLONS PER INCH DIAMETER PER 24 HOURS PER MILE OF PIPE.
11. HIGH DENSITY POLYETHYLENE (HDPE) PIPE SHALL BE INSTALLED PER ASTM D2321. CONTRACTOR SHALL BACKFILL AND COMPACT EVENLY ON EACH SIDE TO PREVENT DISPLACEMENT. MINIMUM COVER OVER PE PIPE SHALL BE AS FOLLOWS
11.1. WHERE BEDDING IS SUITABLE: 3'-0" OR ONE PIPE DIAMETER
11.2. WHERE BEDDING IS MANUFACTURED: APPROXIMATE CLASS 1A OR 1B AS DEFINED IN ASTM D2321 - 3" OR ONE PIPE DIAMETER
12. ALL DRAINAGE STRUCTURE BOTTOMS SHALL BE IN ACCORDANCE WITH FDOT INDEX NO. 200, LATEST EDITION. GRATE INLETS SHALL BE IN ACCORDANCE WITH FDOT INDEX NO. 232, LATEST EDITION.
13. ALL STORM MANHOLES AND PRECAST CONE, RISER, AND BASE SECTIONS SHALL MEET FDOT STANDARDS.
14. UNDERDRAIN PIPE SHALL BE PVC IN ACCORDANCE WITH ASTM F758. FILTER FABRIC UNDERDRAIN SOCK SHALL BE TYPE D-3 PER FDOT INDEX NO. 199.

DEWATERING NOTES:

- 1. ALL DEWATERING ACTIVITIES SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
2. THE CONTRACTOR SHALL DESIGN AND IMPLEMENT A DEWATERING SYSTEM OF SUFFICIENT SIZE AND CAPACITY TO CONTROL GROUNDWATER IN A MANNER THAT PRESERVES STRENGTH OF FOUNDATION SOILS, DOES NOT CAUSE INSTABILITY OR SLOUGHING OF EXCAVATION SLOPES, AND DOES NOT RESULT IN DAMAGE TO EXISTING STRUCTURES.
3. WHERE NECESSARY, THE CONTRACTOR SHALL LOWER THE WATER LEVEL IN ADVANCE OF EXCAVATION, UTILIZING WELLS, WELLPOINTS, OR SIMILAR POSITIVE METHODS.
4. MAINTAIN THE GROUNDWATER LEVEL TO A MINIMUM OF 2 FEET BELOW EXCAVATIONS OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER. PROVIDE PIEZOMETERS IF DIRECTED BY THE GEOTECHNICAL ENGINEER TO DOCUMENT THAT THE GROUNDWATER LEVEL IS BEING MAINTAINED.
5. DISCHARGE FROM DEWATERING ACTIVITIES SHALL NOT CAUSE ADVERSE IMPACTS TO OFF-SITE WATERBODIES OR STORMWATER SYSTEMS OR TO WATER QUALITY. THE CONTRACTOR SHALL CONTROL BY ACCEPTABLE MEANS, ALL WATER REGARDLESS OF SOURCE AND BE FULLY RESPONSIBLE FOR DISPOSAL OF THE WATER.
6. NON-STORMWATER DEWATERING DISCHARGES CANNOT BE DISCHARGED WITHOUT PRIOR NOTICE TO AND APPROVAL FROM FDP AND THE LOCAL WATER MANAGEMENT DISTRICT.
7. FDP MAY REQUIRE A SEPARATE NPDES PERMIT FOR DEWATERING ACTIVITIES.
8. THE CONTRACTOR SHALL BE REQUIRED TO PERMIT THE DEWATERING SYSTEM WITH THE LOCAL WATER MANAGEMENT DISTRICT IF DEWATERING EQUIPMENT NEEDED EXCEEDS ANY OF THE FOLLOWING:
a. 100,000 GPD TOTAL 24 HOUR (1 DAY) DEWATERING;
b. 1,000,000 GPD PUMP CAPACITY;
c. GROUNDWATER WELL SIZE IS 8" DIAMETER OR GREATER;
d. CUMULATIVE OUTSIDE DIAMETER OF SURFACE WATER WITHDRAWAL PIPES IS 6" IN DIAMETER OR GREATER.
9. OPEN PUMPING WITH SUMPS AND DITCHES SHALL BE ALLOWED, PROVIDED IT DOES NOT RESULT IN BOLLS, LOSS OF FINES, SOFTENING OF THE GROUND, OR INSTABILITY OF SLOPES. SUMPS SHALL BE LOCATED OUTSIDE OF LOAD BEARING AREAS SO THE BEARING SURFACES WILL NOT BE DISTURBED. WATER CONTAINING SILT IN SUSPENSION SHALL NOT BE PUMPED INTO SEWER LINES OR ADJACENT STREAMS. DURING NORMAL PUMPING, AND UPON DEVELOPMENT OF WELLS(S), LEVELS OF FINE SAND OR SILT IN THE DISCHARGE WATER SHALL NOT EXCEED 5 PPM.
10. CONTINUOUSLY MAINTAIN EXCAVATIONS IN A DRY CONDITION WITH POSITIVE DEWATERING METHODS DURING PREPARATION OF SUBGRADE, INSTALLATION OF PIPE, AND CONSTRUCTION OF STRUCTURES UNTIL THE CRITICAL PERIOD OF CONSTRUCTION AND/OR BACKFILL IS COMPLETED TO PREVENT DAMAGE OF SUBGRADE SUPPORT, PIPING, STRUCTURE, SIDE SLOPES, OR ADJACENT FACILITIES FROM FLOATION OR OTHER HYDROSTATIC PRESSURE IMBALANCE.
11. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL REMOVE ALL DEWATERING EQUIPMENT FROM THE SITE, INCLUDING WELLS AND RELATED TEMPORARY ELECTRICAL SERVICE.

EROSION AND SEDIMENTATION CONTROL NOTES:

- 1. EROSION AND SEDIMENT CONTROL IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE STATE, FEDERAL, AND LOCAL EROSION CONTROL REGULATIONS AND SHALL ENSURE THAT ANY STORMWATER AND NON-STORMWATER DISCHARGES FROM THE SITE DO NOT EXCEED THE TOLERANCES SET FORTH IN THOSE REGULATIONS.
2. EROSION AND SEDIMENT CONTROLS ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION.
3. THE EROSION AND SEDIMENT CONTROL MEASURES OUTLINED IN THESE PLANS ARE REPRESENTATIVE OF BEST MANAGEMENT PRACTICES, AND ARE INTENDED TO MEET THE MINIMUM ACCEPTABLE STANDARDS FOR EROSION AND SEDIMENT CONTROL AND ENSURE COMPLIANCE WITH RULES OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, CHAPTER 17-25-FAC AND THE LOCAL WATER MANAGEMENT DISTRICT. ADDITIONAL CONTROLS MAY BE NECESSARY DEPENDING ON SITE CONDITIONS, CONSTRUCTION PHASING, RAINFALL SEVERITY, AND ACTUAL EFFECTIVENESS OF CONTROLS, AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FILE "NOTICE OF INTENT (NOI) FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER A NPDES GENERAL PERMIT" (EPA FORM 4510-9 OR LATEST VERSION) TO EPA AND "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES" (DEP FORM 62-621.300(4)(B) OR LATEST VERSION). THE FORMS SHALL BE FILED TO THE APPROPRIATE AGENCY AS INDICATED ON THE FORMS.
5. IN ADDITION TO THIS PLAN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CREATING AND MAINTAINING A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH FDP REGULATIONS. THE SWPPP SHALL BE COMPLETED PRIOR TO THE SUBMITTAL OF THE NOTICE OF INTENT (NOI) TO BE COVERED UNDER THE DEPARTMENT'S GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES.
6. THE SWPPP SHALL BE AMENDED WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR DISCHARGE OF POLLUTANTS TO WETLANDS, SURFACE WATERS OF THE STATE, OR A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4). THE SWPPP ALSO SHALL BE AMENDED IF IT PROVES TO BE INEFFECTIVE AND/OR TO INDICATE ANY NEW CONTRACTOR AND/OR SUBCONTRACTOR THAT WILL IMPLEMENT ANY MEASURE OF THE SWPPP.

PROJECT DESCRIPTION:

- A. SITE LOCATION
THE SITE IS LOCATED AT THE NORTHWEST CORNER OF HERMOSA AND US HWY 27, LADY LAKE, FL.
B. PROJECT AREA
THE TOTAL SITE AREA IS 1.982 +/- ACRES
THE AREA TO BE DISTURBED IS 1.982 +/- ACRES.
C. EXISTING SITE CONDITIONS
THE EXISTING CONDITION OF THE SITE IS VACANT WITH ASPHALT PARKING AREAS.
D. DESCRIPTIONS OF PROPOSED STORM WATER MANAGEMENT SYSTEM
STORMWATER RUNOFF FROM THE PROJECT AREA WILL BE COLLECTED IN A SYSTEM OF INLETS AND PIPE ROUTED TO A DRY RETENTION POND.

E. RECEIVING WATERS/WETLAND AREAS:

THE STORMWATER MANAGEMENT SYSTEM WILL DISCHARGE TO THE US HWY 27 ROW. THERE ARE NO WETLANDS OR OTHER SURFACE WATERS ON OR ADJACENT TO THE PROJECT SITE.

F. STATE AND LOCAL PERMITS AND APPROVALS:

THE FOLLOWING PERMITS OR APPROVALS ARE REQUIRED FOR THE CONSTRUCTION OF THE STORMWATER FACILITIES FOR THIS PROJECT:

- ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT (SRWMD)
• CITY OF LADY LAKE, FL - SITE DEVELOPMENT PERMIT
• CITY OF LADY LAKE RIGHT OF WAY USE PERMIT

THE FOLLOWING MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION FOR THIS PROJECT:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FILE "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES" (DEP FORM 62-621.300(4)(B) OR LATEST VERSION) TO FDP.

G. GENERAL SEQUENCING FOR EROSION CONTROL

- 1. INSTALLATION OF PERIMETER CONTROLS AND INLET PROTECTION
2. CONSTRUCTION OF SEDIMENT BASIN
3. CLEARING AND GRUBBING
4. SITE GRADING (ALL AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF 7 DAYS OR MORE SHALL BE STABILIZED WITH SEED AND MULCH OR OTHER ACCEPTABLE MEANS)
5. SITE DEVELOPMENT AND BUILDING CONSTRUCTION
6. FINAL STABILIZATION.

SEE EROSION CONTROL PLAN FOR ADDITIONAL CONSTRUCTION SEQUENCING NOTES.

AS PART OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED AND MAINTAINED BY THE CONTRACTOR, THE SITE CONTRACTOR SHALL PREPARE A CONSTRUCTION SCHEDULE. THIS SCHEDULE SHALL INCLUDE THE DATE GRADING WILL BEGIN, THE EXPECTED DATE OF FINAL SITE STABILIZATION, AND THE SCHEDULE FOR INSTALLATION AND MAINTENANCE OF SPECIFIC CONTROL MEASURES AS RELATED TO THE SCHEDULE OF CONSTRUCTION ACTIVITIES. IN CASE OF DISCREPANCIES, SEQUENCING OUTLINED IN THE SWPPP SHALL PREVAIL.

EROSION CONTROL BEST PRACTICES:

- 1. CONSTRUCTION ACTIVITIES SHOULD BE PLANNED IN PHASES WITH THE MINIMUM AMOUNT OF LAND DISTURBANCE NECESSARY TO DEVELOP OCCURRING IN EACH PHASE IN ORDER TO REDUCE THE EROSION POTENTIAL OF THE SITE.
2. PERIMETER CONTROLS, SEDIMENT TRAPS, BASINS, DIVERSIONS, AND OTHER EROSION CONTROLS SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETE. FINAL STABILIZATION IS ESTABLISHED AND THE SITE INSPECTOR HAS APPROVED THEIR REMOVAL.
3. CONSTRUCTION ENTRANCE/EXIT PADS SHOULD BE INSTALLED PRIOR TO ANY LAND DISTURBANCE ACTIVITIES AND SHOULD BE MONITORED REGULARLY FOR EFFECTIVENESS IN MINIMIZING OFFSITE SEDIMENT TRACKING.
4. THE CONTRACTOR SHALL EXCAVATE THE PROPOSED STORMWATER POND(S) OR AN APPROPRIATELY SIZED SEDIMENTATION BASIN AT THE COMMENCEMENT OF GRADING ACTIVITIES, AND SHALL DIRECT SITE RUNOFF TO THESE LOCATIONS TO MINIMIZE OFFSITE RUNOFF.
5. STORAGE AREAS, VEHICLE WASH DOWN AREAS, CONCRETE WASHOUT AREAS, WASTE COLLECTION AND DISPOSAL AREAS, AND OTHER POTENTIAL POLLUTION SOURCES SHOULD BE CLEARLY DELINEATED ON THE SITE WITH SIGNAGE SO THEY CAN BE EASILY LOCATED AND UTILIZED.
6. A RAIN-GAUGE SHALL BE MAINTAINED ON THE SITE TO MONITOR RAINFALL EVENTS.
7. EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH 1/4-INCH RAINFALL EVENT AND AT LEAST ONCE A WEEK, AND IN ACCORDANCE WITH THE SWPPP AND ALL APPLICABLE STATE, FEDERAL, AND LOCAL REGULATION. ANY REQUIRED MAINTENANCE, REPAIRS, OR NECESSARY MODIFICATIONS TO THE EROSION CONTROL PLAN SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE SILT FENCE OR EROSION BARRIER.
8. ALL AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF 7 DAYS OR MORE SHALL BE STABILIZED WITH SEED AND MULCH OR OTHER ACCEPTABLE MEANS. FOR VEGETATED AREAS, PERMANENT VEGETATION SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF FINAL GRADING.
9. STOCKPILES AND EXCAVATED MATERIALS SHOULD NOT BE PLACED NEAR WETLANDS OR WATER BODIES AND SHOULD BE ENCLOSED WITH PROPER SEDIMENT CONTROLS. STOCKPILES SHOULD BE STABILIZED IF THEY ARE NOT TO BE USED FOR A PERIOD OF 7 DAYS OR MORE.
10. SPECIAL CONSIDERATIONS SHOULD BE TAKEN WHEN CLAYS, MUCK, SILTS, AND OTHER FINE PARTICLES ARE PRESENT ON SITE AS THEY PRESENT A HIGHER RISK FOR EROSION AND TURBIDITY PROBLEMS. REFER TO GEOTECHNICAL REPORT AND RECOMMENDATIONS.

INSPECTION AND MAINTENANCE:

- A. THE CONTRACTOR SHALL DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL INSTALLATION AND MAINTENANCE ON A 24 HOUR BASIS. THE SWPPP SHALL INCLUDE THE NAME AND PHONE NUMBER OF THE CONTRACTOR'S DESIGNATED REPRESENTATIVE.
B. THE CONTRACTOR OR OTHER DESIGNATED INDIVIDUAL IS REQUIRED TO INSPECT AND MAINTAIN ALL CONTROLS WEEKLY AND WITHIN 24 HOURS AFTER A RAINSTORM EVENT IN EXCESS OF 1/2-INCH.
C. THE DESIGNATED INSPECTOR MUST BE A QUALIFIED EROSION AND SEDIMENT CONTROL INSPECTOR AS DEFINED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
D. THE INSPECTOR SHALL BE RESPONSIBLE FOR MEETING THE FOLLOWING OBJECTIVES AT A MINIMUM:
1. CONFIRM THAT ALL EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPs HAVE BEEN PROPERLY INSTALLED AND MAINTAINED PER THE APPROVED EROSION CONTROL PLAN AND SWPPP.
2. CONFIRM THAT EROSION IS BEING EFFECTIVELY CONTROLLED.
3. CONFIRM THAT OFFSITE SEDIMENTATION IS BEING PREVENTED.
4. CONFIRM THAT TURBIDITY IS BEING GENERATED IN RECEIVING WATERS.
E. THE INSPECTOR SHALL IMMEDIATELY RECORD AND REPORT ALL INSPECTION FINDINGS AND CORRECTIVE ACTIONS TAKEN AS A RESULT OF THE INSPECTION. INSPECTION REPORTS SHALL BE SIGNED BY THE INSPECTOR AND CONTRACTOR AND RETAINED ON SITE FOR FUTURE REFERENCE AS NEEDED.
F. INSPECTION REPORT FORMS SHALL BE A PART OF THE SWPPP AND SAMPLE FORMS CAN BE OBTAINED FROM THE FDP.

PROTECTION OF WETLANDS AND SURFACE WATERS:

- A. IT SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE WATER QUALITY OF DOWNSTREAM OR ADJACENT WETLANDS AND SURFACE WATERS IS PROTECTED DURING CONSTRUCTION ACTIVITIES. IN NO CASE SHALL TURBID OR POLLUTED WATERS BE DISCHARGED TO ON OR OFF SITE WETLANDS OR OTHER SURFACE WATERS.
B. WHERE APPROPRIATE OR WHEN REQUIRED BY STATE, FEDERAL OR LOCAL AGENCIES, DOWNSTREAM RECEIVING WATERS SHALL BE MONITORED THROUGHOUT CONSTRUCTION FOR TURBIDITY AND PH. A BACKGROUND SAMPLE SHALL BE TAKEN PRIOR TO COMMENCEMENT OF CONSTRUCTION.
C. EROSION CONTROL AND TURBIDITY CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED IN ACCORDANCE WITH THE SWPPP. GENERAL BEST MANAGEMENT PRACTICES INCLUDE THE FOLLOWING:
1. EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
2. PERIMETER EROSION CONTROL AND TURBIDITY CONTROL DEVICES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBANCE AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE. FINAL STABILIZATION IS ESTABLISHED AND THE SITE INSPECTOR HAS APPROVED THEIR REMOVAL.
3. EROSION CONTROL INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND EXISTING STORMWATER INLETS AND OUTFALL STRUCTURES. PROTECTION MEASURES SHALL BE EMPLOYED IMMEDIATELY UPON INSTALLATION OF THE STORMWATER STRUCTURES AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
D. NO ACTIVITY, INCLUDING BUT NOT LIMITED TO CLEARING AND GRUBBING, GRADING, STORAGE OF EQUIPMENT OR MATERIALS, OR ANY OTHER LAND DISTURBANCE OR CONSTRUCTION ACTIVITIES, SHALL OCCUR WITHIN THE PROTECTIVE BUFFER AREAS OF WETLANDS AND SURFACE WATERS AS DELINEATED ON THESE PLANS OR AS REQUIRED BY ANY STATE, FEDERAL OR LOCAL AGENCIES.
E. STOCKPILES AND EXCAVATED MATERIALS SHOULD NOT BE PLACED NEAR WETLANDS OR WATER BODIES AND SHOULD BE ENCLOSED WITH PROPER SEDIMENT CONTROLS.
F. PARKING AND MAINTENANCE AREAS FOR CONSTRUCTION EQUIPMENT SHALL BE DESIGNED TO PREVENT OIL, GREASE AND LUBRICANTS FROM DISCHARGING INTO SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS. CONTRACTOR SHALL IMPLEMENT EFFECTIVE MEANS OF PREVENTING SUCH DISCHARGES, SUCH AS:
1. ENCIRCLE AREAS WITH SILT FENCES OR SILT DIKES;
2. CONSTRUCT SEDIMENT SUMPS WITHIN THE AREAS IN ORDER TO CONTAIN SPILLS;
3. UTILIZE ABSORBENT FILTER PADS TO CLEAN UP SPILLS IMMEDIATELY AFTER ANY OCCURRENCE.
G. INSPECT AND MAINTAIN ALL EROSION AND TURBIDITY CONTROLS WEEKLY AND WITHIN 24 HOURS AFTER A RAINSTORM EVENT IN EXCESS OF 1/2-INCH.

CONTROL OF WIND EROSION:

- A. FUGITIVE DUST SHALL NOT BE ALLOWED TO LEAVE THE SITE WHILE UNDER CONSTRUCTION.
B. BARE EARTH AREAS AND STOCKPILES SHALL BE WATERED, COVERED, OR VEGETATED TO PREVENT EROSION AND FUGITIVE DUST EMISSIONS. WATERING SHALL BE DONE DAILY, OR AT AN INTERVAL APPROPRIATE FOR MAINTAINING DUST CONTROL, BUT SHALL NOT CAUSE WATER EROSION OR TURBIDITY IN NEARBY WATER BODIES OR STORM SYSTEMS.
C. CONSTRUCTION VEHICLE SPEED SHALL BE LIMITED IN CASES WHERE BARE EARTH HAS NOT BEEN EFFECTIVELY WATERED.
D. FOR AREAS TO ULTIMATELY BE VEGETATIVE, PERMANENT VEGETATION SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF FINAL GRADING.
E. THE CONTRACTOR SHALL IMPLEMENT OTHER MEANS OF DUST CONTROL, SUCH AS DUST CONTROL FENCES, AS NECESSARY WHEN WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR FUGITIVE DUST EMISSIONS.

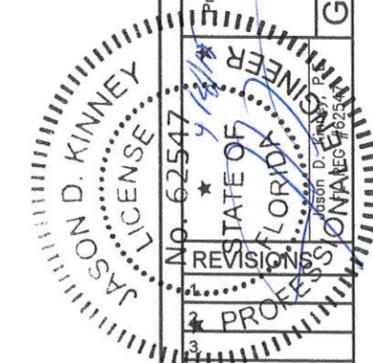
REFERENCES:

- 1. THE CONSTRUCTION PLANS AND SPECIFICATIONS AS PREPARED BY ENGINEER ARE HEREBY REFERENCED AND MADE A PART OF THIS PLAN.

Owner / Developer:
AutoZone Inc.
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969
For Bidding & Contractor Information Contact:
F.W. Dodge Plan Room Tel: (615) 884-1017

Ke
Kinney Engineering, LLC
2573 34th Avenue N.
St. Petersburg, FL 33713
727-527-1656
FL COA #30311

AutoZone Store Development
prepared for:
Store No.: 4999
NWC W. Hermosa Street and US Hwy 27
LADY LAKE, FLORIDA
GENERAL NOTES



1. REVISIONS
2. PROTECTED
3.
4.
5.
6.
7.
ARCHITECT: N/A
DRAWN BY: JK
CHECKED BY: SK
DATE: 10/6/14
PROTOTYPE SIZE: 65w2

C0.1



QUALITY CONTROL TESTING, INSPECTIONS AND APPROVALS

- 1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO UNDERSTAND AND COMPLY WITH THE TESTING REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS AS WELL AS ANY AND ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT...

AS-BUILT DRAWING REQUIREMENTS

- 1. PRIOR TO FINAL INSPECTION, THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER AN AS-BUILT SURVEY DOCUMENTING AS-BUILT CONDITIONS. ALL AS-BUILT DATA SHALL BE PREPARED BY AND SIGNED, SEALED AND DATED BY A LICENSED SURVEYOR REGISTERED IN THE APPLICABLE STATE OF WORK.

TRAFFIC CONTROL NOTES

- 1. ALL CONSTRUCTION SIGNING AND MARKINGS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION IN ACCORDANCE WITH FDOT INDEX NO. 600 AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION.

UTILITY GENERAL NOTES

- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ALL UTILITY SERVICE SYSTEMS (WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, CABLE TV) BETWEEN THE POINT THE RESPECTIVE UTILITY COMPANY COMPLETES THEIR WORK TO THE POINT OF CONNECTION AT THE BUILDING.

ELECTRICAL, TELEPHONE, AND CABLE TV UTILITIES

ENGINEER IS NOT RESPONSIBLE FOR THE DESIGN OF ELECTRIC, TELEPHONE, OR CABLE TV UTILITIES, AND ANY INFORMATION PERTAINING TO THE DESIGN OR LOCATION OF THOSE UTILITIES IS SHOWN ON THE CIVIL DRAWINGS FOR GENERAL REFERENCE ONLY.

UTILITY SEPARATION REQUIREMENTS

- 1. HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS SHALL BE IN ACCORDANCE WITH F.A.C. RULE 62-555.314 AND THE FOLLOWING:

- 1.3. NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.

WATER DISTRIBUTION NOTES

- 1. THE ENTITY THAT WILL OPERATE AND MAINTAIN THE WATER AND RECLAIMED WATER SYSTEMS SHOWN ON THESE PLANS IS AUTOZONE. THE CONTRACTOR SHALL MEET ALL THE REQUIREMENTS OF THE OPERATING ENTITY AND THE WATER UTILITY PROVIDER.

- 12.3.1. 4" DIAMETER = TC 54; 12.3.2. 6" THROUGH 24" DIAMETER = TC 53.

- 20. INSTALL IDENTIFICATION TAPE ALONG ALL DUCTILE IRON PIPE AND PVC PIPE. MINIMUM THICKNESS 4 MILS, WIDTH 6 INCHES, LETTER SIZE 1 INCH. APPLY TAPE TO SURFACE OF PIPE, CONTINUOUSLY EXTENDING FROM JOINT TO JOINT.

SANITARY SEWER NOTES

- 1. THE ENTITY THAT WILL OPERATE AND MAINTAIN THE SEWER SYSTEM SHOWN IN THESE PLANS IS AUTOZONE. THE CONTRACTOR SHALL MEET ALL THE REQUIRED STANDARDS AND SPECIFICATIONS OF THE OPERATING ENTITY.

- 3. A MINIMUM OF 36" OF COVER SHALL BE PROVIDED OVER ALL SANITARY LINES.

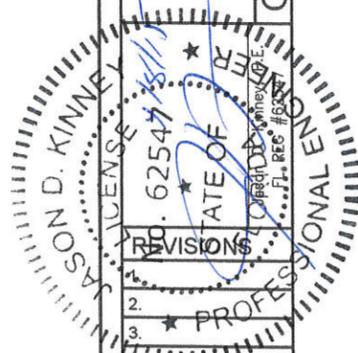
Owner / Developer: AutoZone Inc. 123 South Front Street, 3rd Floor Memphis, Tennessee 38103



Kinney Engineering, LLC 2573 34th Avenue N. St. Petersburg, FL 33713

AutoZone Store Development 4999 N.W.C. W. Hermosa Street and US Hwy 27 LADY LAKE, FLORIDA

Prepared for: Store No. 62547



ARCHITECT: N/A DRAWN BY: JK CHECKED BY: SK DATE 10/6/14



C0.2

PARKING INFORMATION		
ITEM	REQUIREMENTS	PROVIDED
BUILDING SIZE	≤ 1/2 PROVIDED LOT AREA (23,740)	6,815 SF
PARKING REQUIRED	1 PER 300 SF OF GROSS FLOOR AREA; 23 REQUIRED	46 SPACES
MIN. PARKING DIM.	10'x20' 10'x18' w/ OVERHANG	10'x20' 10'x18'
MIN. DRIVEWAY WIDTH	24 FT	24 FT
HANDICAP SPACES	2 SPACES	2 SPACES
LOADING SPACE	1 SPACE	1 SPACE

REFERENCE IS MADE TO THE TOWN OF LADY LAKE ZONING ORDINANCE

- GENERAL NOTES:**
- Property line and right-of-way monuments shall not be disturbed by construction. If disturbed, they shall be reset to their original locations at the Contractor's expense by a Registered Land Surveyor.
  - Proof Roll Building and all parking areas. Notify AutoZone Inc. of any unacceptable areas.
  - Building dimensions shown on the Civil Engineering Plans are for reference purposes only. Contractor shall use the Architectural and Structural Plans for exact Building dimensions.
  - All site dimensions are referenced to the face of curbs or edge of paving unless otherwise noted.
  - All sidewalks, curb and gutter, street paving, curb cuts, driveway approaches, handicap ramps, etc. constructed outside the property line in the right-of-way shall conform to all municipal and/or State specifications and requirements.
  - All disturbance incurred to any adjoining property due to construction or demolition shall be restored to the previous condition or better, and to the satisfaction of the City or State Authority.
  - The Contractor shall provide As-Built records of all construction (including underground utilities) to AutoZone Inc. at the end of construction.
  - All Dimensions to Face of Curb unless otherwise noted.
  - Radii 3' unless noted.
  - Any damaged sidewalk fronting the proposed development shall be removed and replaced.
  - Standard Index #300, #304 & #310 for the construction of sidewalk and meet current ADA Standards and All concrete placed in the right of way shall be from an FDOT certified plant meeting all minimum requirements as referenced in the Standard Specifications for Road and Bridge Construction. Concrete must be a minimum of 6" thick, 3,000 lb. Class 1, non-structural with fiber mesh material.
  - Any damaged sidewalk damaged during construction shall be removed and replaced.
  - Contractor shall refer to FDOT Standard Index (2014) #611, 613, and 616 for Maintenance of Roadway Traffic on roadways and Index #660 for Maintenance of Pedestrian Traffic.
  - Any existing driveways and roadway tie-in points that are to be removed the drop curb and driveway / roadway aprons shall be removed and area regraded and restored with Type "F" curb and standard sidewalk that conforms with F.D.O.T. Standard Index #300 & 310.

BULK AREA REQUIREMENTS		
LOCATION: NWC W. HERMOSA AND US HWY 27 LADY LAKE, FLORIDA		
ZONE: HC - HEAVY COMMERCIAL		
USE: RETAIL, AUTOMOTIVE PARTS		
PARCEL NUMBER: 17-18-24-0000-000-03000		
ITEM	REQUIREMENTS	PROVIDED
MINIMUM LOT AREA	NOT REQUIRED	1,962 AC
MINIMUM LOT FRONTAGE	NOT REQUIRED	223 FT
MINIMUM FRONT SETBACK	20 FT	85.2 FT
MINIMUM SIDE SETBACK	10 FT (20' TO HERMOSA)	64.8 FT
MINIMUM REAR SETBACK	10 FT	83.8 FT
MAXIMUM BUILDING HEIGHT	35 FT	23 FT (1 STORY)
MAXIMUM F.A.R.	NOT LISTED	0.080
MAXIMUM ISR	80%	39.8%
ANTICIPATED EMPLOYEES	NA	12

REFERENCE IS MADE TO THE LADY LAKE ZONING ORDINANCE

	EXISTING*	PROPOSED
IMPERVIOUS AREA	26,422 S.F.	32,705 S.F.
PERVIOUS AREA	47,163 S.F.	45,945 S.F.
BUILDING AREA	11,880 S.F.*	6,815 S.F.

\* INCLUDES 11,880 SF OF BUILDING AREA APPROVED BUT NOT BUILT. ADJACENT ZONING: N = HC, E = ROW/HC, S = ROW/HC, W = AG-1

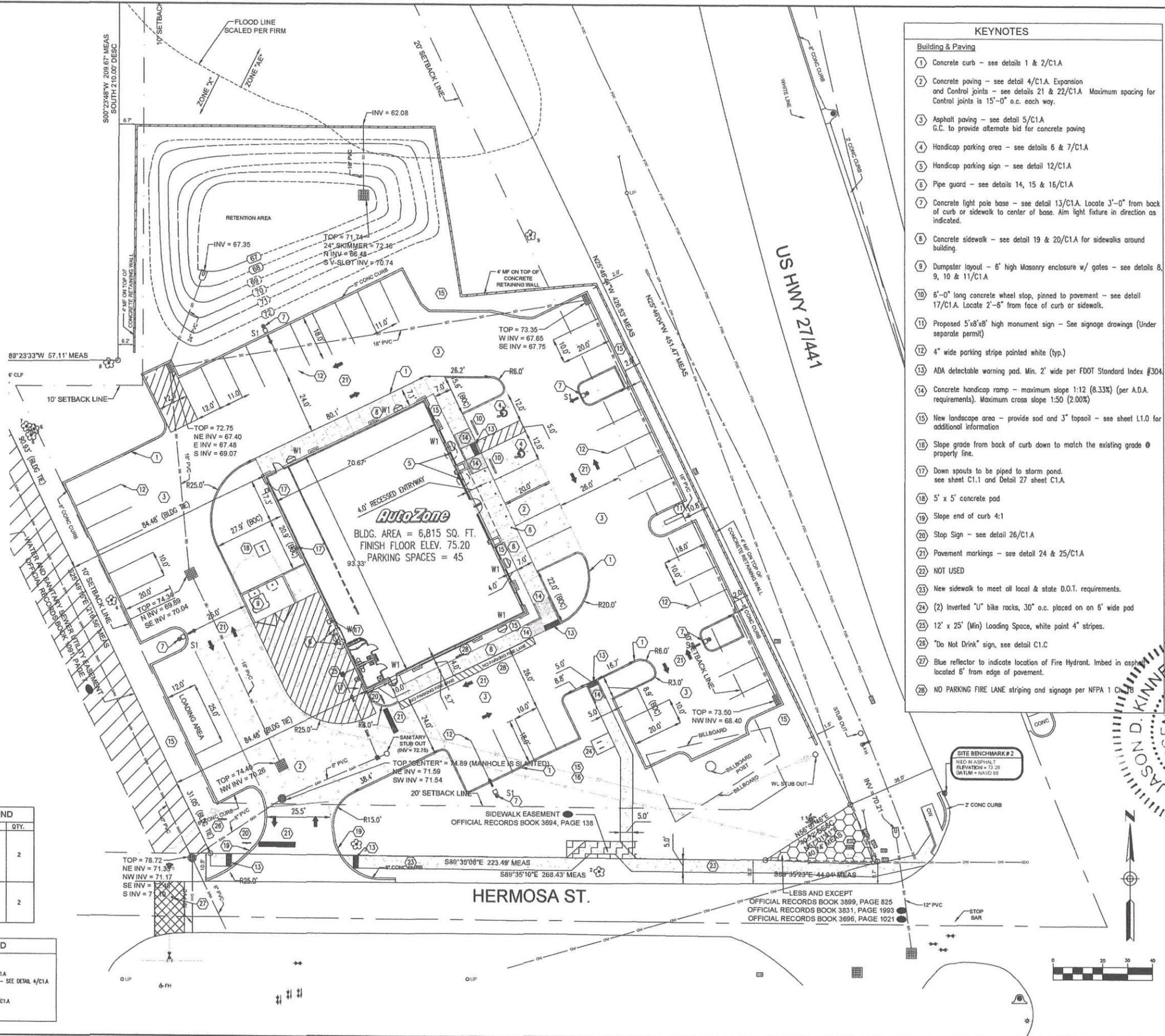
PROPOSED BUILDING IS TYPE II-B CONSTRUCTION

SIGN LEGEND	
LEGEND	QTY.
	2
	2

PAVEMENT LEGEND	
	ASPHALT PAVING - SEE DETAIL 5/C1A (ALTERNATE BID) CONCRETE PAVING - SEE DETAIL 4/C1A
	CONCRETE PAVING - SEE DETAIL 4/C1A

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- KEYNOTES**
- Building & Paving**
- Concrete curb - see details 1 & 2/C1A
  - Concrete paving - see detail 4/C1A. Expansion and Control joints - see details 21 & 22/C1A. Maximum spacing for Control joints is 15'-0" o.c. each way.
  - Asphalt paving - see detail 5/C1A. G.C. to provide alternate bid for concrete paving
  - Handicap parking area - see details 6 & 7/C1A
  - Handicap parking sign - see detail 12/C1A
  - Pipe guard - see details 14, 15 & 16/C1A
  - Concrete light pole base - see detail 13/C1A. Locate 3'-0" from back of curb or sidewalk to center of base. Aim light fixture in direction as indicated.
  - Concrete sidewalk - see detail 19 & 20/C1A for sidewalks around building.
  - Dumpster layout - 6' high Masonry enclosure w/ gates - see details 8, 9, 10 & 11/C1A
  - 6'-0" long concrete wheel stop, pinned to pavement - see detail 17/C1A. Locate 2'-6" from face of curb or sidewalk.
  - Proposed 5'x8'x8' high monument sign - See signage drawings (Under separate permit)
  - 4" wide parking stripe painted white (typ.)
  - ADA detectable warning pad. Min. 2' wide per FDOT Standard Index #304
  - Concrete handicap ramp - maximum slope 1:12 (8.33%) (per A.D.A. requirements). Maximum cross slope 1:50 (2.00%)
  - New landscape area - provide sod and 3" topsoil - see sheet L1.0 for additional information
  - Slope grade from back of curb down to match the existing grade @ property line.
  - Down spouts to be piped to storm pond. see sheet C1.1 and Detail 27 sheet C1A
  - 5' x 5' concrete pad
  - Slope end of curb 4:1
  - Stop Sign - see detail 26/C1A
  - Pavement markings - see detail 24 & 25/C1A
  - NOT USED
  - New sidewalk to meet all local & state D.O.T. requirements.
  - (2) Inverted "U" bike racks, 30" o.c. placed on on 6' wide pad
  - 12' x 25' (Min) Loading Space, white paint 4" stripes.
  - "Do Not Drink" sign, see detail C1.C
  - Blue reflector to indicate location of Fire Hydrant. Imbed in asphalt located 6' from edge of pavement.
  - NO PARKING FIRE LANE striping and signage per NFPA 1 Ch. 10

Owner / Developer:  
**AutoZone Inc.**  
123 South Front Street, 3rd Floor  
Memphis, Tennessee 38103  
Tel: (901) 495-8709 Fax: (901) 495-8969  
For Bidding & Contractor Information Contact:  
F.W. Dodge Plan Room Tel: (615) 884-1017

**Ke**  
Kinney Engineering, LLC  
2573 34th Avenue N.  
St. Petersburg, FL 33713  
727-527-1656  
FL COA #30311

**AutoZone Store Development**  
4899 NWC W. Hermosa Street and US Hwy 27  
LADY LAKE, FLORIDA

Prepared for: No. 62547  
Store No.:  
Professional Engineer  
JASON D. KINNEY  
FL REG # 62547

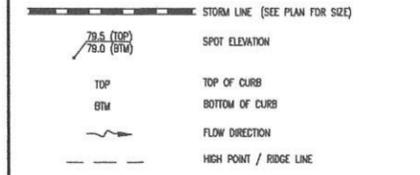
**REVISIONS**

NO.	DESCRIPTION
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ARCHITECT: N/A  
DRAWN BY: JK  
CHECKED BY: SK  
DATE: 10/6/14  
PROTOTYPE SIZE: 65W2

**C1.0**

**GRADING & DRAINAGE LEGEND**

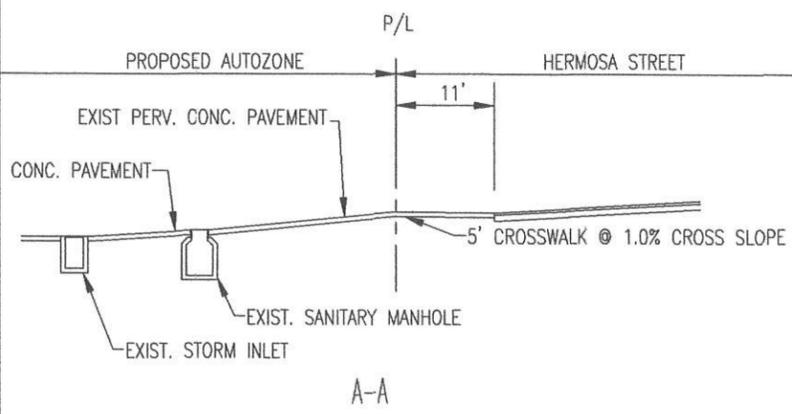
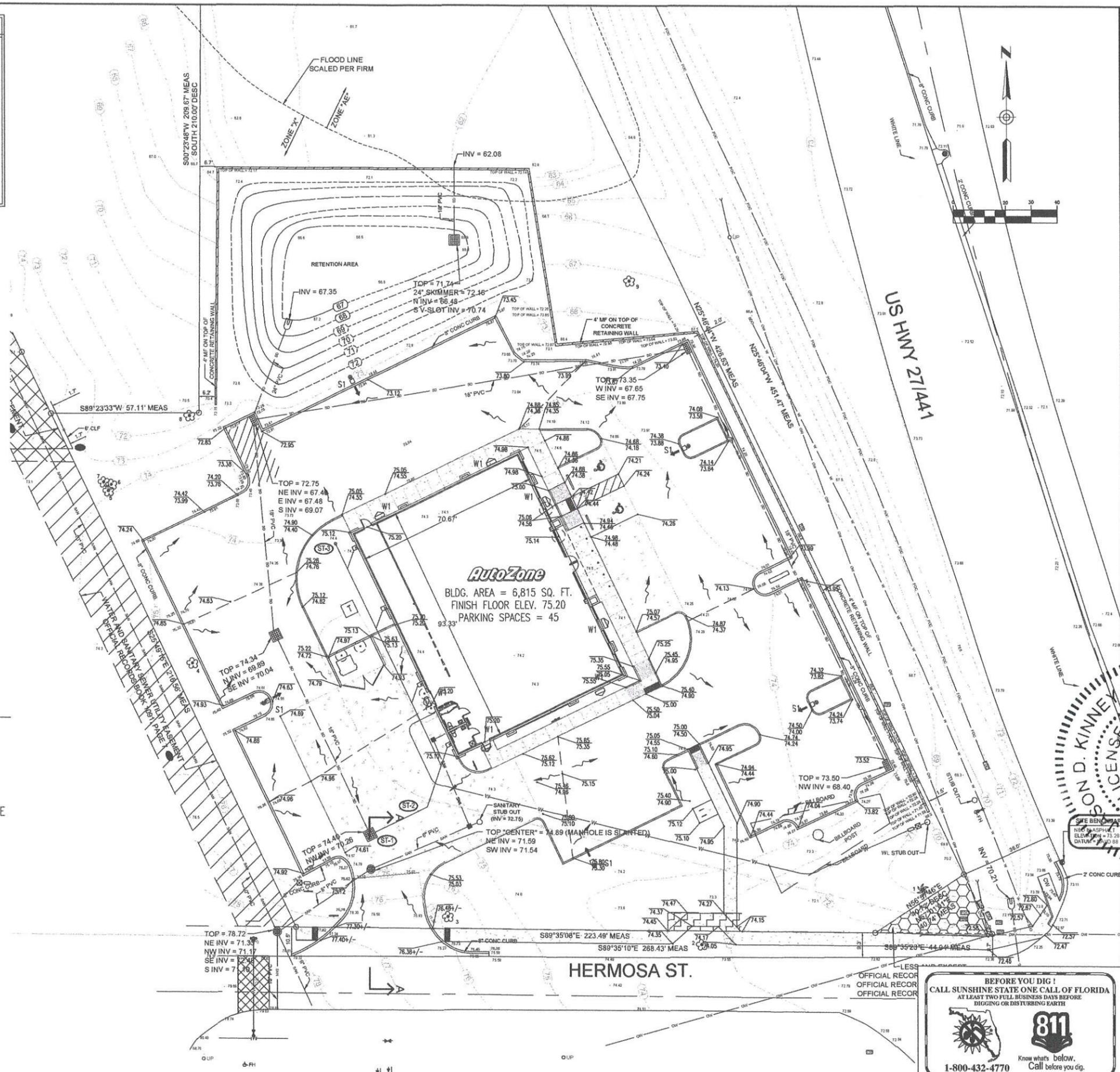


**STORM SCHEDULE**

- ST-1 CONNECT TO EXISTING INLET  
 INV. = 70.26
  - ST-2 ROOF DRAIN DOWNSPOUTS WITH 6" PVC AT  
 1.0% TO POND. SEE DETAIL 27/C1.0
  - ST-3 6" PVC CLEAN OUT  
 TOP = 75.15  
 INV. = 71.61
- ALL EXISTING INLETS AND PIPES TO REMAIN

**GRADING NOTES:**

1. Topsoil may be stripped and stockpiled for use in final landscaping.
2. All site work, materials of construction, and construction methods shall conform to the Specifications and Details and Applicable Sections of AutoZone Inc., the City of Wildwood, and the State of Florida Department of Transportation Standards. All fill material under structures and paved areas shall meet the requirements of the Geotechnical Engineer's Engineering Report, dated June 6, 2014, and shall be placed in accordance with the requirement of the DOT under the supervision of a qualified Professional Engineer. Compaction shall be 95% maximum modified proctor density per ASTM D 1557 within 3 percent of optimum moisture content.
3. The Contractor shall obtain a copy of the Geotechnical Engineering Report dated June 6, 2014 and prepared by ECS Florida LLC, 2815 Directors Row, Suite 500, Orlando, FL 32809, or pavement, foundation and slab, placement, construction and design criteria.
4. The Contractor shall mill and overlay pavement to proposed elevation. Minimum final asphalt depth shall be 1.5 inches in parking areas and 2.0" in drive aisles.

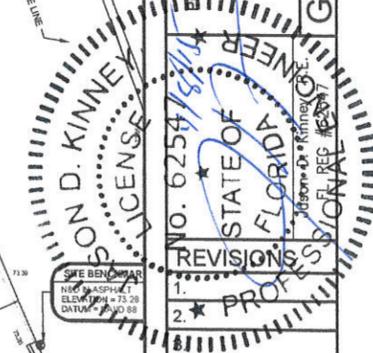


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 FL COA #30311

**AutoZone Store Development**  
 4999  
 NWC W. Hermosa Street and US Hwy 27  
 LADY LAKE, FLORIDA

Prepared for:  
 Store No.:  
 No. 0254/14



**REVISIONS**

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2.	PROF
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ARCHITECT: N/A  
 DRAWN BY: JK  
 CHECKED BY: SK  
 DATE: 10/6/14  
 PROTOTYPE SIZE: 65w2

**C1.1**

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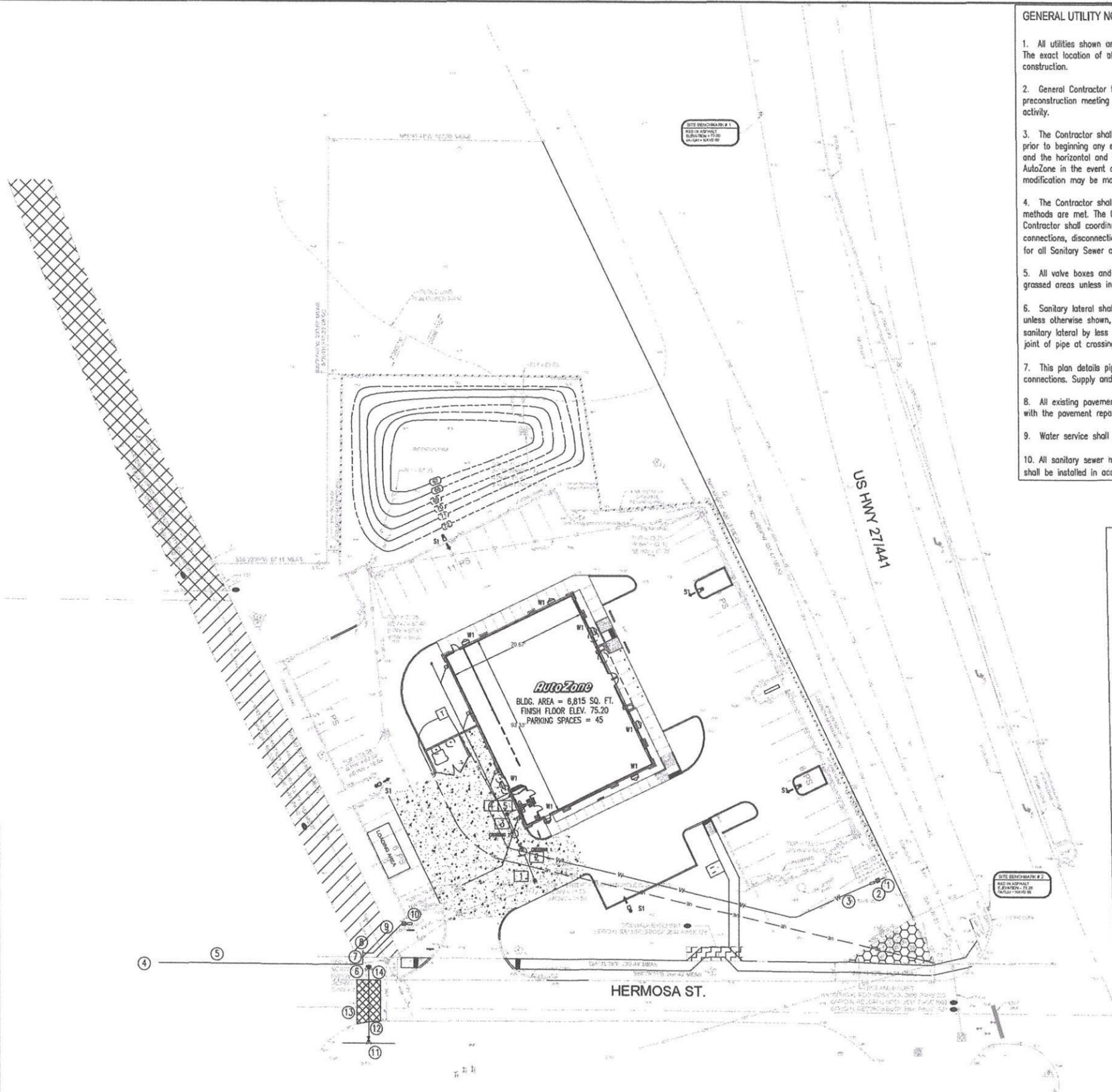
**811**  
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LEGEND	
	SANITARY LINE
	ELECTRIC SERVICE
	TELEPHONE SERVICE
	WATER SERVICE
	WATER METER ASSEMBLY & REDUCED PRESSURE BACKFLOW PREVENTOR
	GATE VALVE
	CLEANOUT SEE DETAIL
	ELECTRIC METER
	TRANSFORMER

UTILITY CROSSINGS	
1	PAVEMENT SURFACE = 74.95 6" PVC SEWER PIPE INV. = 72.83 1" PC WATER INV. = 70.00
2	PAVEMENT SURFACE = 75.00 6" PVC SEWER PIPE INV. = 72.90 8" PVC STORM INV. = 70.64

SANITARY SEWER SCHEDULE	
1	CONNECT TO EXISTING 6" PVC WITH 90-DEGREE SWEEP AND CLEAN OUT. CLEANOUT TOP = CLEANOUT INVERT = 72.67 CONTRACTOR FIELD VERIFY INVERT AND CONNECTION PRIOR TO INSTALL OF SEWER PIPE.
2	36 LF 6" SDR35 SANITARY SEWER @ 1.00%
3	6" 90-DEGREE SWEEP BEND WITH CLEAN OUT CLEAN OUT TOP = CLEAN OUT INVERT = 73.03
4	5 LF 6" SDR35 SANITARY SEWER @ 1.00%
5	CONNECT TO BUILDING @ INV. ELEV. 73.08

POTABLE WATER SCHEDULE	
1	CONNECT TO EXISTING 2" SERVICE.
2	PROPOSED 3/4" WATER METER DOMESTIC PROPOSED DOMESTIC REDUCED PRESSURE BACK FLOW PREVENTER
3	PROPOSED 1" P.E. TUBING TO DOMESTIC SERVICE
4	CONNECT TO EXISTING 8" RECLAIMED SERVICE WITH BX4 TEE.
5	PROPOSED 103 LF 4" SCH 80 PVC RECLAIMED MAIN (PURPLE) RESTRAIN JOINTS PER DETAIL E104, SHEET C1.C
6	PROPOSED 4" TEE WITH 4" PLUG
7	PROPOSED 8 LF 4" SCH 80 PVC RECLAIMED MAIN (PURPLE)
8	PROPOSED 4X2 TEE, WITH 4" PLUG
9	PROPOSED 2" SCH 80 PVC (PURPLE) RECLAIMED SERVICE
10	PROPOSED 3/4" WATER METER IRRIGATION PROPOSED IRRIGATION REDUCED PRESSURE BACK FLOW PREVENTER
11	PROPOSED 8x8 TAPPING VALVE, SEE DETAIL E121-1, SHEET C1.B
12	PROPOSED 36 LF 8" SCH 80 PVC HYDRANT EXTENSION MAIN (BLUE) RESTRAIN JOINTS PER DETAIL E104-1, SHEET C1.B
13	OPEN CUT AND RESTORE PAVEMENT PER DETAIL E131, C1.B
14	HYDRANT ASSEMBLY PER DETAIL E203, SHEET C1.C. PAINT HYDRANT FOR FLOW RATE IN ACCORDANCE WITH AWWA RECOMMENDATIONS



- GENERAL UTILITY NOTES:**
- All utilities shown are approximate locations only and have been compiled from the latest available mapping. The exact location of all underground utilities shall be verified by the Contractor prior to the start of construction.
  - General Contractor to coordinate with the local Utility Companies for all locations and connections. A preconstruction meeting with the various Utility Companies, is required prior to the start of any construction activity.
  - The Contractor shall visit the site and verify the elevation and location of all utilities by various means prior to beginning any excavation. Test pits shall be dug at all locations where sewers cross existing utilities, and the horizontal and vertical locations of the utilities shall be determined. The Contractor shall contact AutoZone in the event of any unforeseen conflicts between existing and proposed utilities so that an appropriate modification may be made.
  - The Contractor shall insure that all Utility Companies and City Standards for materials and construction methods are met. The Contractor shall perform proper coordination with the respective Utility Company. The Contractor shall coordinate work to be performed by the various Utility Companies and shall pay all fees for connections, disconnection, relocation's, inspections, and demolition. (AutoZone to reimburse General Contractor for all Sanitary Sewer and Water Tap Fees).
  - All valve boxes and curb boxes shall be adjusted to the final grades. All curb boxes shall be located in grassed areas unless indicated otherwise on the plans.
  - Sanitary lateral shall maintain (10' min. horizontal 1.5' vertical min.) separation distance from water lines unless otherwise shown, or additional protection measures will be required. Where water line crosses above sanitary lateral by less than 2' vertical, a concrete encasement shall be installed, Contractor shall center one joint of pipe at crossing.
  - This plan details pipes up to 5' from the building face. Refer to the building drawings for building connections. Supply and install pipe adapters as necessary.
  - All existing pavement where utility piping is to be installed shall be saw cut and replaced in accordance with the pavement repair requirements of the Governing Authority.
  - Water service shall be Blue P.E. tubing
  - All sanitary sewer main lines shall be schedule 40 PVC pipe (except as noted on plans). All PVC pipe shall be installed in accordance with the manufacturer's recommended procedure.

- UTILITY SERVICE NOTES:**
- Water Service**  
General Contractor to provide and install a 1" Blue P.E. water line from existing main to building.  
Contact: Town of Lady Lake  
Telephone: (352) 751-1525
- Electric Service**  
Duke Energy to provide underground 120/208/3 phase service. General Contractor to provide and install two 4" dia. conduit w/ secondary wire to utility company point of connection.  
Contact: New Construction  
Telephone: (866) 372-4663
- Telephone Service**  
xxx to provide new underground service. General Contractor to provide and install a 4" dia. PVC conduit w/ pull wire from phone panel board to utility company point of connection.  
Contact: Anyone  
Telephone: (xxx) xxx-xxxx
- Sanitary Sewer**  
General Contractor to provide and install a 6" SDR35 PVC from building to existing manhole connection. General Contractor to provide a 6" cast iron under building slab. (min. 1% slope). Provide clean outs every 60' (typical).  
Contact: Town of Lady Lake  
Telephone: (352) 751-1525

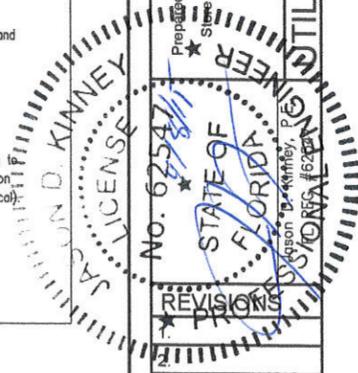
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**AutoZone Store Development**  
Prepared for:  
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LADY LAKE, FLORIDA



REVISIONS	
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ARCHITECT: N/A  
DRAWN BY: JK  
CHECKED BY: SK  
DATE: 10/6/14  
PROTOTYPE SIZE: 65W2

**C1.2**

SEQUENCE OF CONSTRUCTION

AS PART OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED AND MAINTAINED BY THE CONTRACTOR, THE SITE CONTRACTOR SHALL PREPARE A DETAILED CONSTRUCTION SCHEDULE. THIS SCHEDULE SHALL INCLUDE THE DATE GRADING WILL BEGIN, THE EXPECTED DATE OF FINAL STABILIZATION, AND THE SCHEDULE FOR INSTALLATION AND MAINTENANCE OF SPECIFIC CONTROL MEASURES AS RELATED TO THE SCHEDULE OF CONSTRUCTION ACTIVITIES.

THE SWPPP SHALL BE AMENDED WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR DISCHARGE OF POLLUTANTS TO WETLANDS, SURFACE WATERS OF THE STATE, OR A MUNICIPAL SEWER SYSTEM (MS4). THE SWPPP ALSO SHALL BE AMENDED IF IT PROVES TO BE INEFFECTIVE AND/OR TO INDICATE ANY NEW CONTRACTOR AND/OR SUBCONTRACTOR THAT WILL IMPLEMENT ANY MEASURE OF THE SWPPP.

IN CASE OF DISCREPANCIES, SEQUENCING OUTLINED IN THE SWPPP SHALL PREVAIL.

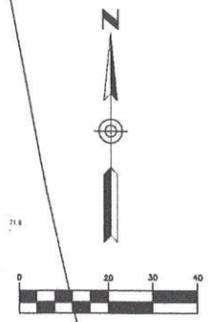
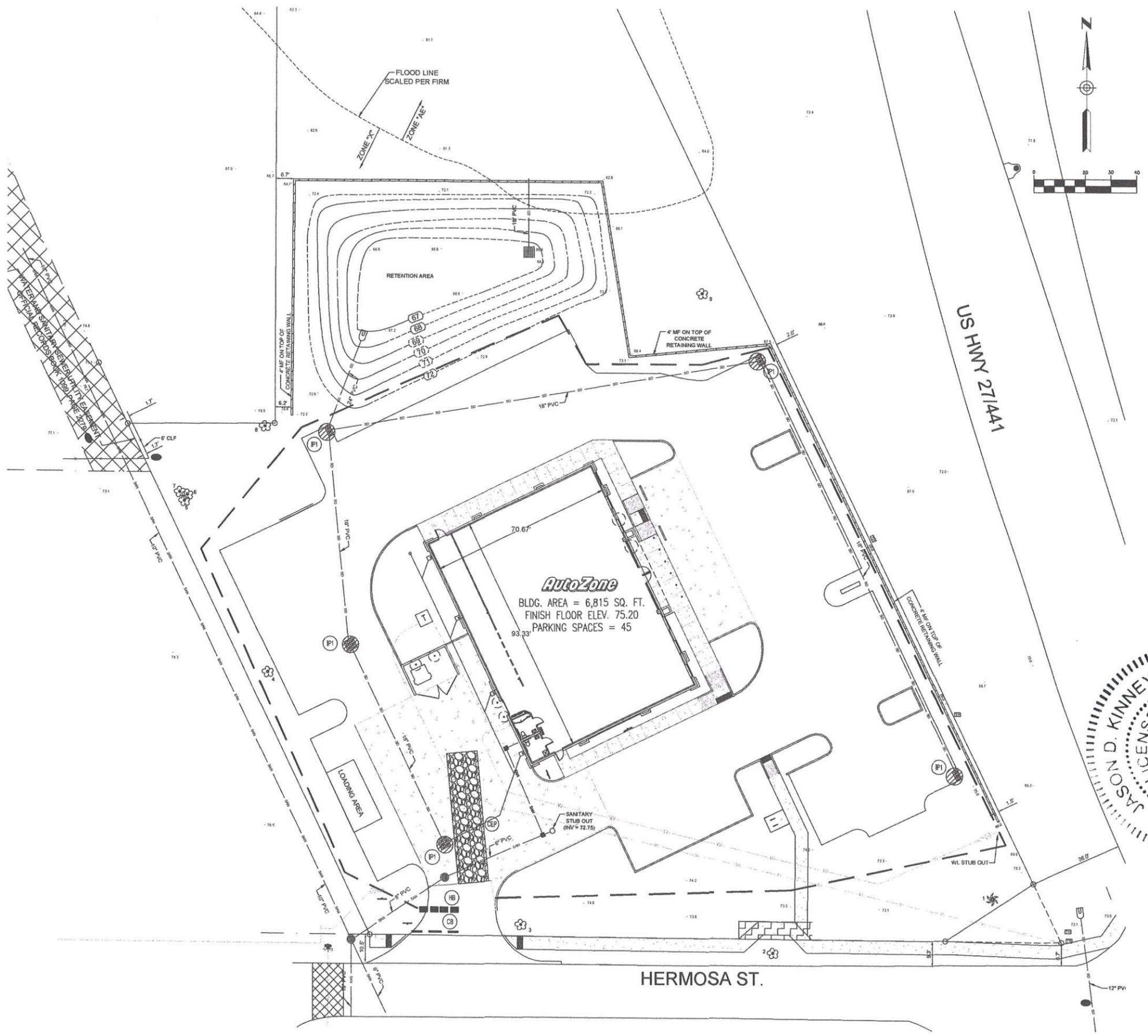
1. INSTALL INLET EROSION PROTECTION ON INLETS TO REMAIN, AS SHOWN ON THIS PLAN.
2. INSTALL SILT FENCE, TURBIDITY BARRIERS, AND OTHER PERIMETER CONTROLS.
3. INSTALL STABILIZED CONSTRUCTION EXIT/ENTRANCES.
4. CONSTRUCT TEMPORARY SEDIMENT BASIN.
5. PREPARE AND CLEARLY DELINEATE POLLUTION SOURCE CONTROL AREA SUCH AS MATERIALS AND EQUIPMENT STORAGE, STOCKPILES, TEMPORARY PARKING, VEHICLE WASH DOWN, CONCRETE WASHOUT, EQUIPMENT MAINTENANCE/REPAIR, WASTE COLLECTION AND DISPOSAL, FUEL STORAGE. THE LOCATIONS OF THESE AREAS SHOULD BE DENOTED ON THE SITE MAP AND UPDATED THROUGHOUT THE PROJECT CONSTRUCTION.
6. CLEAR AND GRUB THE SITE. WHEN APPROPRIATE, CLEARING AND GRUBBING SHOULD OCCUR IN STAGES IN ORDER TO MAINTAIN NATIVE VEGETATION AND REDUCE EROSION.
7. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
8. BEGIN SITE GRADING. AS CLEARING AND GRADING PROGRESS, TEMPORARY SEEDING AND MULCHING SHOULD FOLLOW IMMEDIATELY FOR ALL AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF 7 DAYS OR MORE.
9. INSTALL UNDERGROUND UTILITIES SUCH AS WATER LINES, WASTEWATER LINES, POWER UTILITIES, STORM SEWERS, AND UNDERDRAINS. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED. INSTALL CURB AND GUTTER.
10. AREAS TO BE VEGETATED SHALL BE PERMANENTLY STABILIZE AS THEY ARE BROUGHT TO FINAL GRADE.
11. PREPARE SITE FOR PAVING.
12. PAVE SITE. INSTALL INLET EROSION PROTECTION ON INLETS.
13. FINALIZE GRADING AND PERMANENTLY STABILIZE ALL AREAS. COORDINATE SODDING, AND PERMANENT VEGETATION WITH LANDSCAPE PLAN.
14. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ONLY WHEN CONSTRUCTION IS COMPLETED AND SITE IS COMPLETELY STABILIZED.

SPECIAL NOTES:

1. SEE SHEET C0.1 FOR APPLICABLE EROSION CONTROL GENERAL NOTES.
2. SEE LANDSCAPE PLANS FOR PERMANENT PLANTING INFORMATION.
3. SEE LANDSCAPE PLANS FOR IRRIGATION INFORMATION.
4. SEE SHEET C1.D FOR APPLICABLE EROSION CONTROL DETAILS.

EROSION CONTROL LEGEND

- SF SILT FENCING
- ⊙ P1 FILTER SACK INLET PROTECTION
- ▨ CEP CONSTRUCTION EXIT PAD
- CB CONSTRUCTION BARRICADE
- HB HAY BALES



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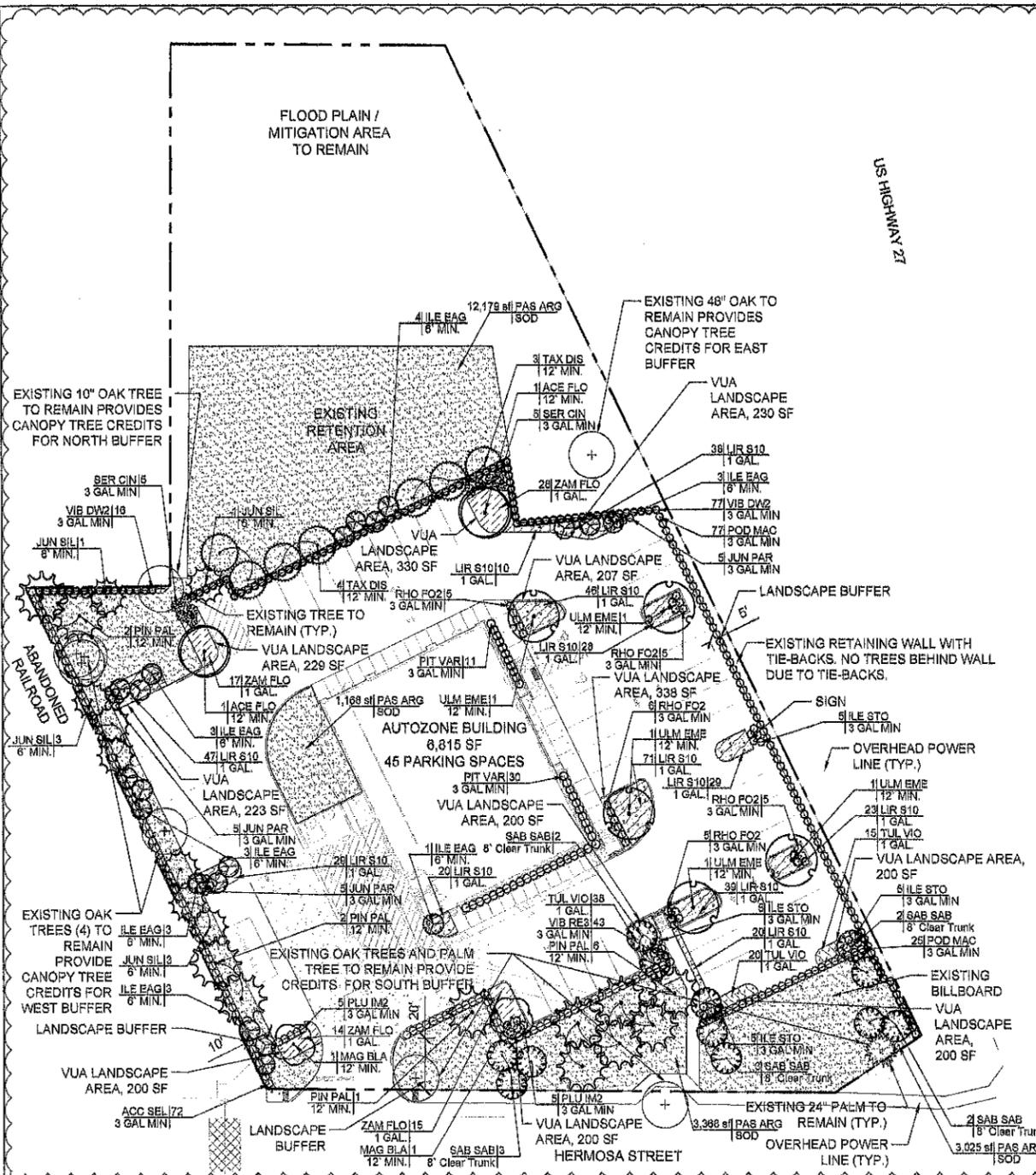
Prepared for:  
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 4999  
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 LADY LAKE, FLORIDA

Store No.:  
 No. 62547  
 REVISIONS  
 PROFESSIONAL ENGINEER  
 JASON D. KINNEY  
 LICENSE  
 STATE OF FLORIDA  
 No. 62547  
 5/15/14

ARCHITECT: N/A  
 DRAWN BY: JK  
 CHECKED BY: SK  
 DATE  
 10/6/14  
 PROTOTYPE SIZE  
 65w2

**C1.3**

SEDIMENT & EROSION CONTROL PLAN



### PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	HT.	SPR.	CALIPER	FLORIDA-FRIENDLY	REMARKS
ACE FLO	2	Acer rubrum 'Florida Flame'	Florida Flame Red Maple	12' MIN.		4" MIN.	YES	MOD./HIGH WATER ZONE
ILE EAG	20	Ilex x attenuata 'Eagleston'	Eagleston Holly	6' MIN.		2.5" MIN.	YES	LOW/MOD. WATER ZONE
JUN SIL	8	Juniperus silicicola	Southern Red Cedar	6' MIN.		2.5" MIN.	YES	LOW WATER ZONE
MAG BLA	2	Magnolia grandiflora 'D.D. Blanchard' TM	Southern Magnolia	12' MIN.		4" MIN.	YES	LOW/MOD. WATER ZONE
PIN PAL	11	Pinus palustris	Longleaf Pine	12' MIN.		4" MIN.	YES	LOW/MOD. WATER ZONE
SAB SAB	12	Sabal palmetto	Cabbage Palmetto	8' Clear Trunk			YES	LOW/MOD./HIGH WATER ZONE
TAX DIS	7	Taxodium distichum	Bald Cypress	12' MIN.		4" MIN.	YES	MOD./HIGH WATER ZONE
ULM EME	5	Ulmus parvifolia 'Emer II'	'Emer II' Allee Elm	12' MIN.		4" MIN.	YES	LOW/MOD. WATER ZONE

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HT.	SPR.	FLORIDA-FRIENDLY	SPACING	REMARKS
ACC SEL	72	Acca sellowiana	Pineapple Guava, Feijoa	3 GAL MIN	20" MIN.		YES	36" o.c.	LOW/MOD. WATER ZONE
ILE STO	20	Ilex vomitoria 'Stokes Dwarf'	Dwarf Yaupon	3 GAL MIN	20" MIN.		YES	36" o.c.	LOW/MOD. WATER ZONE
JUN PAR	15	Juniperus chinensis 'Parsonii'	Parsoni Juniper	3 GAL MIN	20" MIN.		YES	36" o.c.	LOW WATER ZONE
PIT VAR	41	Pittosporum tobira 'Variegata'	Variegated Mook Orange	3 GAL MIN	20" MIN.		YES	36" o.c.	LOW/MOD. WATER ZONE
PLU IM2	10	Plumbago auriculata 'Imperial Blue'	Plumbago	3 GAL MIN	20" MIN.		YES	36" o.c.	LOW/MOD. WATER ZONE
POD MAC	102	Podocarpus macrophyllus	Yew Podocarpus	3 GAL MIN	20" MIN.		YES	36" o.c.	LOW/MOD. WATER ZONE
RHO FO2	26	Rhododendron indicum 'Formosa'	Formosa Azalea	3 GAL MIN	20" MIN.		YES	36" o.c.	LOW/MOD. WATER ZONE
SER CIN	10	Sarcocolla repens 'Cinerea'	Silver Saw Palmetto	3 GAL MIN	20" MIN.		YES	48" o.c.	LOW/MOD./HIGH WATER ZONE
VIB DW2	93	Viburnum obtusifolium 'Walter's'	Walter's Viburnum	3 GAL MIN	20" MIN.		YES	36" o.c.	LOW/MOD./HIGH WATER ZONE
VIB RE3	43	Viburnum odoratissimum 'Red Tip'	Red Tip Viburnum	3 GAL MIN	20" MIN.		YES	36" o.c.	MOD./HIGH WATER ZONE

GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HT.	SPR.	FLORIDA-FRIENDLY	SPACING	REMARKS
LIR S10	400	Liriope muscari 'Super Blue'	Super Blue Lily Turf	1 GAL	12"		YES	24" o.c.	LOW WATER ZONE
TUL VIO	73	Tulbaghia violacea	Society Garlic	1 GAL	12"		YES	24" o.c.	LOW/MOD. WATER ZONE
ZAM FLO	74	Zamia floridana	Coontie Palm	1 GAL	12"		YES	36" o.c.	LOW/MOD. WATER ZONE

SOD/SEED	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HT.	SPR.	FLORIDA-FRIENDLY	SPACING	REMARKS
PAS ARG	19,736 sf	Paspalum notatum 'Argentine'	Bahia Grass	60D			YES		

**MULCH**  
ORGANIC SHREDDED MULCH - SHREDDED MULCH TO BE APPLIED TO ALL TREES AND PLANTING BEDS, 3 INCH THICK DEPTH.

**ALUMINUM EDGE STRIPS**  
SEE NOTES THIS SHEET.

**PLANT SCHEDULE NOTES:**

- SOD QUANTITIES ARE SQUARE FOOT ESTIMATE. ANY DISTURBED AREAS ON SITE OR WITHIN THE R.O.W. THAT ARE NOT COVERED WITH LANDSCAPE MATERIAL OR SOD SHALL BE SODDED. SOD QUANTITIES SHOWN IN SCHEDULE ARE ESTIMATES AND FOR REFERENCE ONLY - ADDITIONAL SOD WILL BE REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING AND VERIFYING REQUIRED SOD QUANTITIES PRIOR TO BID.
- ALL TREES, PALMS, SHRUBS, GROUND COVERS AND OTHER PLANTS SHALL CONFORM TO THE STANDARD OF FLORIDA NO. 1 OR BETTER AS GIVEN IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS BY FLORIDA DEPARTMENT OF AGRICULTURE, PART I AND II. PLANT MATERIAL SHALL ALSO CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. (ANSI) BULLETIN Z 60.1 - 1990 AND AS REVISED. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.

**CITY OF LADYLAKE CODE REQUIREMENTS**  
PROJECT DEVELOPMENT AREA = 1.87 AC  
ZONE = HC (HEAVY COMMERCIAL), USE = RETAIL AUTOMOTIVE PARTS  
MINIMUM TREE INCHES PER ACRE, SEC. 10-3(a)(2)  
REQUIRED MIN. TREE INCHES PER ACRE RETAINED/PROVIDED: 160 TREE INCHES PER ACRE  
PROVIDED MIN. TREE INCHES PER ACRE RETAINED/PROVIDED: TREES RETAINED (222 INCHES) + PROVIDED TREES (274 INCHES) = 496 INCHES / 1.87 AC = 265.78 TREE INCHES PER ACRE

**REQUIRED BUFFER WIDTHS, SEC. 10-3(b)**

BUFFER	WEST BUFFER (HC ZONING)	EAST BUFFER (ROW / HC)	NORTH BUFFER (HC ZONING)	SOUTH BUFFER (ROW / HC)
<b>BUFFER TYPE REQ.</b>	CLASS A	CLASS B	CLASS A	CLASS B
<b>BUFFER WIDTH REQ.</b>	10'	20'	10'	20'
<b>BUFFER WIDTH PROV.</b>	10'	WAIVER REQUESTED (5' PROV.)	10'	20'
<b>LENGTH (EXCLUDES INGRESS/EGRESS)</b>	427'	427'	166'	226'

	WEST BUFFER (HC ZONING)	EAST BUFFER (ROW / HC)	NORTH BUFFER (HC ZONING)	SOUTH BUFFER (ROW / HC)
<b>REQUIRED TREES</b>	2 CANOPY TREES PER 100 LF (9 REQUIRED) 3 UNDERSTORY TREES PER 100 LF (13 REQUIRED)	4 CANOPY TREES PER 100 LF (17 REQUIRED) 3 UNDERSTORY TREES PER 100 LF (13 REQUIRED)	2 CANOPY TREES PER 100 LF (3 REQUIRED) 3 UNDERSTORY TREES PER 100 LF (6 REQUIRED)	4 CANOPY TREES PER 100 LF (9 REQUIRED) 3 UNDERSTORY TREES PER 100 LF (7 REQUIRED)
<b>PROVIDED TREES</b>	4 EXISTING CANOPY TREES + 6 NEW CANOPY TREES = 9 CANOPY TREES PROVIDED	1 EXISTING CANOPY TREE PROVIDED WAIVER REQUESTED FOR REMAINING 16 CANOPY TREES AND 13 UNDERSTORY TREES	1 EXISTING CANOPY TREE + 2 NEW CANOPY TREES = 3 CANOPY TREES PROVIDED	2 EXISTING CANOPY TREES + 7 NEW CANOPY TREES = 9 CANOPY TREES PROVIDED
<b>REQUIRED SHRUBS</b>	CONTINUOUS HEDGE	CONTINUOUS HEDGE	CONTINUOUS HEDGE	CONTINUOUS HEDGE
<b>PROVIDED SHRUBS</b>	CONTINUOUS HEDGE	CONTINUOUS HEDGE	CONTINUOUS HEDGE	CONTINUOUS HEDGE

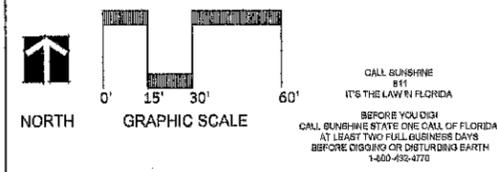
**VEHICULAR USE AREA, SEC. 10-3(c)**  
REQUIREMENTS FOR VEHICULAR USE AREAS (VUA)

LANDSCAPE AREAS AT ENDS OF SINGLE PARKING ROWS: MIN. OF 200 SF WITH MIN. 1 CANOPY TREE OR 3 UNDERSTORY TREES / PALMS, 5 SHRUBS, AND GROUND COVER AND/OR GRASS  
LANDSCAPE AREAS NOT ADJACENT TO LANDSCAPE BUFFERS: MIN. 6' WIDTH WITH MIN. 1 CANOPY TREE PER 50 LF, CONTINUOUS HEDGE, AND REMAINING 40% PLANTED WITH SHRUBS AND/OR GROUNDCOVERS OTHER THAN GRASS  
TOTAL PAVED VEHICULAR USE AREA (VUA): 28,525 SF  
REQUIRED VUA LANDSCAPING SF (10%): 2,853 SF  
PROVIDED VUA LANDSCAPING SF: 3,328 SF

**STORMWATER PONDS, SEC. 10-3(d)**  
REQUIRED: PLANTED WITH MIN. OF 3 CANOPY TREES FOR EVERY 250 LF OF POND BANK (TOP OF BANK MEASUREMENT). NO LESS THAN 3 TREES. MUST BE WITHIN 40' OF TOP OF BANK.  
TOP OF BANK = 340 LF (4 CANOPY TREES REQUIRED)  
PROVIDED: 4 CANOPY TREES

**BUILDING FOUNDATIONS, SEC. 10-3(g)**  
REQUIRED: LANDSCAPE AREA AROUND BASE OF PUBLIC ROW OR PUBLIC PARKING AREA SIDE OF BUILDING EQUAL TO 70 PERCENT OF LENGTH OF BUILDING BASE FACING ROW. MIN 4 FEET WITH 1 TREE PER 500 SF OF REQ. LANDSCAPE AREA. 60 PERCENT TO CONTAIN LANDSCAPE MATERIAL OTHER THAN GROUND COVER.  
REQUIRED AREA: 467 SF  
PROVIDED: 568 SF

**CREDIT FOR PRESERVATION OF EXISTING TREES, SEC. 10-5(j)**  
ANY EXISTING CANOPY TREES WHICH HAVE A MIN 6 INCH DBH SHALL PROVIDE CREDIT ON A ONE TREE INCH-FOR-ONE TREE INCH BASIS FOR ANY TREE REQ.  
PRESERVATION CREDITS: 222" (TREE PRESERVATION CREDITS USED FOR BUFFER TREES)



**EXISTING TREES**

EXISTING PALM TREE TO REMAIN (Symbol: circle with 'P')

EXISTING TREE TO REMAIN (Symbol: circle with '+')

**PROTECTED TREES INVENTORY**  
(EXCLUDES AUSTRALIAN PINE, MELALEUCA, BRAZILIAN PEPPER AND OTHER NON-NATIVE TREES)

NUMBER	SIZE	SPECIES	PROTECTED / SPEC. / HIST.	TO REMAIN / TO BE REMOVED
1	24"	PALM	SPECIMEN	TO REMAIN
2	38"	OAK	HISTORIC	TO REMAIN
3	64"	OAK	HISTORIC	TO REMAIN
4	14"	OAK	PROTECTED	TO REMAIN
5	9"	OAK	PROTECTED	TO REMAIN
6	9"	OAK	PROTECTED	TO REMAIN
7	6"	OAK	PROTECTED	TO REMAIN
8	10"	OAK	PROTECTED	TO REMAIN
9	48"	OAK	HISTORIC	TO REMAIN

**NOTES:**

- SEE SHEETS L2 AND L3 FOR LANDSCAPE NOTES AND DETAILS.
- SEE SHEET IR1 FOR IRRIGATION REQUIREMENTS.
- SOD ALL DISTURBED AREAS.
- PROTECTED TREES MUST REMAIN UNDISTURBED WITHIN AN AREA EQUAL TO A RADIUS OF ONE FOOT FOR EACH ONE INCH OF THE TREE'S DIAMETER AT BREAST HEIGHT.
- TRENCHING OF ANY TYPE SHALL BE AVOIDED IN THE DRIPLINE AREA OF EXISTING TREES. WHERE UNDERGROUND INSTALLATIONS ARE REQUIRED ADJACENT TO TREE TRUNKS, TUNNELING SHALL BE USED. PROTECTIVE MEASURES SHALL BE TAKEN AS SPECIFIED IN TREE PROTECTION MANUAL FOR BUILDERS AND DEVELOPERS, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF FORESTRY, LATEST EDITION.
- INSTALL A PERMEABLE WEED FABRIC THROUGHOUT ALL PLANTING BEDS.
- CONTRACTOR SHALL COORDINATE PLANT MATERIAL LOCATION WITH BUILDING SIGNS. VERIFY FINAL LAYOUT WITH OWNER'S REPRESENTATIVE.
- ALL TREES, SHRUBS, AND GROUNDCOVERS TO BE PLANTED IN MULCH BEDS WITH ALUMINUM EDGE STRIPS TO SEPARATE TURF GRASS AREAS.
- THE PROJECT SHALL COMPLY WITH ALL TOWN OF LADY LAKE LANDSCAPE AND TREE PLANTING REQUIREMENTS.

**AutoZone Stores LLC**  
Owner / Developer:  
123 South Front Street, 3rd Floor  
Memphis, Tennessee 38103  
Tel: (901) 495-8709 Fax: (901) 495-8968  
For Bidding & Contractor Information Contact:  
F.W. Dodge Plan Room Tel: (615) 894-1017

Project Engineer:  
**Ke**  
Kinsey Engineering, LLC  
2373 94th Avenue N.  
St. Petersburg, FL 33713  
727-527-1525  
FL COA #30311

**AutoZone Store Development**  
#4989  
NWC HERMOSA STREET AND US 27  
LADY LAKE, FLORIDA  
**LANDSCAPE PLAN**

Prepared for:  
Stone No.:  
Landscape Architect:  
**PlaceMaker**  
Design Studio, LLC  
3000 Gulf To Bay, Suite 301  
Clearwater, Florida 34629  
Phone: 727-728-8124  
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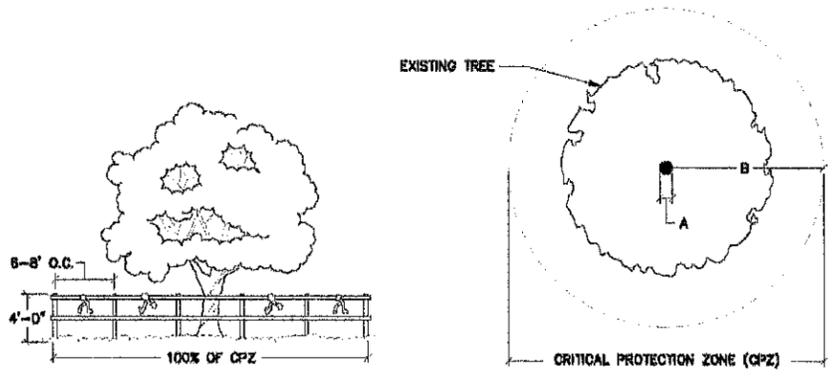
**REVISIONS**

1.	04/08/15
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ARCHITECT: N/A  
DRAWN BY: GLA  
CHECKED BY: CJA  
DATE: 04/08/15  
PROTOTYPE SIZE: 5W (L)

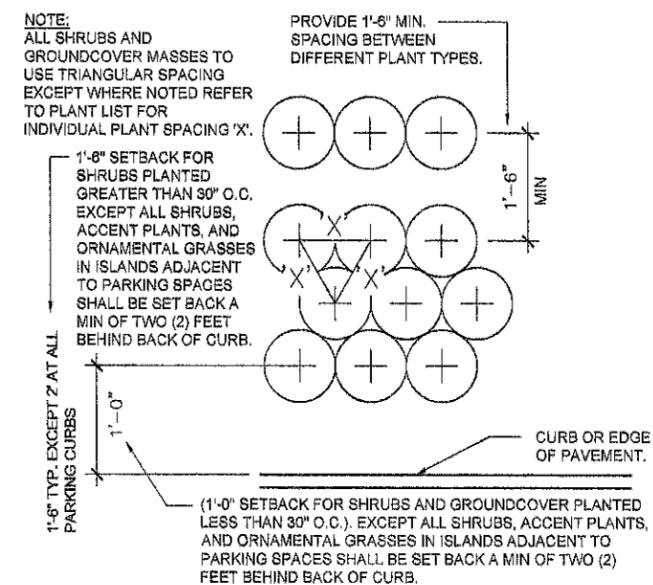
**L1**

Christina L. Anuszkiewicz  
Registered Landscape Architect  
LA6507056

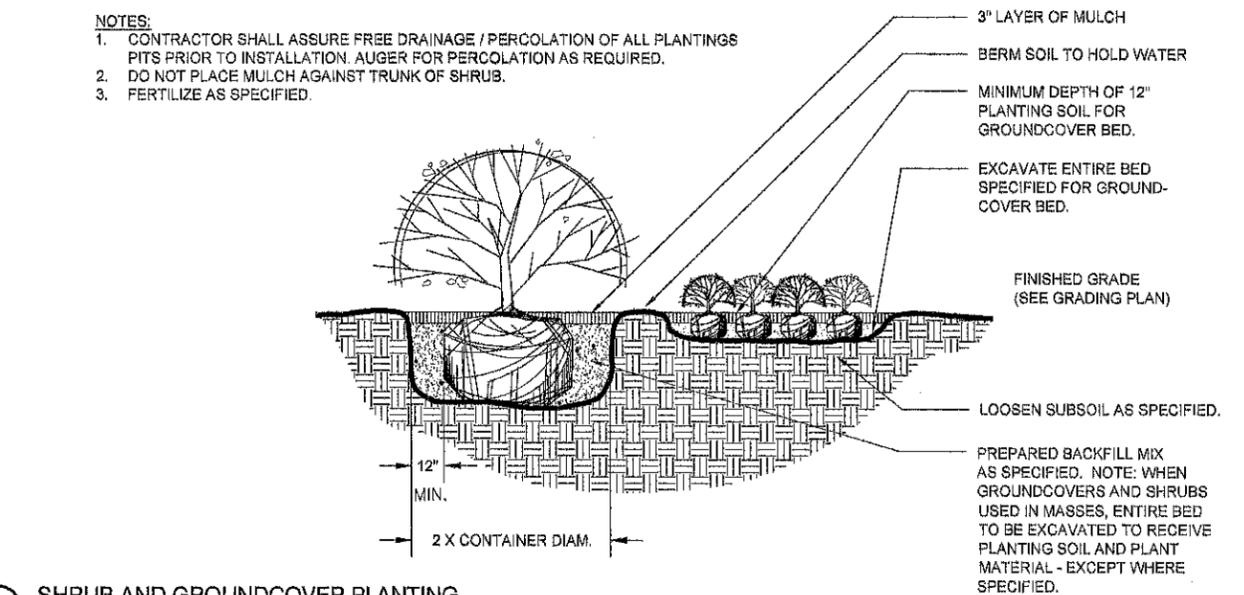


**TREE BARRICADE:**  
 2" X 4" WOOD FENCING WITH FLAGGING. THE BARRICADE SHALL BE PLACED SO AS TO PROTECT THE CRITICAL PROTECTION ZONE (CPZ).  
 A = DIAMETER OF PROTECTED TREE IN INCHES MEASURED 4-1/2 FEET ABOVE GRADE.  
 B = CRITICAL PROTECTION ZONE (CPZ) RADIUS. THAT AREA SURROUNDING A TREE WITHIN A CIRCLE DESCRIBED BY A RADIUS OF ONE FOOT FOR EACH INCH OF THE TREE'S DIAMETER (A) AS DESCRIBED ABOVE.

**1 TREE PROTECTION BARRICADE**  
 N.T.S.

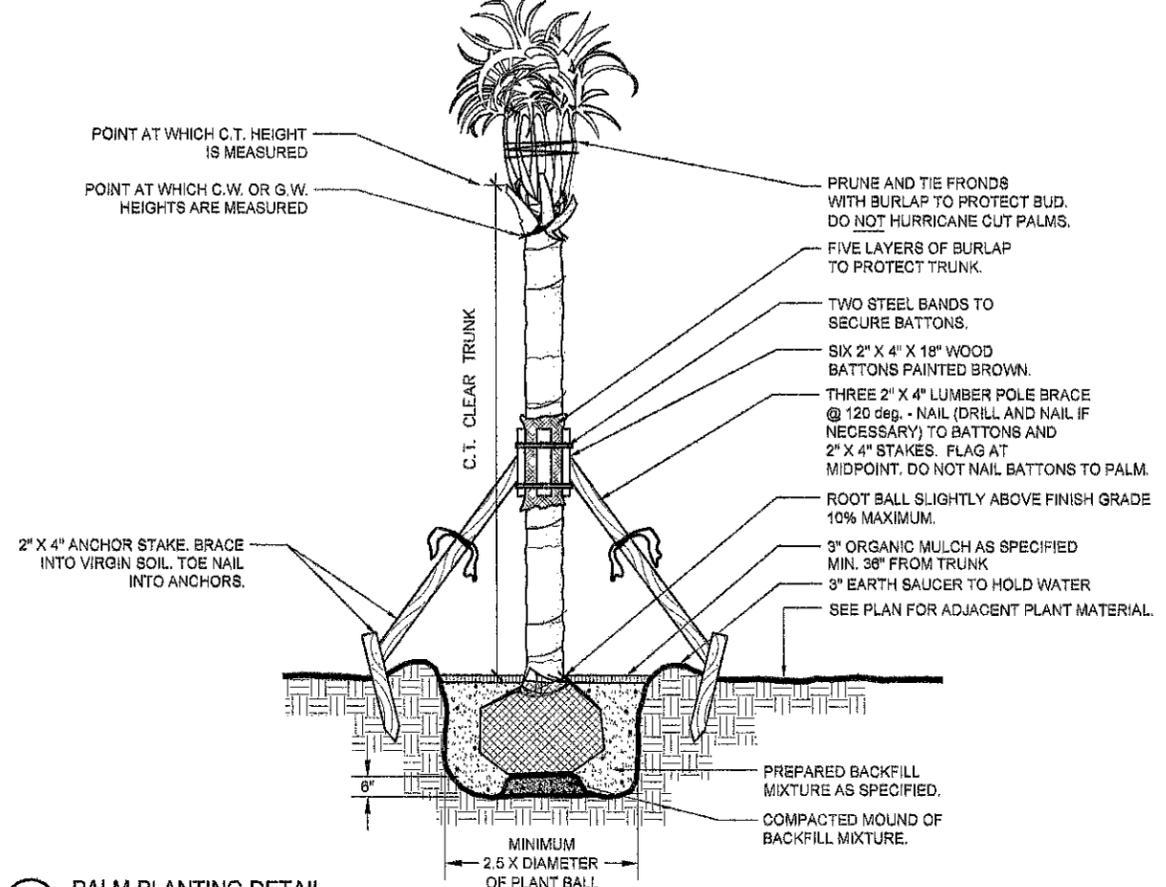


**2 TYPICAL PLANT SPACING**  
 1" = 1'-0"  
 P-CO-01

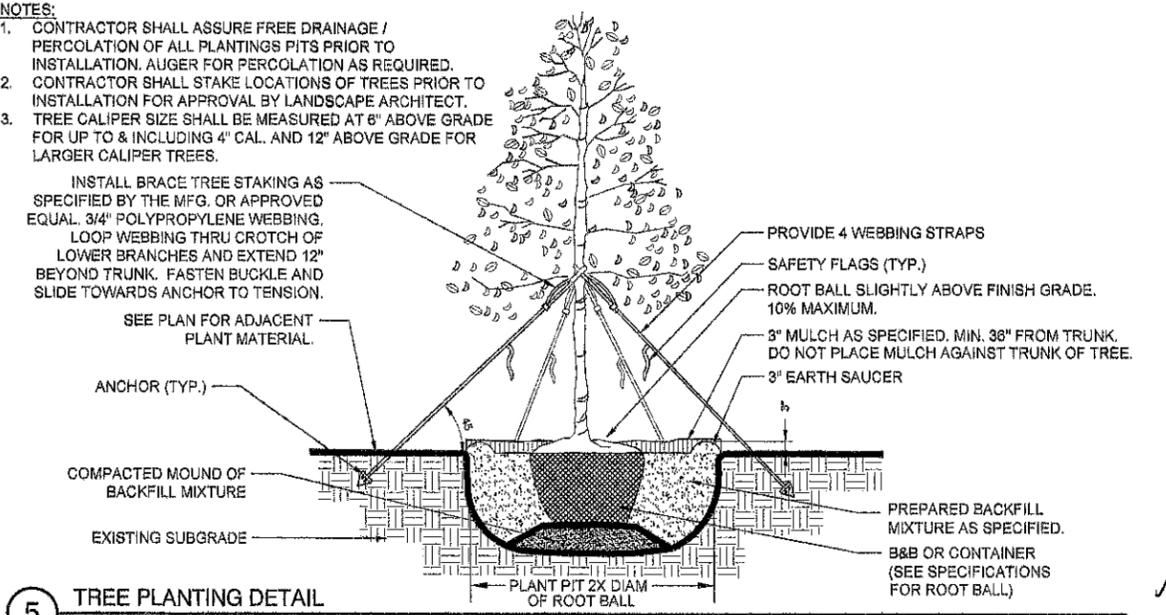


**4 SHRUB AND GROUND COVER PLANTING**  
 1" = 1'-0"  
 P-CO-10

- NOTES:**
- FINAL TREE STAKING AND PLACEMENT TO BE APPROVED BY LANDSCAPE ARCHITECT.
  - SABAL PALMS SHALL HAVE BOOTS REMOVED.
  - CONTRACTOR SHALL ASSURE FREE DRAINAGE / PERCOLATION OF ALL PLANTINGS PITS PRIOR TO INSTALLATION. AUGER FOR PERCOLATION AS REQUIRED.
  - NO SCRAPED OR SCARRED TRUNKS ARE PERMITTED.
  - BRACING MAY BE MODIFIED FOR URBAN CONDITIONS. TO BE APPROVED BY LANDSCAPE ARCHITECT.
  - FERTILIZE AS SPECIFIED.



**3 PALM PLANTING DETAIL**  
 N.T.S.  
 P-CO-11



**5 TREE PLANTING DETAIL**  
 1" = 1'-0"  
 P-CO-26

*Amo*  
 4.9.2015

Genevra L. Anuszkiewicz  
 Registered Landscape Architect  
 LA6667068

Owner / Developer:  
**AutoZone Stores LLC**  
 123 South Front Street, 3rd Floor  
 Memphis, Tennessee 38103  
 Tel: (901) 495-8709 Fax: (901) 495-9999  
 For Bidding & Contractor Information Contact:  
 F.W. Dodge Plan Room Tel: (615) 884-1017

Project Engineer:  
  
 Kinney Engineering, LLC  
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 St. Petersburg, FL 33713  
 727-527-1526  
 FL COA #80811

Prepared for:  
**AutoZone Store Development**  
 #4999  
 NWC HERMOSA STREET AND US 27  
 LADY LAKE, FLORIDA

Stone No.:

**LANDSCAPE DETAILS**

Landscape Architect:  
  
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 9200 Gulf To Bay, Suite 301  
 Clearwater, Florida 34759  
 Phone: 727-726-8124  
 LC26000415  
 Contact: Charlie Anuszkiewicz  
 www.placemakerdesignstudio.com

REVISIONS	
1.	04/08/15
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5.	
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7.	
ARCHITECT:	N/A
DRAWN BY:	GLA
CHECKED BY:	CJA
DATE:	04/08/15
PROTOTYPE SIZE:	5W (L)
<b>L2</b>	

# LANDSCAPE NOTES AND SPECIFICATIONS

1. LANDSCAPE CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION, INCLUDING UNDERGROUND UTILITIES, PRIOR TO INITIATING PLANTING INSTALLATION. REPORT ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND FIELD CONDITIONS TO THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT IMMEDIATELY. FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO ALL EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
2. ALL CONSTRUCTION SHALL CONFORM TO MEET FEDERAL, STATE, AND LOCAL CODES, REGULATIONS AND ORDINANCES.
3. IT SHALL BE THE LANDSCAPE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY "SUNSHINE" AND ANY OTHER INTERESTED AGENCIES OR PARTIES OF HIS INTENT TO EXCAVATE AND TO OBTAIN FROM ALL AGENCIES OR OTHER INTERESTED PARTIES LOCATIONS OF ALL EXISTING UTILITIES OF EVERY KIND IN THE AREAS WHERE HE INTENDS OR PLANS TO EXCAVATE. SUCH LOCATIONS SHALL BE OBTAINED PRIOR TO STARTING CONSTRUCTION AND SHALL BE MAINTAINED DURING CONSTRUCTION.
4. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE AND ACQUIRE RELEVANT PERMITS AND LICENSES REQUIRED AND TO ASSUME THE COST.
5. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL EXISTING GRASSES, GROUNDCOVERS, AND SHRUBS WHERE NEW PLANTINGS ARE PROPOSED. CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL TO BE REMOVED AND/OR PROTECTED ITEMS WITH OWNER'S REPRESENTATIVE PRIOR TO BID. THIS MAY INCLUDE BUT NOT BE LIMITED TO: SOD, SOIL, PLANT MATERIAL, STUMPS, ETC. CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ANY TREES DAMAGED WITH SAME SPECIES AND SIZE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
6. LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH RELATED CONTRACTORS AND WITH THE GENERAL CONSTRUCTION OF THE PROJECT IN ORDER NOT TO IMPEDE THE PROGRESS OF THE WORK OF OTHERS OR THE CONTRACTOR'S OWN WORK.
7. THE OWNER OR LANDSCAPE ARCHITECT SHALL HAVE THE RIGHT TO REJECT ANY AND ALL WORK AND MATERIALS WHICH, IN HIS OPINION, DO NOT MEET THE REQUIREMENTS OF THE PLANTING PLAN, DETAILS, AND THESE SPECIFICATIONS.
8. THE LANDSCAPE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL WORK AS SHOWN ON THE PLAN AND CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY OF ANY CONFLICTS AND ADJUST AS PER THE LANDSCAPE ARCHITECT'S OR OWNER'S DIRECTION.
9. THE LANDSCAPE CONTRACTOR SHALL CONTROL RUNOFF AND EROSION DURING CONSTRUCTION THROUGH THE USE OF SEDIMENT BASINS, STRAW OR HAY BALES AS APPROPRIATE. THE LANDSCAPE CONTRACTOR SHALL SPRINKLE OR OTHERWISE MANUALLY APPLY WATER TO AFFECTED CONSTRUCTION AREA TO CONTROL BOTH SIGNIFICANT WIND EROSION AND FUGITIVE DUST.
10. THE LANDSCAPE CONTRACTOR SHALL ASSURE DRAINAGE AND PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION OF PLANT MATERIAL. CONTRACTOR SHALL FILL ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE THAT PROPER DRAINAGE AND PERCOLATION IS AVAILABLE. CORRECT IF REQUIRED TO ASSURE PERCOLATION. CONTRACTOR IS RESPONSIBLE FOR REPLACEMENT OF ALL PLANTS DUE TO INADEQUATE DRAINAGE CONDITIONS.
11. EXCEPT FOR PLANTINGS IN SURFACE WATER MANAGEMENT AREAS, THE SPECIFIED DEPTH OF ORGANIC MULCH, MEASURED AFTER WATERING-IN, SHALL BE PLACED AND MAINTAINED AROUND ALL NEWLY INSTALLED CANOPY TREES, ACCENT TREES, PALM TREES, AND SHRUBS. EACH TREE SHALL HAVE ORGANIC MULCH NO LESS THAN 38 INCHES BEYOND ITS TRUNK IN ALL DIRECTIONS; HOWEVER, THE MULCH SHALL BE KEPT AWAY FROM THE TRUNKS AND STEMS OF PLANTS SO AS TO AVOID CONDITIONS THAT MAY BE CONDUCTIVE TO COLLAR ROT, BASAL CANKER OR OTHER FUNGI.
12. THE LANDSCAPE CONTRACTOR SHALL TEST AND EXAMINE THE SOILS OF ALL PLANTING AREAS PRIOR TO SUBMITTING BIDS FOR THE SUITABILITY TO SUSTAIN HEALTHY PLANT GROWTH AS CALLED FOR ON THE PLANTING PLAN, DETAILS, AND THESE SPECIFICATIONS. SUBMIT LABORATORY SOIL TEST RESULTS AND RECOMMENDED AMENDMENTS AND ADDITIVES TO LANDSCAPE ARCHITECT. ANY REQUIRED AMENDMENTS AND ADDITIVES SHALL BE INCLUDED AS PART OF THE BID.
13. NO SUBSTITUTIONS SHALL BE MADE TO THE PLANTING PLAN, DETAILS OR THESE SPECIFICATIONS WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
14. GUYING / STAKING PRACTICES SHALL NOT PERMIT NAILS, SCREWS, WIRES, ETC., TO PENETRATE OUTER SURFACE OF TREE OR PALM. TREES OR PALMS REJECTED DUE TO THIS PRACTICE SHALL BE REPLACED WITH INSPECTOR ON SITE.
15. **PLANT MATERIAL**
  - 15.1. ALL TREES, PALMS, SHRUBS, GROUND COVERS AND OTHER PLANTS SHALL CONFORM TO THE STANDARD OF FLORIDA NO. 1 OR BETTER AS GIVEN IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS BY FLORIDA DEPARTMENT OF AGRICULTURE, PART I AND II. PLANT MATERIAL SHALL ALSO CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. (ANSI) BULLETIN Z 60.1 - 1990 AND AS REVISED. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
  - 15.2. ALL CONTAINER AND CALIPER SIZES NOTED ON PLANT LIST ARE MINIMUM. CONTRACTOR SHALL PROVIDE LARGER CONTAINER MATERIAL IF NECESSARY TO CONFORM TO PLANT SIZE AND SPECIFICATIONS, BOTH MINIMUM DIMENSIONAL SPECIFICATION AND MINIMUM CONTAINER SPECIFICATION SHALL BE MET.
  - 15.3. ALL PLANTS SHALL BE CONTAINER GROWN EXCEPT AS NOTED ON PLAN. BARE ROOT TREES ARE NOT ACCEPTABLE. ALL PLANTS SHALL BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. TREES GROWN IN GROW BAGS OR GROW BAG TYPE MATERIAL MUST HAVE THE GROW BAG REMOVED ENTIRELY PRIOR TO PLANTING. BALLED AND BURLAPPED MATERIAL SHALL HAVE THE BURLAP REMOVED. WIRE CAGES, STRAPS, ETC. MUST BE CUT AND REMOVED PRIOR TO INSTALLATION.
  - 15.4. SOD SHALL MEET AMERICAN SOD PRODUCERS ASSOCIATION STANDARDS FOR NURSERY GROWN SOD FOR THICKNESS OF CUT, PAD SIZE, STRENGTH OF SECTIONS, MOISTURE CONTENT AND THATCH. SOD SHALL BE GUARANTEED TO BE UNIFORM IN COLOR, LEAF TEXTURE, AND SHOOT DENSITY AND FREE OF WEEDS, DISEASE, FUNGUS, INSECTS OR OTHER IMPERFECTIONS AND SUFFICIENTLY KNITTED TO SUSTAIN GROWTH. SOD SHALL BE MOWED FOR FINAL ACCEPTANCE. TYPICALLY, SHRUB AND GROUNDCOVER PLANTINGS ARE SHOWN AS MASS PLANTING BEDS. PLANTS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION (STAGGERED SPACING).
16. **QUANTITIES, LOCATION AND SUBSTITUTIONS:** THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL ALL PLANTS AS SHOWN ON THE DRAWINGS, AS SPECIFIED, AND IN THE QUANTITIES LISTED ON THE PLANT SCHEDULE. IN THE EVENT OF A VARIATION BETWEEN THE PLANT SCHEDULE AND THE ACTUAL NUMBER OF PLANTS SHOWN ON THE PLANTING PLAN, THE HIGHER QUANTITY SHALL PREVAIL. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST THE NUMBER AND LOCATIONS OF THE DESIGNATED TYPES AND SPECIES OF PLANTS TO BE USED AT ANY OF THE LOCATIONS SHOWN. THE OWNER SHALL RECEIVE A CREDIT OR DEBIT FOR THE UNIT PRICE OF THE PLANT MATERIAL. NO SUBSTITUTION OF PLANT MATERIAL, TYPES, SPECIFICATIONS OR SIZES WILL BE PERMITTED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT. THE OWNER AND/OR LANDSCAPE ARCHITECT RESERVES THE RIGHT TO NOT ACCEPT PLANT MATERIAL THAT DOES NOT, IN THE OPINION OF THE OWNER AND/OR LANDSCAPE ARCHITECT, MEET THE SPECIFICATIONS HEREIN. SOD QUANTITIES SHOWN ON SCHEDULE AND PLANS ARE ESTIMATES AND DO NOT TAKE INTO ACCOUNT ELEVATION CHANGES. CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND CALCULATING FINAL SOD QUANTITIES PRIOR TO BID.
17. **IRRIGATION:** UNLESS SPECIFICALLY NOTED OTHERWISE ON IRRIGATION PLAN, ALL PROPOSED TREES, SHRUBS, AND GROUNDCOVERS SHALL BE IRRIGATED WITH AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM. SYSTEM SHALL BE EQUIPPED WITH A RAIN SENSOR DEVICE CONNECTED TO AN IRRIGATION CONTROLLER(S), AS PER STATE OF FLORIDA REGULATIONS. AFTER PLANT ESTABLISHMENT, THE CONTROLLER SHALL BE PROGRAMMED TO OPERATE IN COMPLIANCE WITH APPLICABLE WATERING RESTRICTIONS. IRRIGATION SHALL PROVIDE 100% COVERAGE TO PROPOSED LANDSCAPING AREAS AND SOD AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, AND PERMITTING THE IRRIGATION SYSTEM IN ACCORDANCE WITH APPLICABLE LOCAL AND STATE BUILDING CODES. THE COST OF INSTALLATION, PERMITTING, AND CREATING AS-BUILT DRAWINGS SHALL BE INCLUDED IN THE BID PRICE FOR IRRIGATION.
  - 17.1. LANDSCAPE CONTRACTOR SHALL COORDINATE ALL PLANTING WORK WITH IRRIGATION WORK. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAND WATERING ALL EXISTING AND PROPOSED PLANT MATERIAL AS REQUIRED BY OWNER'S REPRESENTATIVE TO SUPPLEMENT IRRIGATION WATERING AND RAINFALL DURING PROJECT DURATION AS WELL AS 45 DAY ESTABLISHMENT PERIOD FOR SOD. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING IN ALL PLANTING AREAS, REGARDLESS OF THE STATUS OF EXISTING OR PROPOSED IRRIGATION.
  - 17.2. IRRIGATION LINES SHALL BE HAND DUG AROUND EXISTING TREES AND TUNNELED BENEATH TREE ROOTS OF EXISTING TREES, RATHER THAN TRENCHED.
  - 17.3. SEE IRRIGATION SHEETS IR 1 FOR IRRIGATION REQUIREMENTS.
18. **FERTILIZATION:** PROVIDE FERTILIZER UNIFORM IN COMPOSITION, DRY, AND IN A FREE FLOWING CONDITION FOR APPLICATION BY SUITABLE EQUIPMENT, AND DELIVER IN UNOPENED BAGS OR CONTAINERS, EACH FULLY LABELED.
  - 18.5. FERTILIZE TREES, SHRUBS, AND GROUND COVERS WITH "MILORGANITE" OR AN APPROVED COMPLETE FERTILIZER. APPLY "MILORGANITE" FERTILIZER AT THE FOLLOWING RATE:
    - 18.5.1. 5.00 LBS. OR 14.50 CUPS / PALM
    - 18.5.2. 3.00 LBS. OR 8.70 CUPS / 12-18" MATERIAL
    - 18.5.3. 2.00 LBS. OR 5.80 CUPS / 9-12" MATERIAL
    - 18.5.4. 0.69 LBS. OR 2.00 CUPS / 6-8" MATERIAL
    - 18.5.5. 0.19 LBS. OR 1/2 CUP / 3 GAL. MATERIAL
    - 18.5.6. 0.10 LBS. OR 1/4 CUP / 1 GAL. MATERIAL
    - 18.5.7. FERTILIZE TURF COMPLYING WITH THE STATE FERTILIZER LAWS. THE FERTILIZER SHALL BE CHEMICALLY DESIGNATED WITH 12-9-8. PROVIDE AT LEAST 50% OF THE PHOSPHORIC ACID FROM NORMAL SUPER PHOSPHATE OR AN EQUIVALENT SOURCE PROVIDING A MINIMUM OF TWO UNITS OF SULFUR. THE AMOUNTS OF SULFUR AND ALL OTHER CHEMICAL SHALL BE INDICATED ON THE QUANTITATIVE ANALYSIS CARD ATTACHED TO THE UNOPENED BAG.
19. **SOIL PREPARATION AND SOIL MIX**
  - 19.1. CONTRACTOR TO ENSURE TOTAL WEED ERADICATION. ANY HERBICIDE APPLIED SHALL BE BY A LICENSED PEST AND CONTROL OPERATOR OF LAWN AND ORNAMENTAL. APPROVED HERBICIDE SHALL BE APPLIED ACCORDING TO MANUFACTURER'S RATE AND SPECIFICATION WITHIN LIMITS OF ALL AREAS TO BE PLANTED. PROTECT EXISTING PLANTS TO REMAIN FROM OVERSPRAY OR SPRAY WITHIN ROOT ZONE.
  - 19.2. BEFORE PLACING TOPSOIL, RAKE SUBSOIL SURFACE CLEAR OF STONES (1 INCH DIAMETER AND LARGER), DEBRIS, RUBBISH, REMAINS OF REMOVED PLANT MATERIAL, AND ALL REMAINING CONSTRUCTION DEBRIS TO A DEPTH OF 6". CONTAMINATED SOILS SHALL BE REMOVED AND REPLACED TO THEIR FULL DEPTHS AND EXTENTS.
  - 19.3. SCARIFY SUBSOIL TO A DEPTH OF 3 INCHES.
  - 19.4. A LICENSED PEST AND CONTROL OPERATOR OF LAWN AND ORNAMENTAL SHALL APPLY APPROVED PRE-EMERGENT HERBICIDE IN ACCORDANCE WITH THE MANUFACTURER'S RATE AND SPECIFICATIONS.
  - 19.5. PLANTING LANDSCAPE BEDS (SHRUBS AND GROUNDCOVERS): ALL LANDSCAPE BEDS TO BE MULCHED SHALL BE ROUGH GRADED TO AN ELEVATION OF 16 INCHES BELOW THE TOP OF ADJACENT HARDSCAPE OR FINAL FINISHED GRADE TO PROVIDE ROUGH 12 INCHES OF BACKFILL MIXTURE, 3 INCHES OF MULCH WITH A 1 INCH REVEAL ON THE CURB, ADJOINING SIDEWALK, OR OTHER HARDSCAPE FEATURE. SEE LANDSCAPE PLANS FOR LOCATION OF LANDSCAPE BEDS AND SOD AREAS. IF NECESSARY, THE GENERAL CONTRACTOR AND LANDSCAPE CONTRACTOR SHALL COORDINATE THE INSTALLATION AND GRADING OF TOPSOIL. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.
  - 19.6. PLANTING LAWNS: SODDED AREAS SHALL BE ROUGH GRADED TO AN ELEVATION 6 TO 6.5 INCHES BELOW THE TOP OF THE ADJACENT HARDSCAPE OR FINAL FINISHED GRADE TO ALLOW FOR 4 INCHES OF COMPACTED BACKFILL MIXTURE AND 1 INCH TO 1.5 INCHES OF SOD WITH 1 INCH REVEAL ON CURB OR SIDEWALK. SEE LANDSCAPE PLANS FOR LOCATION OF LANDSCAPE BEDS AND SOD AREAS. IF NECESSARY, THE GENERAL CONTRACTOR AND LANDSCAPE CONTRACTOR SHALL COORDINATE THE INSTALLATION AND GRADING OF TOPSOIL. SEE SPECIFICATIONS FOR BACKFILL MIXTURE.
    - 19.6.1. AMEND SOIL WITH ORGANIC MATERIAL, FERTILIZER, AND FINISH GRADE. STAGGER ALL SOD SEAMS, FILL ANY GAPS WITH SAND, WATER, AND ROLL SMOOTH. REPLACE ANY DEAD SOD WITHIN ONE GROWING SEASON. ON SLOPES, LAY THE SOD PIECES HORIZONTALLY ACROSS THE SLOPE. ON 2:1 SLOPES OR GREATER, STAKE SOD TO HOLD IN PLACE WITH 1/2 INCH X 1 INCH X 12 INCH PEGS AT TWO FOOT SPACINGS. REPAIR ALL AREAS OF EROSION TO SATISFACTION TO ESTABLISH PROPER TURF WITHIN ONE YEAR. ROLL WITH LIGHT ROLLER TO ENSURE CONTACT WITH SUBGRADE.
- 19.8.2. TURF AND GRASS SOD SHALL BE CLEAN AND FREE OF WEEDS, NOXIOUS PESTS AND DISEASE. GRASS SEED SHALL BE DELIVERED TO THE JOB SITE IN BAGS WITH STATE DEPARTMENT OF AGRICULTURE TAGS ATTACHED.
- 19.7. FINISH GRADE ALL PREPARED TOPSOIL AREAS TO A SMOOTH, EVEN SURFACE ASSURING POSITIVE DRAINAGE AWAY FROM THE STRUCTURES AND ELIMINATE ANY LOW AREAS WHICH MAY COLLECT WATER. SEE CIVIL GRADING PLANS.
- 19.8. **BACKFILL MIXTURE:**
  - 19.8.1. TREES, ROYAL PALMS, SHRUBS, AND GROUNDCOVERS: 1/3 SAND, 1/3 TOPSOIL, 1/3 PEAT HUMUS.
  - 19.8.2. ALL OTHER PALMS: 3/4 SAND, 1/4 TOPSOIL
  - 19.8.3. SAND SHALL BE CLEAN, SILICA, SALT-FREE AND CONTAINING NO EXTRANECEOUS MATTER.
  - 19.8.4. TOPSOIL SHALL BE FREE OF DELETERIOUS MATERIALS THAT WOULD BE HARMFUL TO PLANT GROWTH, SHALL BE FREE OF NEMATODES, SHALL BE OF UNIFORM QUALITY, AND SHALL BE FRIABLE FERTILE SOIL WITH REPRESENTATIVE CHARACTERISTICS OF AREA SOILS. IT SHOULD BE FREE OF HEAVY CLAY, SILT, STONE, EXCESS LIME, SHELL ROCK, PLANT ROOTS, WEEDS, DEBRIS OR OTHER FOREIGN MATTER. IT SHALL NOT CONTAIN NOXIOUS PLANT GROWTH (SUCH AS BERMUDA, TORPEDO OR NUT GRASS). IT SHALL TEST BETWEEN THE PH RANGE OF 6.0 TO 6.5 UNLESS OTHERWISE SPECIFIED AND CONTAIN NO TOXIC RESIDUE OR SUBSTANCES THAT WOULD ENDANGER PLANT GROWTH. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH NOT LESS THAN 4".
  - 19.8.5. PEAT HUMUS SHALL BE DECOMPOSED PEAT WITH NO IDENTIFIABLE FIBERS OR IF AVAILABLE, MUCH MAY BE SUBSTITUTED AND SHALL BE FREE FROM STONES, EXCESSIVE PLANT ROOTS, DEBRIS OR OTHER FOREIGN MATTER. MUCK SHALL NOT BE OVERLY SATURATED WITH WATER. HUMUS SHALL BE OF GOOD QUALITY, MATURE, DARK COLOR, OF HUMUS-LIKE QUALITY, AND HAVE PLEASANT SOIL SMELL.
  - 19.8.6. BACKFILL MIX SAMPLES AND LABORATORY SOIL TESTS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT OF RECORD FOR APPROVAL. CONTRACTOR SHALL TAKE RESPONSIBILITY FOR PERFORMING PERCOLATION TESTS PRIOR TO BACKFILLING WITH APPROVED PLANTING SOIL.
20. **MULCH:** ALL MULCH BED QUANTITIES TO BE DETERMINED BY CONTRACTOR. CONTRACTOR SHALL MULCH ALL PLANT MATERIAL THROUGHOUT AND COMPLETELY TO A THREE (3) INCH DEPTH WITH CLEAN, WEED FREE MELALEUCA SHREDDED WOOD CHIPS OR CYPRESS MULCH.
21. **TREE PROTECTION:** PROTECT ALL TREES AND PALMS TO REMAIN WITH TREE BARRICADES. SEE PLANTING DETAILS FOR REQUIRED TREE BARRICADES TO BE INSTALLED ON ALL TREES TO REMAIN IMMEDIATELY FOLLOWING VEGETATION REMOVAL. EXISTING SLOPES GREATER THAN 3 TO 1 SHALL BE PROTECTED FROM EROSION AS REQUIRED BY LOCAL CODE. THE FOLLOWING ACTIVITIES ARE PROHIBITED WITHIN THE BARRICADED AREA: VEHICULAR AND PEDESTRIAN TRAFFIC; STORAGE OF CONSTRUCTION MATERIALS; PLACEMENT OF EXCAVATED MATERIALS OR TRASH; AND ANY ACTIVITIES THAT MAY DISTURB THE ROOT SYSTEM WITHIN THE BARRICADED AREA.
  - 21.1. ALL REQUIRED TREE REMOVAL OR RELOCATION PERMITS SHALL BE PROCURED BY CONTRACTOR, PRIOR TO COMMENCEMENT OF WORK.
  - 21.2. ALL PROTECTED TREES SHALL BE TRIMMED IN A MANNER CONSISTENT WITH THE "AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS, ANSI, A300, CURRENT EDITION."
22. **MAINTENANCE:** THE CONTRACTOR IS RESPONSIBLE FOR COMPLETE MAINTENANCE OF ALL PROPOSED PLANTING AREAS (INCLUDING WATERING, SPRAYING, MULCHING, MOWING, FERTILIZING, ETC.) THROUGHOUT THE ENTIRE COURSE OF THE PROJECT. LANDSCAPE CONTRACTOR SHALL CLEAN THE WORK AREAS AT THE END OF EACH WORKING DAY. RUBBISH AND DEBRIS SHALL BE COLLECTED AND DEPOSITED OFF-SITE DAILY. ALL MATERIALS, PRODUCTS, AND EQUIPMENT SHALL BE STORED IN AN ORGANIZED FASHION AS DIRECTED BY OWNER'S REPRESENTATIVE.
23. **FINAL ACCEPTANCE:** CONTRACTOR TO REQUEST INSPECTION OF PROJECT IN WRITING. IF ALL WORK IS SATISFACTORY AND COMPLETE IN ACCORDANCE WITH CONDITIONS OF CONTRACT DOCUMENTS, THEN THE OWNER AND LANDSCAPE ARCHITECT SHALL DECLARE SUBSTANTIALLY COMPLETE. SUBSTANTIAL COMPLETION CONSTITUTES THE BEGINNING OF THE GUARANTEE PERIOD.
24. **WARRANTY / GUARANTEE PERIOD:** CONTRACTOR TO WARRANT AND GUARANTEE PLANT MATERIAL FOR A ONE (1) YEAR PERIOD FOLLOWING DATE OF SUBSTANTIAL COMPLETION. WARRANTY LAWS/SOD AFTER INSTALLATION FOR 60 DAYS FOLLOWING ACCEPTANCE OF SITE BY OWNER'S REPRESENTATIVE. PRIOR TO ISSUING SUBSTANTIAL COMPLETION NOTICE THE CONTRACTOR SHALL SUBMIT TO THE OWNER COPIES OF AS BUILT PLANS / DOCUMENTS AND COPIES OF AN ANNUALIZED MAINTENANCE AND OPERATION MANUAL DETAILING ALL SCHEDULES, NURSERY PRACTICES, WATERING REQUIREMENTS, FERTILIZATION, TRIMMING, ETC. FOR ALL PLANT MATERIALS AND PLANT AREAS OF THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL TREE STAKES AND GUY WIRES FROM TREES WHICH ARE ESTABLISHED AT THE END OF ONE (1) YEAR GUARANTEE PERIOD. TREES WHICH HAVE BEEN REPLACED SHALL REMAIN STAKED FOR ONE (1) FULL GROWING SEASON, AND THE OWNER SHALL BE RESPONSIBLE FOR REMOVING TREE STAKES AND GUY WIRES.

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LANDSCAPE NOTES

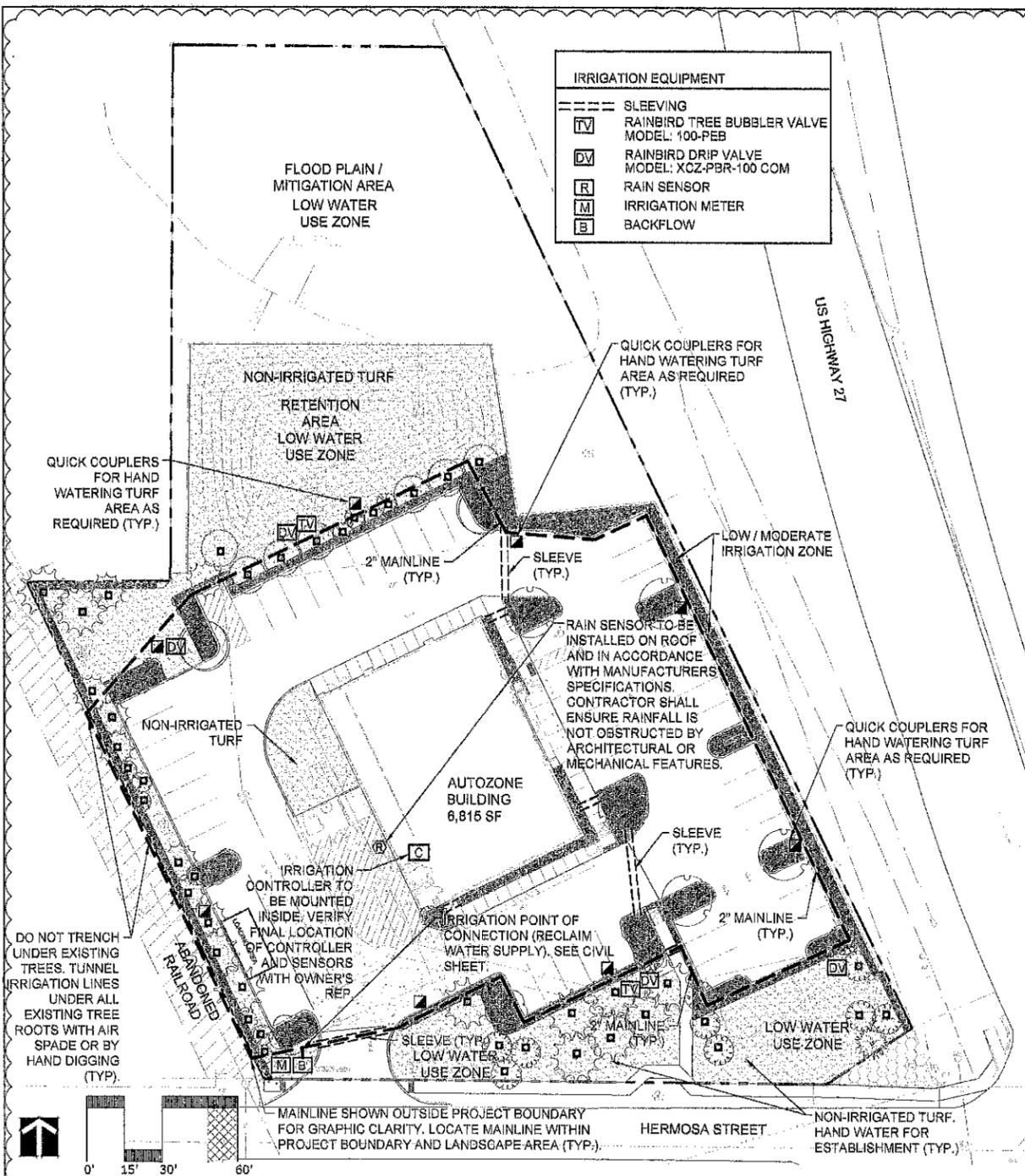
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*Chris Anuszkiewicz*  
 4.9.2015

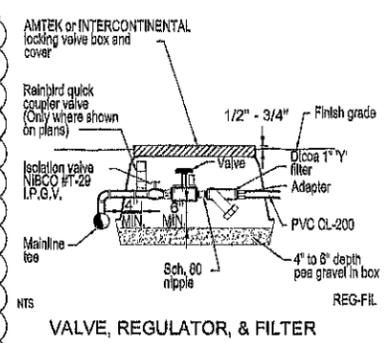
Chris Anuszkiewicz  
 Registered Landscape Architect  
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IRRIGATION EQUIPMENT	
---	SLEEVING
TV	RAINBIRD TREE BUBBLER VALVE MODEL: 100-PEB
DV	RAINBIRD DRIP VALVE MODEL: XCZ-PBR-100 COM
R	RAIN SENSOR
M	IRRIGATION METER
B	BACKFLOW

### IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	QTY	PRECIP	PSI	GPM	
[Symbol]	SHRUB DRIPLINE 0.6 GPH @ 18" O.C. (2.3 L/H @ 0.46M) Dripline with 0.60 gph emitters at 18" O.C., row spacing at 18" O.C.	6,751 s.f.	0.69 in/h	25	48	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC	PSI	GPM	RADIUS
[Symbol]	Rain Bird 1904-NP-1400 Flood Flood Bubbler 4.0" pop-up with non-potable purple cap.	44	360	30	0.50	1'
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
[Symbol]	Rain Bird 44-NP 1" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Non-Potable Purple Rubber Cover, and 2-Piece Body.	8				
[Symbol]	Rain Bird ESP4MEI with (3) ESP-SM3 13 Station, Hybrid Modular Indoor Controller. For Residential or Light Commercial Applications.	1				
[Symbol]	Rain Bird WR2-RC Wireless Rain Sensor Combo, includes 1 receiver and 1 rain sensor transmitter.	1				



### IRRIGATION NOTES

- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL REGULATIONS AND CODES FOR THE LOCATION OF WORK. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS REQUIRED TO COMPLETE WORK. THE COST FOR OBTAINING PERMITS AS WELL AS ANY INSTALLATION CHARGES OR FEES SHALL BE INCLUDED IN THE BID.
- AUTOMATIC UNDERGROUND IRRIGATION SYSTEM SHALL BE CONTRACTOR DESIGNED AND INSTALLED. FINAL CONSTRUCTION PLANS SHALL MEET APPROVED PERMIT REQUIREMENTS AND BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL INSPECT THE SITE AND VERIFY CONDITIONS AND DIMENSIONS PRIOR TO DESIGN AND CONSTRUCTION. THE IRRIGATION CONTRACTOR SHALL SUPPLY AS-BUILT DRAWINGS AND MATERIAL CUT SHEET UPON INSTALLATION COMPLETION AS A TERM OF FINAL ACCEPTANCE. THIS COST SHALL BE ACCOMMODATED IN THE BID.
- IRRIGATION PLANS ARE SCHEMATIC REPRESENTATIONS ONLY. FIELD ADJUST LINES TO AVOID CONFLICT WITH UTILITIES.
- DO NOT ALTER HEAD LOCATION, PIPE LAYOUT, OR VALVE LOCATION WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER. NOTIFY OWNER'S REPRESENTATIVE IF DISCREPANCIES OCCUR BETWEEN THE PLANS AND FIELD CONDITIONS.
- LOCATE TREE BUBBLERS WITHIN EARTH SAUCER TREE RING TO ENSURE PROPER IRRIGATION OF EACH TREE.
- COORDINATE IRRIGATION POINTS OF CONNECTION AND LOCATION OF AUTOMATIC CONTROL VALVES WITH PROJECT MANAGER. COORDINATE ALL WORK WITH OTHER TRADES, I.E. ELECTRICAL, MASONRY, ETC.
- USE 45 ELLS INSTEAD OF 90 ELLS ON ALL MAINLINES 2-1/2" AND LARGER. INSTALL CONCRETE THRUST BLOCKS AT ALL MAINLINE CHANGES IN DIRECTION. POUR MINIMUM OF 1 CUBIC FOOT OF CONCRETE ON UNDISTURBED SOIL. WRAP PIPE IN PLASTIC WRAP PRIOR TO COVERING WITH CONCRETE.
- ALL COMPONENTS OF IRRIGATION SYSTEM SHALL BE INSTALLED AND PROPERLY ADJUSTED TO PROVIDE ADEQUATE COVERAGE AND MINIMIZATION OF OVER SPRAY ONTO WALKS, BUILDINGS, PARKING AREAS, ETC.
- ALL VALVE BOXES AND COVERS SHALL HAVE PURPLE LOCKING LIDS AND A WATERPROOF, FADE-RESISTANT TAG. INSTALL ALL QUICK COUPLERS AND VALVES IN LOCKING VALVE BOXES.
- CONTRACTOR TO INSTALL CONTROLLER, ANY REQUIRED PUMP EQUIPMENT, AND ALL IRRIGATION ACCESSORIES AS REQUIRED. CONTRACTOR TO FURNISH CONTROL WIRES FROM VALVES TO CONTROLLER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING 110 VOLT SERVICE FROM BUILDING AND CONNECTION TO CONTROLLER SERVICE.
- THE RAIN SHUTOFF DEVICE SHALL BE INSTALLED TO MEET LOCAL CODES AND/OR MINIMUM MANUFACTURER'S RECOMMENDATIONS. OBSTRUCTIONS, VANDALISM AND EASE OF SERVICE SHALL BE CONSIDERED IN LOCATING THE DEVICE. ALL WIRING BETWEEN THE RAIN SWITCH AND THE IRRIGATION CONTROLLER SHALL BE ENCLOSED IN 1/2" PVC ELECTRICAL CONDUIT. VERIFY FINAL LOCATION WITH OWNER'S REPRESENTATIVE.
- IRRIGATION SLEEVING TO BE A MINIMUM OF SCHEDULE 40 PVC AND SHALL BE COORDINATED BY THE GENERAL CONTRACTOR. THE SITE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SLEEVING INSTALLATION UNLESS THIS WORK IS IN THE IRRIGATION SCOPE OF WORK. SLEEVING SHALL BE CLEARLY MARKED, FLAGGED, OR OTHERWISE DELINEATED ABOVE GRADE TO AVOID DAMAGE AND PROVIDE EASE OF LOCATING FOR FUTURE WORK. INSTALL ALL IRRIGATION PIPE AND CONTROL WIRES IN MINIMUM 4" PVC SLEEVE BELOW ALL PAVED SURFACES UNLESS OTHERWISE INDICATED ON THE PLANS. INSTALL SLEEVES PRIOR TO PLACEMENT OF PAVEMENTS AND PAVEMENT SUB-BASE.
- PIPE SIZING SHALL BE DETERMINED BY THE FRICTION LOSS METHOD AND WATER VELOCITY SHALL NOT EXCEED 6 CUBIC FEET PER SECOND. CONSTANT PRESSURE PIPING SHALL BE SCH 40 PVC.
- THE IRRIGATION CONTRACTOR SHALL SUPPLY AS-BUILT DRAWINGS AND MATERIAL CUT SHEET UPON INSTALLATION COMPLETION AS A TERM OF FINAL ACCEPTANCE.
- VERIFY ACTUAL PRESSURE PRIOR TO CONSTRUCTION AND NOTIFY OWNER'S REPRESENTATIVE IF DIFFERENCES ARISE BETWEEN ACTUAL PRESSURE AND DESIGN PRESSURE.
- BACKFLOW PREVENTER SHALL BE REQUIRED PER INDUSTRY STANDARDS AND APPLICABLE CODES.
- IRRIGATION CONTROL EQUIPMENT SHALL INCLUDE AN AUTOMATIC IRRIGATION CONTROLLER HAVING PROGRAM FLEXIBILITY SUCH AS REPEAT CYCLES AND MULTIPLE PROGRAM CAPABILITIES. AUTOMATIC IRRIGATION CONTROLLER SHALL HAVE BATTERY BACK-UP OR NONVOLATILE MEMORY TO RETAIN THE IRRIGATION PROGRAM(S).
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO "STANDARDS AND SPECIFICATIONS FOR TURF AND LANDSCAPE IRRIGATION SYSTEMS, FIFTH EDITION, 2006, FLORIDA IRRIGATION SOCIETY, AS MAY SUBSEQUENTLY BE REVISED.
- THE IRRIGATION SYSTEM SHALL BE PROPERLY MAINTAINED AND CONTRACTOR TO PROGRAM AUTOMATIC CONTROLLER CONSISTENT WITH WATER SCHEDULES ESTABLISHED BY THE ST. JOHNS WATER MANAGEMENT DISTRICT, OR THE TOWN OF LADY LAKE, WHICHEVER IS MORE RESTRICTIVE.
- LANDSCAPE CONTRACTOR SHALL COORDINATE ALL PLANTING WORK WITH IRRIGATION WORK. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAND WATERING ALL EXISTING AND PROPOSED PLANT MATERIAL AS REQUIRED BY OWNER'S REPRESENTATIVE TO SUPPLEMENT IRRIGATION WATERING AND RAINFALL DURING PROJECT DURATION AS WELL AS 45 DAY ESTABLISHMENT PERIOD FOR SOD. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING IN ALL PLANTING AREAS, REGARDLESS OF THE STATUS OF EXISTING OR PROPOSED IRRIGATION.
- THE PURPOSE OF THIS IRRIGATION PLAN IS TO PROVIDE A PHYSICAL LAYOUT OF IRRIGATION EQUIPMENT TO ASSIST THE CONTRACTOR IN ACCURATELY ESTIMATING THE MATERIAL COST TO BID THE SPRINKLER SYSTEM. THE DESIGN INTENT IS TO PROVIDE THE CONTRACTOR WITH A DIAGRAMMATIC LAYOUT OF SPRINKLER EQUIPMENT, WHICH WILL PROVIDE ADEQUATE WATER COVERAGE FOR THE LANDSCAPE MATERIALS WITHIN THE SCOPE OF WORK UNDER THIS CONTRACT. THESE PLANS AND THE MATERIALS SPECIFIED ARE SUBJECT TO CHANGE WITHOUT NOTICE. PRIOR TO BIDDING THIS CONTRACT THE CONTRACTOR WILL VERIFY ALL IRRIGATION MATERIAL MODEL NUMBERS, DIMENSIONS, COMPATIBILITY OF COMPONENT ASSEMBLIES, MAINLINE AND ZONE HYDRAULICS, ELECTRICAL COMPONENTS, WIRING, ALL SLEEVES, WATER AND ELECTRICAL SOURCES, WATER PRESSURE AND G.P.M. AVAILABLE AND APPLICABLE SITE CONDITIONS, WHICH MAY ADVERSELY AFFECT EITHER THE COST OR PERFORMANCE OF THIS SPRINKLER SYSTEM. IF A CONFLICT IS FOUND THE CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING AND WILL NOT START THE WORK UNTIL THE OWNER HAS RESOLVED THE CONFLICT AND ISSUED IN WRITING A "NOTICE TO PROCEED". IF A CONFLICT IS FOUND AFTER THE CONTRACT HAS BEEN SIGNED THE CONTRACTOR WILL RESOLVE THE CONFLICT AT HIS OWN EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER. SLEEVING UNDER SIDEWALKS MAY NOT BE SHOWN OR CALLED OUT DUE TO LACK OF SPACE ON PLANS. ONCE A BID HAS BEEN GIVEN TO THE OWNER FROM THE CONTRACTOR CHANGE ORDERS FOR EITHER ADDITIONAL MATERIALS OR TO CHANGE TO MATERIALS THAT ARE NOT FOUND ON THIS PLAN IS NOT ACCEPTABLE AND WILL NOT BE ALLOWED.
- GUARANTEE: LANDSCAPE CONTRACTOR SHALL WARRANTY LAWNS AFTER INSTALLATION FOR 60 DAYS FOLLOWING ACCEPTANCE OF SITE BY OWNER'S REPRESENTATIVE. WARRANTY TREES AND SHRUBS FOR ONE YEAR FOLLOWING ACCEPTANCE OF SITE BY OWNER'S REPRESENTATIVE. MAINTAIN MATERIALS AFTER INSTALLATION FOR 45 DAYS FOLLOWING ACCEPTANCE OF SITE BY OWNER'S REPRESENTATIVE. REPLACE ALL UNHEALTHY OR DEAD PLANT MATERIAL FOUND DURING WARRANTY PERIOD. WARRANTY IRRIGATION SYSTEM MATERIALS AND LABOR FOR ONE YEAR FOLLOWING ACCEPTANCE OF SITE BY OWNER'S REPRESENTATIVE.
- PER LADY LAKE LAND DEVELOPMENT CODE: ALL IRRIGATION SYSTEMS INSTALLED WITHIN THE CITY SHALL MAINTAIN THE FOLLOWING AS MINIMUM STANDARDS FOR INSTALLATION AND MAINTENANCE:
  - PROPERLY INSTALLED AND FUNCTIONING AUTOMATIC RAIN AND SOIL MOISTURE SENSORS SHUT OFF DEVICES;
  - BACK FLOW PREVENTION VALVE;
  - SEPARATE IRRIGATION ZONES FOR TURF AND NON-TURF AREAS;
  - MATCHING PRECIPITATION RATES ON HEADS WITHIN A ZONE
  - USE OF PRESSURE REGULATED VALVES AND HEADS
  - 100% OVERLAPPING (HEAD TO HEAD) COVERAGE;
  - MAX. FLOW VELOCITY OF FIVE FEET (5) PER SECOND;
  - CHECK VALVES IN LOW TOPOGRAPHIC AREAS TO PREVENT SYSTEM DRAIN DOWN;
  - APPROPRIATE IRRIGATION SCHEDULING THAT SUPPLEMENTS RAINFALL SO TURF AREAS RECEIVE NO MORE THAN ONE AND ONE-HALF (1 1/2) INCHES OF TOTAL MOISTURE (RAIN AND IRRIGATION) PER WEEK, AND LESS IN BED AREAS; AND
  - REGULAR INSPECTION AND MAINTENANCE TO DETECT LEAKS, CLEAN FILTERS, AND REALIGN OR REPLACE ROTORS AND SPRAY HEADS AS NEEDED.
  - REUSE IRRIGATION WATER USED FOR IRRIGATION SHALL BE MARKED WITH APPROPRIATE SIGNAGE TO LET THE PUBLIC KNOW ABOUT THE NON-POTABLE NATURE OF THE WATER SOURCE IN CONFORMANCE WITH THE FLORIDA BUILDING CODE. PURPLE PIPE AND IRRIGATION HEADS SHALL BE USED IN CONFORMANCE WITH THE FLORIDA BUILDING CODE.

**NOTES:**

- SEE SHEETS L1, L2, AND L3 FOR PLANTING PLANS.
- CONTRACTOR SHALL VERIFY ALL SYSTEM REQUIREMENTS PRIOR TO BID.
- CONTRACTOR SHALL HAND WATER ALL TURF AREAS THAT DO NOT HAVE AN AUTOMATIC IRRIGATION SYSTEM AS REQUIRED FOR ESTABLISHMENT.
- TRENCHING OF ANY TYPE SHALL BE AVOIDED IN THE DRIPLINE AREA OF EXISTING TREES. WHERE UNDERGROUND INSTALLATIONS ARE REQUIRED ADJACENT TO TREE TRUNKS, TUNNELING SHALL BE USED. PROTECTIVE MEASURES SHALL BE TAKEN AS SPECIFIED IN TREE PROTECTION MANUAL FOR BUILDERS AND DEVELOPERS, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF FORESTRY, LATEST EDITION.
- TREE BUBBLERS SHRUB ZONES SHALL BE ON SEPARATE ZONES.
- IRRIGATION HEADS, CONTROLLERS, CONTROL VALVES, QUICK COUPLERS, AND ACCESSORIES SHALL BE HUNTER OR RAIN BIRD NEW COMMERCIAL GRADE PRODUCTS. ALL MAIN LINE PIPES, LATERAL LINES, DRIP LINES, HEADS, VALVES, VALVE BOXES, AND ACCESSORIES SHALL BE PURPLE TO INDICATE NON-POTABLE USE.
- CONTRACTOR SHALL TEMPORARILY IRRIGATE NON-IRRIGATED LAWN AREAS AND OTHER NON-IRRIGATED PLANT MATERIAL AS REQUIRED FOR ESTABLISHMENT.
- IRRIGATION SCHEDULE: CONTRACTOR TO PROGRAM AUTOMATIC CONTROLLER TO ALLOW FOR THE EQUIVALENT OF 3/4" OF WATER PER WEEK, OR PER SITE AND PLANTING NEEDS FOR BEST PLANT HEALTH.

ESTIMATED IRRIGATION DEMAND / USAGE: 16 GALLONS PER MINUTE  
 QUANTITY OF WATER APPLIED SHOULD BE ADJUSTED IN ACCORDANCE TO RAINFALL. CONTRACTOR TO VERIFY ESTIMATES FOR ESTABLISHMENT PURPOSES. QUANTITY OF WATER SHALL BE ADJUSTED IN ACCORDANCE WITH ANY RESTRICTIONS BY THE PREVAILING WATER MANAGEMENT DISTRICT.  
 GROUNDCOVERS AND SHRUBS: 1 HOUR 6 MINUTES RUN TIME PER WEEK = 3,168 GALLONS PER WEEK = 453 GALLONS PER DAY  
 TREES: 1,134 GALLONS PER DAY FOR ESTABLISHMENT DURING FIRST MONTH. IRRIGATE DAILY 1ST MONTH, EVERY OTHER DAY FOR 3 MONTHS, THEN WEEKLY UNTIL ESTABLISHED.  
 TOTAL ESTIMATED DAILY GALLONS PER DAY: 1,587 GALLONS PER DAY.  
 ESTIMATED IRRIGATION ZONES (6 TOTAL):  
 TREE BUBBLER ZONES: 2 ZONES @ 11 GPM +/-  
 SHRUB / GROUNDCOVER DRIP ZONES: 4 ZONES @ 12 GPM +/-

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**REVISIONS**

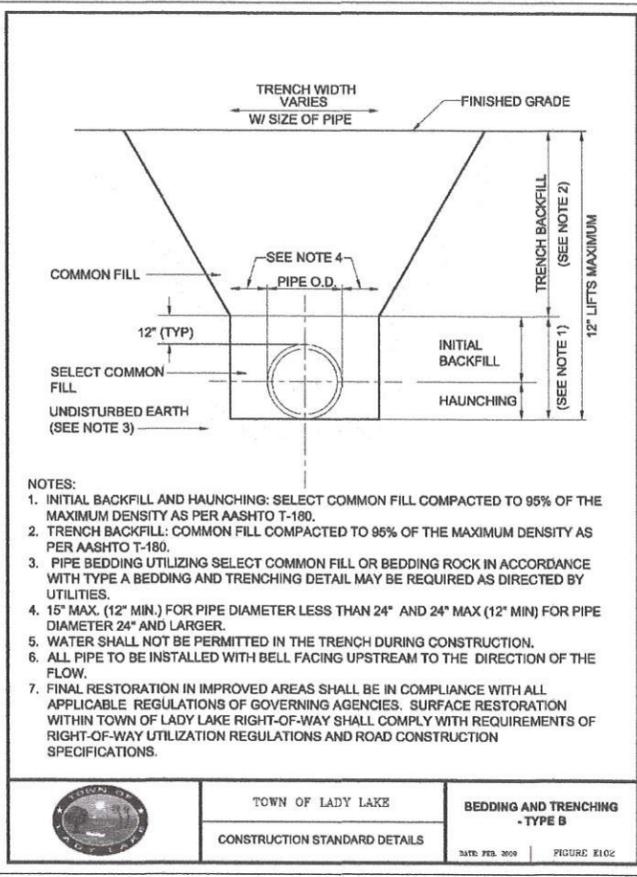
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 CHECKED BY: CJA  
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 PROTOTYPE SIZE: 5W (L)

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- NOTES:
- INITIAL BACKFILL AND HAUNCHING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
  - TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
  - PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY UTILITIES.
  - 15" MAX. (12" MIN.) FOR PIPE DIAMETER LESS THAN 24" AND 24" MAX (12" MIN) FOR PIPE DIAMETER 24" AND LARGER.
  - WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
  - ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
  - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN TOWN OF LADY LAKE RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

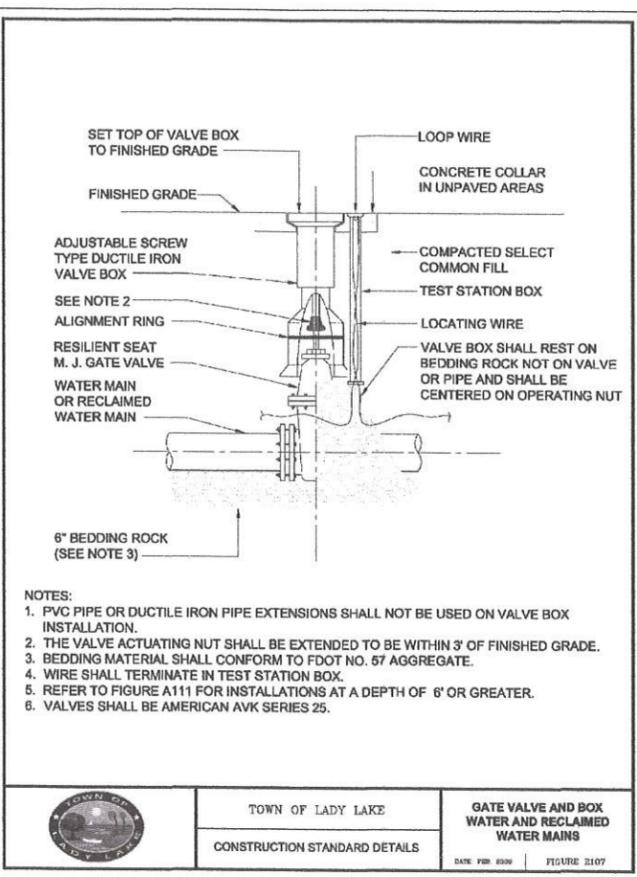
TOWN OF LADY LAKE  
CONSTRUCTION STANDARD DETAILS  
BEDDING AND TRENCHING - TYPE B  
DATE: FEB. 2009 | FIGURE E102

TYPE	PIPE SIZE									
	4"	6"	8"	10"	12"	16"	20"	24"	30"	36"
90° BEND	20	29	37	44	51	65	77	89	105	120
45° BEND	8	12	15	18	21	27	32	37	44	50
22-1/2° BEND	4	6	7	9	10	13	15	18	21	24
11-1/4° BEND	2	3	4	5	6	7	8	9	10	12
PLUG OR BRANCH OF TEE	42	59	77	93	108	138	168	194	231	265
VALVE	21	30	39	47	54	69	83	97	116	133

NOTES:

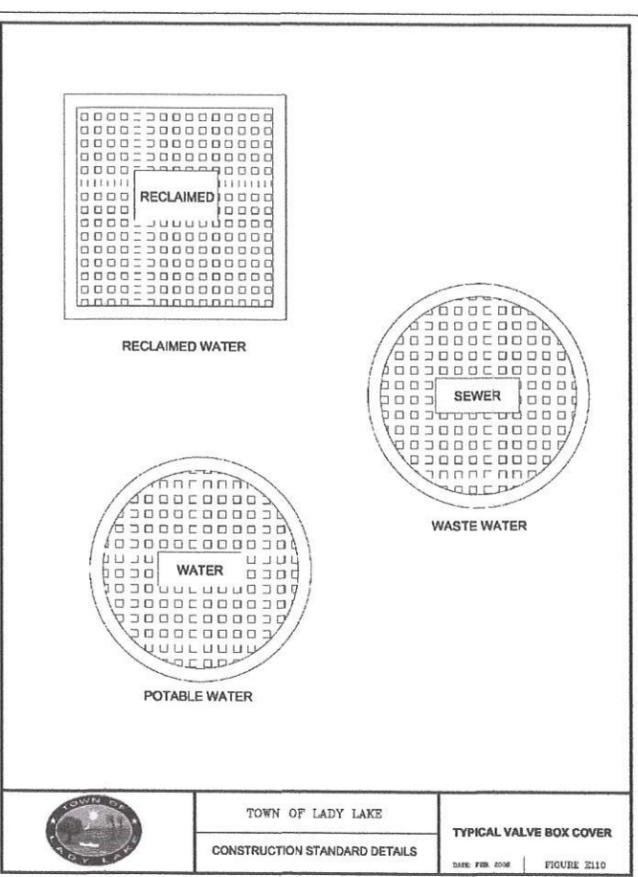
- FITTINGS SHALL BE RESTRAINED JOINTS UNLESS OTHERWISE INDICATED.
- INSTALL FULL LENGTH JOINTS WITH TOTAL LENGTH EQUAL TO OR GREATER THAN SHOWN IN THE TABLE.
- WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
- ALL LINE VALVES AND THROUGH RUN OF TEES SHALL BE RESTRAINED.
- LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DIPRA, WITH THE FOLLOWING ASSUMPTIONS:  
WORKING PRESSURE: 150 PSI  
SOIL DESIGNATION: SM (SAND SILT)
- FOR HDPE, PVC OR PIPE ENCASED IN POLYETHYLENE, INCREASE THE GIVEN VALUE BY A FACTOR OF 1.5.

TOWN OF LADY LAKE  
CONSTRUCTION STANDARD DETAILS  
RESTRAINED PIPE TABLE WATER AND RECLAIMED WATER MAINS  
DATE: FEB. 2009 | FIGURE E104-1

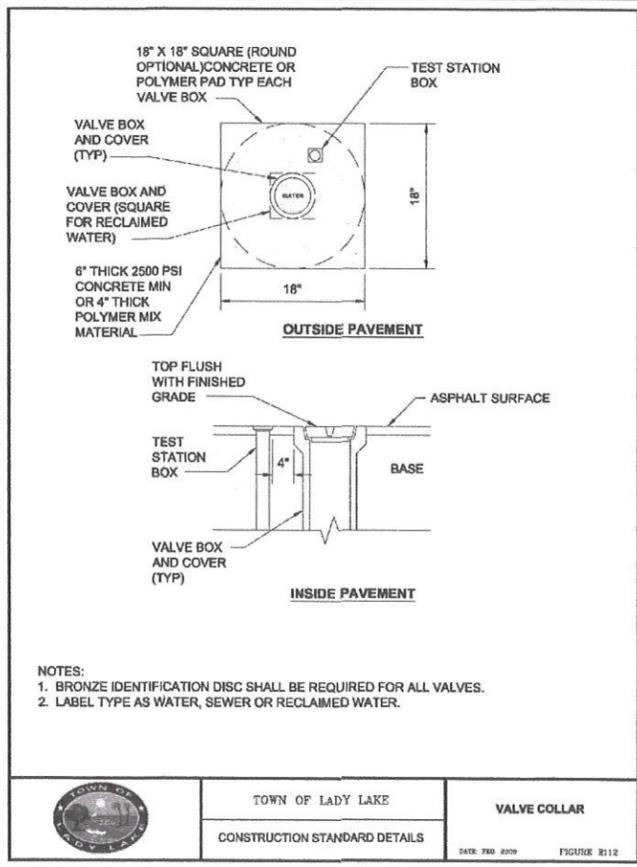


- NOTES:
- PVC PIPE OR DUCTILE IRON PIPE EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
  - THE VALVE ACTUATING NUT SHALL BE EXTENDED TO BE WITHIN 3" OF FINISHED GRADE.
  - BEDDING MATERIAL SHALL CONFORM TO FOOT NO. 57 AGGREGATE.
  - WIRE SHALL TERMINATE IN TEST STATION BOX.
  - REFER TO FIGURE A111 FOR INSTALLATIONS AT A DEPTH OF 6' OR GREATER.
  - VALVES SHALL BE AMERICAN AVK SERIES 25.

TOWN OF LADY LAKE  
CONSTRUCTION STANDARD DETAILS  
GATE VALVE AND BOX WATER AND RECLAIMED WATER MAINS  
DATE: FEB. 2009 | FIGURE E107

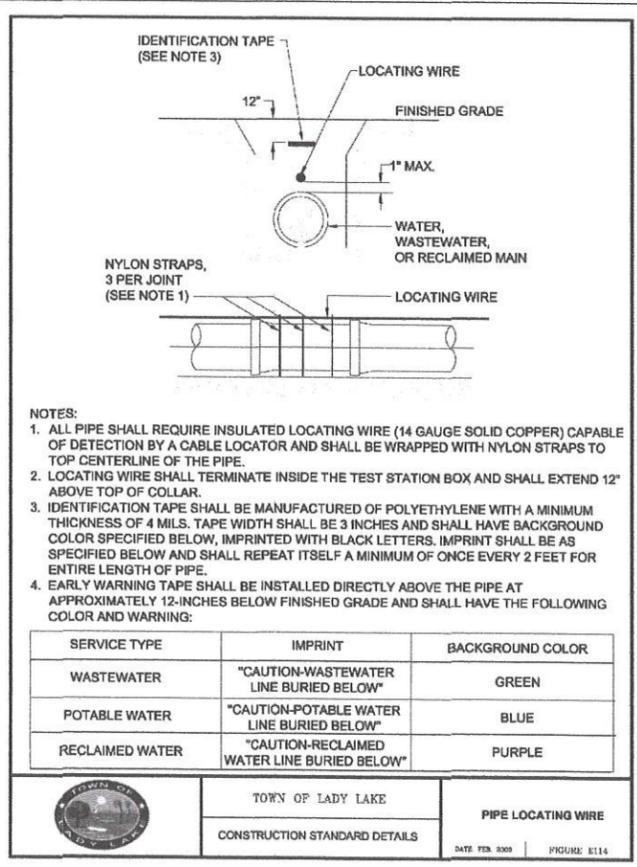


TOWN OF LADY LAKE  
CONSTRUCTION STANDARD DETAILS  
TYPICAL VALVE BOX COVER  
DATE: FEB. 2009 | FIGURE E110



- NOTES:
- BRONZE IDENTIFICATION DISC SHALL BE REQUIRED FOR ALL VALVES.
  - LABEL TYPE AS WATER, SEWER OR RECLAIMED WATER.

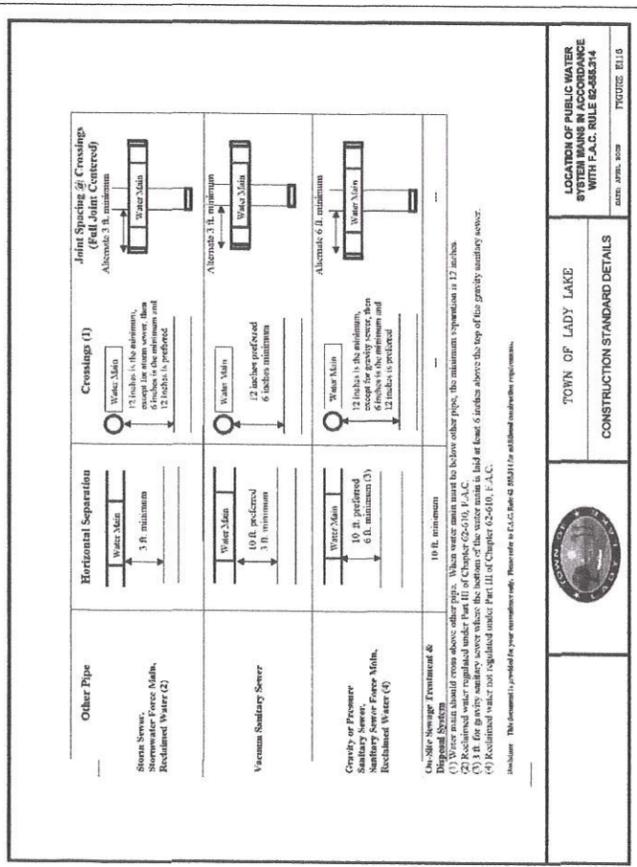
TOWN OF LADY LAKE  
CONSTRUCTION STANDARD DETAILS  
VALVE COLLAR  
DATE: FEB. 2009 | FIGURE E112



- NOTES:
- ALL PIPE SHALL REQUIRE INSULATED LOCATING WIRE (14 GAUGE SOLID COPPER) CAPABLE OF DETECTION BY A CABLE LOCATOR AND SHALL BE WRAPPED WITH NYLON STRAPS TO TOP CENTERLINE OF THE PIPE.
  - LOCATING WIRE SHALL TERMINATE INSIDE THE TEST STATION BOX AND SHALL EXTEND 12" ABOVE TOP OF COLLAR.
  - IDENTIFICATION TAPE SHALL BE MANUFACTURED OF POLYETHYLENE WITH A MINIMUM THICKNESS OF 4 MILS. TAPE WIDTH SHALL BE 3 INCHES AND SHALL HAVE BACKGROUND COLOR SPECIFIED BELOW, IMPRINTED WITH BLACK LETTERS. IMPRINT SHALL BE AS SPECIFIED BELOW AND SHALL REPEAT ITSELF A MINIMUM OF ONCE EVERY 2 FEET FOR ENTIRE LENGTH OF PIPE.
  - EARLY WARNING TAPE SHALL BE INSTALLED DIRECTLY ABOVE THE PIPE AT APPROXIMATELY 12-INCHES BELOW FINISHED GRADE AND SHALL HAVE THE FOLLOWING COLOR AND WARNING:

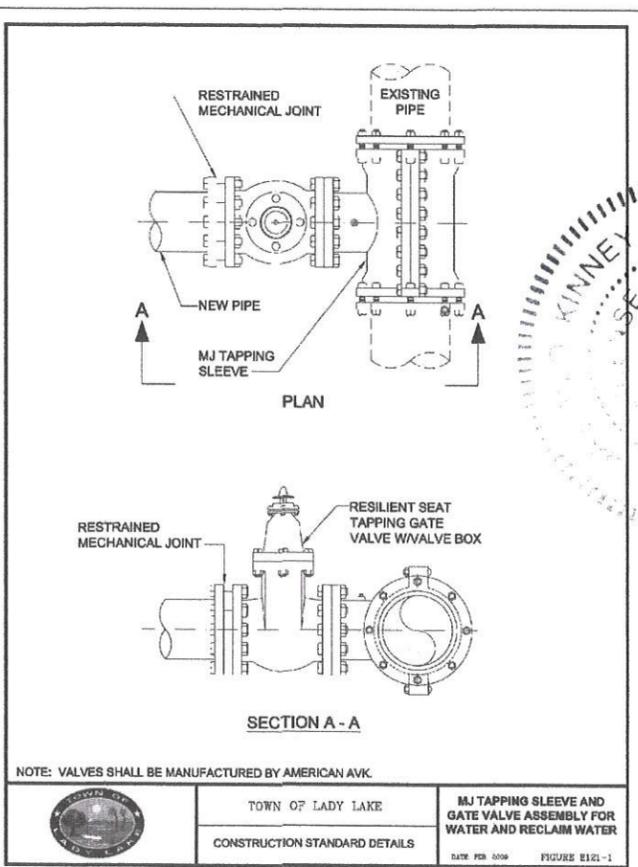
SERVICE TYPE	IMPRINT	BACKGROUND COLOR
WASTEWATER	"CAUTION-WASTEWATER LINE BURIED BELOW"	GREEN
POTABLE WATER	"CAUTION-POTABLE WATER LINE BURIED BELOW"	BLUE
RECLAIMED WATER	"CAUTION-RECLAIMED WATER LINE BURIED BELOW"	PURPLE

TOWN OF LADY LAKE  
CONSTRUCTION STANDARD DETAILS  
PIPE LOCATING WIRE  
DATE: FEB. 2009 | FIGURE E114



- NOTES:
- Water main should cross above other pipes. When water main must be below other pipes, the minimum separation is 12 inches.
  - Water main should cross above other pipes. When water main must be below other pipes, the minimum separation is 12 inches.
  - Water main should cross above other pipes. When water main must be below other pipes, the minimum separation is 12 inches.
  - Water main should cross above other pipes. When water main must be below other pipes, the minimum separation is 12 inches.

TOWN OF LADY LAKE  
CONSTRUCTION STANDARD DETAILS  
LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-288.034  
DATE: APR. 2009 | FIGURE E119



NOTE: VALVES SHALL BE MANUFACTURED BY AMERICAN AVK.

TOWN OF LADY LAKE  
CONSTRUCTION STANDARD DETAILS  
MJ TAPPING SLEEVE AND GATE VALVE ASSEMBLY FOR WATER AND RECLAIM WATER  
DATE: FEB. 2009 | FIGURE E121-1

AutoZone Inc.  
123 South Front Street, 3rd Floor  
Memphis, Tennessee 38103  
Tel: (901) 495-8709 Fax: (901) 495-8969  
For Bidding & Contractor Information Contact:  
F.W. Dodge Plan Room Tel: (615) 884-1017

Ke  
Kinney Engineering, LLC  
2573 34th Avenue N.  
St. Petersburg, FL 33713  
727-527-1656  
FL COA #30311

AutoZone Store Development  
4999 N.W.C. W. Hermosa Street and US Hwy 27  
LADY LAKE, FLORIDA

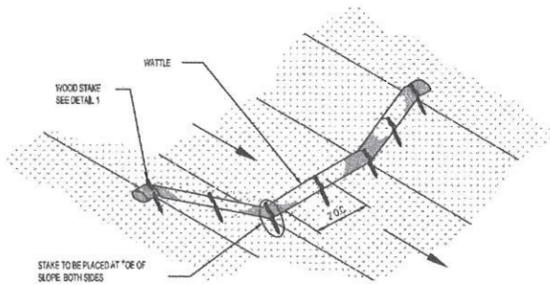
Prepared for: Store No.:  
NO. 02547  
KINNEY ENGINEERING  
STATE OF FLORIDA  
REGISTERED PROFESSIONAL ENGINEER  
CASA L. KINNEY  
No. 12547

NO.	REVISIONS
1.	
2.	
3.	
4.	
5.	
6.	
7.	

ARCHITECT: N/A  
DRAWN BY: JK  
CHECKED BY: SK  
DATE: Sept. 2014  
PROTOTYPE SIZE: 65w2

C1.B

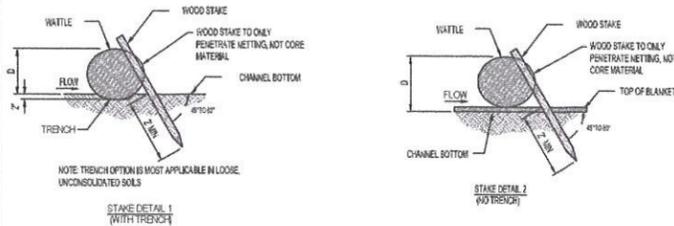




Wattle (No Blanket)

RECOMMENDED PLACEMENT INTERVAL BETWEEN WATTLES

$$\left[ \frac{\text{DISTANCE BETWEEN CHANNEL BOTTOM AND TOP OF INSTALLED WATTLES (ft)}}{\text{CHANNEL GRADIENT (\%)}} \right] \times 100 = \text{WATTLE SPACING (ft)}$$



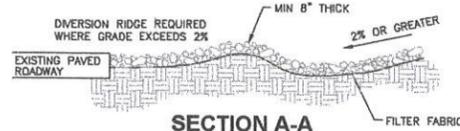
NOTE: WATTLES MAY BE A STRAW WATTLE, A STONE WATTLE, A CURLEX SEDIMENT LOG, OR APPROVED EQUAL.

CD

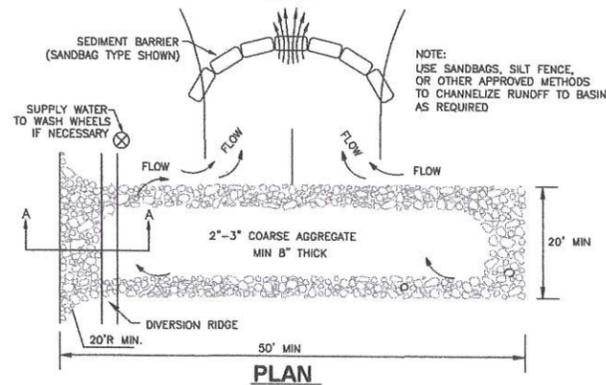
Check Dam

N.T.S.

- NOTE:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



SECTION A-A

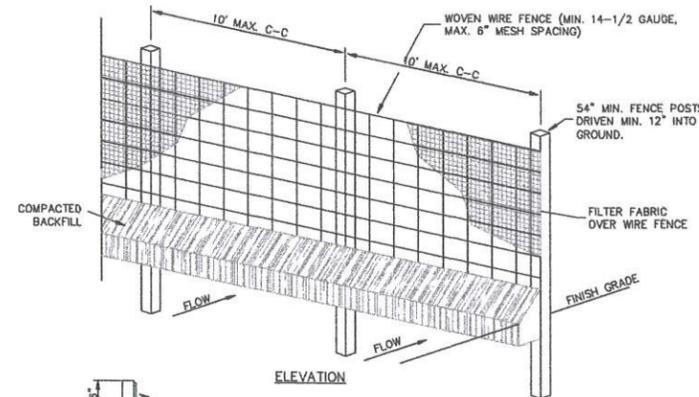


PLAN

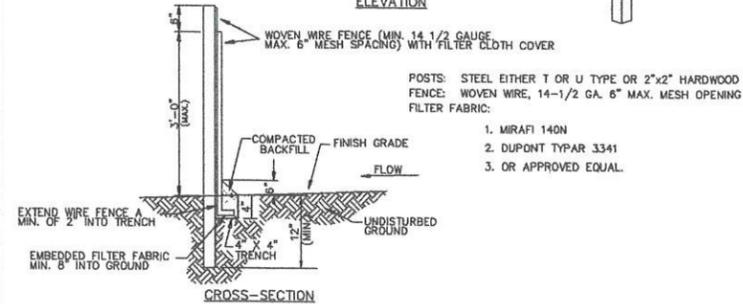
CEP

Construction Exit Pad

N.T.S.



ELEVATION



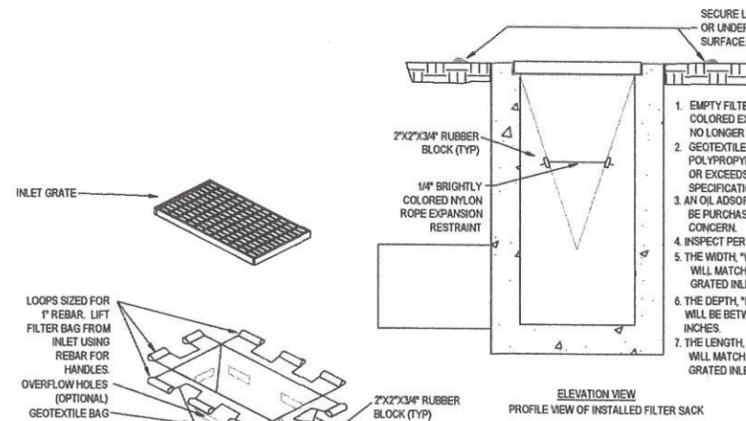
CROSS-SECTION

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE EROSION CONTROL PLAN. COLLECTED MATERIAL SHALL BE REMOVED WHEN SEDIMENT ACCUMULATES TO HALF THE HEIGHT OF THE SILT FENCE.
5. THE SILT FENCE WILL NOT BE TRENCHED/DUG IN WITHIN THE DRIP LINES OF THE PRESERVED TREES.

SF

Sedimentation/Silt Fence With Wire Support

N.T.S.



ELEVATION VIEW

PROFILE VIEW OF INSTALLED FILTER SACK

1. EMPTY FILTER SACK WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
2. GEOTEXTILE WILL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
3. AN OIL ADSORBENT PAD OR PILLOW CAN BE PURCHASED WHEN OIL SPILLS ARE A CONCERN.
4. INSPECT PER REGULATORY REQUIREMENTS.
5. THE WIDTH, "W", OF THE FILTER SACK WILL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
6. THE DEPTH, "D", OF THE FILTER SACK WILL BE BETWEEN 18 INCHES AND 36 INCHES.
7. THE LENGTH, "L", OF THE FILTER SACK WILL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

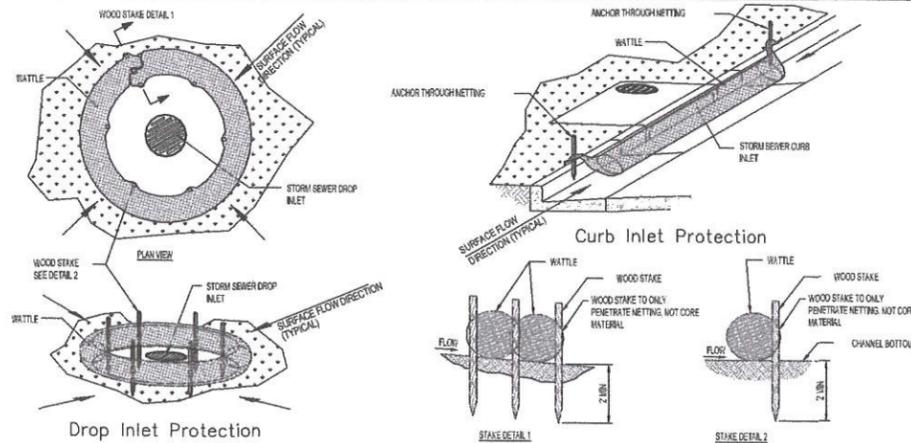
LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3788	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC-1
MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	285 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3788	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC-1

IP2

Filter Sack Inlet Protection

N.T.S.

DO NOT USE ON ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.



Drop Inlet Protection

Curb Inlet Protection

IP1

Curb Inlet Protection

N.T.S.



Owner / Developer:  
**AutoZone Inc.**  
 123 South Front Street, 3rd Floor  
 Memphis, Tennessee 38103  
 Tel: (901) 495-8709 Fax: (901) 495-8969  
 For Bidding & Contractor Information Contact:  
 F.W. Dodge Plan Room Tel: (615) 884-1017

**Ke**  
 Kinney Engineering, LLC  
 2573 34th Avenue N.  
 St. Petersburg, FL 33713  
 727-527-1526  
 FL COA #30311

**AutoZone Store Development**  
 Prepared for:  
 Store No.:  
 4999  
 NWC W. Hermosa Street and US Hwy 27  
 LADY LAKE, FLORIDA

REVISIONS  
 1.  
 2.  
 3.  
 4.  
 5.  
 6.  
 7.

ARCHITECT: N/A  
 DRAWN BY: JK  
 CHECKED BY: SK  
 DATE  
 10/6/14  
 PROTOTYPE SIZE  
 65w2

**C1.D**

SITE DETAILS



**SPECIAL TOWN COMMISSION - CONCEPTUAL WORKSHOP AGENDA ITEM**

REQUESTED COMMISSION MEETING DATE: April 20, 2015

---

**SUBJECT:** Conceptual Presentation for the Lumen Park at Lady Lake Site Major Site Plan Application MJSP 04/15-001 – Proposing a main Assisted/Independent Living Facility Building with approximately 151,790 square feet with a total of 129 units for Phase 1 and a 120,000-square-foot building with 100 units for Phase 2.

**DEPARTMENT:** GROWTH MANAGEMENT

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**STAFF RECOMMENDED MOTION:**

Staff recommends having the applicant submit the Major Site Plan Application for the Lumen Park at Lady Lake Site in an effort to advance the proposed project to the Town Commission for approval, and subsequently to the construction phase.

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**SUMMARY:**

Darren Azdell of OutsideIn Architecture LLC, on behalf of LL-Lumen Park, LLC, is ready to proceed with a Major Site Plan application for 30 ± acres property located north of County Road 466, approximately 1000± feet east of the Sumter County Line, addressed as 1175 Highway 466 within the Town of Lady Lake, for a project named Lumen Park at Lady Lake.

The subject property is currently occupied by a vacated residence and barn and the zoning designation of the property is presently Planned Commercial (CP). Per Ordinance 2011-28, the conceptual plan and attached Memorandum of Agreement allow up to 305 Assisted Living Facility Units; Up to 50 villa-type Assisted Living Facility Units; Up to 35,000 Sq. Ft. of Medical Office, Bank, or Complementary Retail, and Approximately 95 Skilled Nursing Units/Beds in the Main Building; with a total maximum build out of 415 units.

The developer is ready to move forward with the site plan process, and at this time, they would like to present Civil Engineering Plans, Landscaping Plans, and Architectural Elevations to showcase the development. Phase I will consist of a main Assisted/Independent Living Facility Building with approximately 151,790 square feet with a total of 129 units. Phase II will be completed in the future and proposes a 120,000-square-foot building with 100 units. Other future phases depicted on the site plan includes a future phase for a medical/professional building and building/medical/professional building and parking area to the southwest of the property near Retention Pond 1A.

In accordance with the provisions of Chapter 20, Section 20-3C).3).A), the developer has selected the Mission Architectural Design Style for the exterior building elevations. The owners agree to develop the property in compliance with all requirements of the Town pertaining to commercial development of property, including ensuring adequate trees, being a minimum of twenty (20') feet in height, are retained or planted within the Buffer Zone. Within the Memorandum of Agreement of Ordinance 2011-28, the owners are required to

establish conservation buffers along the east, north and west of the property. Additionally the owners will be required to install an 8' custom PVC fence along the east and north elevations. Lastly, the proposed multi-unit Assisted Living Facility and Independent Living Facility shall be located upon Track "A", the interior location in the center area; not exceeding three stories and thirty-five feet in height to the roof level. Tract "D" allows for two-story commercial structures while Tract "B" and "C" only allow for single-story commercial construction.

Please find the following items in the agenda packet:

- Proposed Civil Site Plans
- Proposed Landscaping Plans
- Conceptual Site Layout
- Exterior Building Elevations

The applicant is expected to make a full site plan submittal within the next few weeks. As part the Site Plan application, the applicant will be requested to supply Geotechnical/Soil Reports, Traffic Study, Environmental Assessments, Fire Flow calculations, Concurrency Determinations for Water, Sewer, and Reuse, State Permits including St. John's River Water Management District, Florida Department of Transportation, and any applicable permits from Florida Fish and Wildlife.

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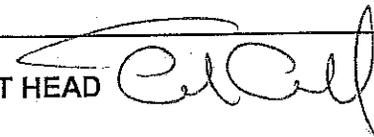
FISCAL IMPACT: \$ -0-  Capital Budget  
 Operating  
 Other

---

ATTACHMENTS:  Ordinance(s)  Resolution  Budget Resolution  
 Other – Conceptual Site Plan Documents

<sup>(11)</sup>  
4-13-15  Support Documents/Contracts Available for Review in Manager's Office

---

DEPARTMENT HEAD		Submitted 4/13/15	Date
FINANCE DEPARTMENT		Approved as to Budget Requirements	Date
TOWN ATTORNEY		Approved as to Form and Legality	Date
TOWN MANAGER		Approved Agenda Item for: 4/20/15	Date 4/13/15

---

COMMISSION ACTION:  Approved as Recommended  Disapproved  
 Tabled Indefinitely  Continued to Date Certain  
 Approved with Modification

# PROPERTY RECORD CARD

## General Information

<b>Owner Name:</b>	CRISBO HOLDINGS LLC	<b>Alternate Key:</b>	2543370
<b>Mailing Address:</b>	101 W SEVE CT MORRISVILLE, NC 27560 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b>	18-18-24-000300002000
		<b>Millage Group and City:</b>	00LL (Lady Lake)
		<b>Total Millage Rate:</b>	19.04670
<b>Property Location:</b>	1175 HIGHWAY 466 LADY LAKE FL 32159 <a href="#">Update Property Location</a>	<b>Trash/Recycling /Water/Info:</b>	<a href="#">My Public Services Map</a>
		<b>Property Name:</b>	-- <a href="#">Submit Property Name</a>
		<b>School Locator:</b>	<a href="#">School and Bus Map</a>
<b>Property Description:</b>	FROM SW COR OF SW 1/4 RUN E'LY ALONG S SECTION LINE 1007.15   FT, N 40 FT TO N R/W OF SR 466 & POB, CONT N 1288 FT MORE OR   LESS TO S LINE OF ORANGE BLOSSOM HILL SOUTH UNIT 2 & PT   HEREBY DESIGNATED PT A, RETURN TO POB, RUN E'LY ALONG N R/W   LINE OF SR 466 A DIST OF 338.5 FT, N 1288 FT MORE OR LESS TO   S LINE OF ORANGE BLOSSOM HILLS SOUTH UNIT 2, W'LY TO PT A   ORB 2501 PG 1199		

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	VACANT COMMERCIAL (1000)	0	0		10.02	AC	\$0.00	\$601,200.00

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

Sales History

O.R. Book / Page	Sale Date	Instrument	Q/U	Vac./Imp.	Sale Price
730 / 2393	7/1/1981	WD	Q	V	\$24,000.00
908 / 2177	1/1/1987	WD	U	V	\$1.00
2294 / 676	4/7/2003	WD	Q	V	\$293,000.00
2501 / 1199	2/4/2004	WD	Q	V	\$600,000.00

## Values and Estimated Taxes

Tax Authority	Just Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
---------------	------------	----------------	---------------	---------	-----------------

LAKE COUNTY BCC	\$601,200	\$533,465	\$533,465	5.38560	\$2,873.03
LAKE COUNTY MSTU AMBULANCE	\$601,200	\$533,465	\$533,465	0.46290	\$246.94
LAKE COUNTY MSTU FIRE	\$601,200	\$533,465	\$533,465	0.47040	\$250.94
SCHOOL BOARD STATE	\$601,200	\$601,200	\$601,200	5.74600	\$3,454.50
SCHOOL BOARD LOCAL	\$601,200	\$601,200	\$601,200	1.50000	\$901.80
TOWN OF LADY LAKE	\$601,200	\$533,465	\$533,465	3.75000	\$2,000.49
ST JOHNS RIVER FL WATER MGMT DIST	\$601,200	\$533,465	\$533,465	0.31640	\$168.79
LAKE COUNTY VOTED DEBT SERVICE	\$601,200	\$533,465	\$533,465	0.16000	\$85.35
LAKE COUNTY WATER AUTHORITY	\$601,200	\$533,465	\$533,465	0.25540	\$136.25
NORTH LAKE HOSPITAL DIST	\$601,200	\$533,465	\$533,465	1.00000	\$533.47
				<b>Total:</b>	<b>Total:</b>
				19.0467	\$10,651.56

The values displayed above may NOT reflect certified values and therefore are subject to change before being finalized for ad valorem assessment purposes. The estimated tax totals are based on prior year adopted millage rates until each taxing authority certifies proposed rates (annually in mid-August) and adopts final millage rates (late September) of each year. Estimated tax totals do not reflect non-ad valorem assessments. (Fire Fees, Solid Waste, etc.) Please consult the [Tax Collector](#) for actual taxation amounts.



Prepared by and return to:  
Richard P. Newman/klo  
Attorney at Law  
McLinBurnsed  
26736 U.S. Highway 27 Suite 103  
Leesburg, FL 34748  
352-787-1241  
File Number: 131001

[Space Above This Line For Recording Date]

## Special Warranty Deed

This Special Warranty Deed made this 25th day of March, 2015 between Crisbo Holdings, LLC, a Florida limited liability company whose post office address is c/o Donna R. Boyd, 101 W. Seve Court, Morrisville, NC 27560, grantor, and LL-LUMEN PARK, LLC, a Delaware limited liability company whose post office address is 1717 Main Street, Suite 3900, Dallas, TX 75201, grantee:

(Whenever used herein the terms grantor and grantee include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, conveyed and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Lake County, Florida, to-wit:

### PARCEL A:

THAT PART OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 18, TOWNSHIP 18 SOUTH, RANGE 24 EAST, IN LAKE COUNTY, FLORIDA, BOUNDED AND DESCRIBED AS FOLLOWS: FROM THE SOUTHWEST CORNER OF SAID SOUTHWEST 1/4 RUN EASTERLY ALONG THE SOUTH SECTION LINE 1,007.15 FEET, THENCE NORTH 0°23'52" WEST 40 FEET TO THE NORTH RIGHT OF WAY LINE OF S.R. 466 AND THE POINT OF BEGINNING, THENCE CONTINUE NORTH 0°23'52" WEST 1288 FEET, MORE OR LESS, TO THE SOUTH LINE OF ORANGE BLOSSOM HILLS SOUTH, UNIT 1, AS RECORDED IN PLAT BOOK 15, PAGE 37C, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, AND A POINT HEREBY DESIGNATED AS POINT "A", RETURN TO THE POINT OF BEGINNING AND RUN EASTERLY ALONG SAID NORTH RIGHT OF WAY LINE 338.50 FEET; THENCE RUN NORTH 0°23'52" WEST 1288 FEET, MORE OR LESS, TO SAID SOUTH LINE OF ORANGE BLOSSOM HILLS SOUTH, UNIT 1, THENCE RUN WESTERLY ALONG SAID SOUTH LINE TO THE ABOVE DESIGNATED POINT "A".

LESS AND EXCEPT A 2.75-FOOT-WIDE STRIP OF LAND BEING A PORTION OF THAT CERTAIN DESCRIBED PROPERTY PER OFFICIAL RECORDS BOOK 2501, PAGE 1199, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, BEING IN THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 18 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 18; THENCE RUN SOUTH 89°51'17" EAST, ALONG THE CENTERLINE OF COUNTY ROAD 466 PER FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP, SECTION 11560-2601, DATED 12-20-63, RECORDED IN ROAD PLAT BOOK 6, PAGE 55, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, FOR A DISTANCE OF 1155.85 FEET TO A POINT; THENCE RUN NORTH 00°08'43" EAST FOR A DISTANCE OF 40.00 FEET TO A POINT ON THE SAID NORTH RIGHT-OF-WAY LINE OF COUNTY ROAD 466; SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE DEPARTING SAID NORTH RIGHT-OF-WAY LINE, CONTINUE NORTH 00°08'43" EAST FOR A DISTANCE OF 2.75 FEET; THENCE RUN SOUTH 89°51'17" EAST ALONG A LINE BEING 42.75 FEET NORTH OF AND PARALLEL WITH, AS MEASURED AT RIGHT ANGLES, THE CENTERLINE OF SAID COUNTY ROAD 466, FOR A DISTANCE OF 40.76 FEET; THENCE SOUTH 00°08'43" WEST FOR A DISTANCE OF 2.75 FEET TO A POINT ON SAID NORTH RIGHT-OF-WAY LINE OF COUNTY ROAD 466; THENCE RUN NORTH 89°51'17" WEST ALONG SAID NORTH RIGHT-OF-WAY LINE OF COUNTY ROAD 466 AND ALONG A LINE BEING 40.00 FEET NORTH OF AND PARALLEL WITH, AS MEASURED AT RIGHT ANGLES, THE CENTERLINE OF SAID COUNTY ROAD 466, FOR A DISTANCE OF 40.76 FEET TO THE POINT OF BEGINNING.

### PARCEL C:

THAT PART OF GOVERNMENT LOT 6 IN SECTION 18, TOWNSHIP 18 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 18 AND RUN THENCE WESTERLY ALONG THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 18 A DISTANCE OF 726.20 FEET; THENCE N.0°23'52"W. 40.00 FEET TO THE NORTH RIGHT OF WAY LINE OF S.R. 466 AND THE POINT OF BEGINNING. THENCE WESTERLY ALONG

SAID NORTH RIGHT OF WAY LINE 338.50 FEET. THENCE N.0°23'52"W. 1288.28 FEET, MORE OR LESS, TO THE SOUTH LINE OF BLOCK 15, ORANGE BLOSSOM HILLS SOUTH, UNIT NO. 2, PLAT BOOK 15, PAGE 37D, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA. THENCE EASTERLY ALONG SAID SOUTH LINE 338.50 FEET, MORE OR LESS, TO A POINT LYING N.0°23'52"W. OF THE POINT OF BEGINNING. THENCE S.0°23'52"E. 1288.10 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

LESS AND EXCEPT A 2.75-FOOT-WIDE STRIP OF LAND BEING A PORTION OF THAT CERTAIN DESCRIBED PROPERTY PER OFFICIAL RECORDS BOOK 2388, PAGE 243, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, BEING IN THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 18 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 18; THENCE RUN SOUTH 89°51'17" EAST, ALONG THE CENTERLINE OF COUNTY ROAD 466 PER FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP, SECTION 11560-2601, DATED 12-20-63, RECORDED IN ROAD PLAT BOOK 6, PAGE 55, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, FOR A DISTANCE OF 1989.55 FEET TO A POINT; THENCE RUN NORTH 00°08'43" EAST FOR A DISTANCE OF 40.00 FEET TO A POINT ON THE SAID NORTH RIGHT-OF-WAY LINE OF COUNTY ROAD 466; SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE DEPARTING SAID NORTH RIGHT-OF-WAY LINE, CONTINUE NORTH 00°08'43" EAST FOR A DISTANCE OF 2.75 FEET; THENCE RUN SOUTH 89°51'17" EAST ALONG A LINE BEING 42.75 FEET NORTH OF AND PARALLEL WITH, AS MEASURED AT RIGHT ANGLES, THE CENTERLINE OF SAID COUNTY ROAD 466, FOR A DISTANCE OF 32.69 FEET; THENCE SOUTH 00°04'09" WEST FOR A DISTANCE OF 2.75 FEET TO A POINT ON SAID NORTH RIGHT-OF-WAY LINE OF COUNTY ROAD 466; THENCE RUN NORTH 89°51'17" WEST ALONG SAID NORTH RIGHT-OF-WAY LINE OF COUNTY ROAD 466 AND ALONG A LINE BEING 40.00 FEET NORTH OF AND PARALLEL WITH, AS MEASURED AT RIGHT ANGLES, THE CENTERLINE OF SAID COUNTY ROAD 466, FOR A DISTANCE OF 32.69 FEET TO THE POINT OF BEGINNING.

Parcel Identification Number: 1818240003-000-01500 & 1818240003-000-02100

Subject only to the Permitted Exceptions attached as Exhibit "A".

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under grantor.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

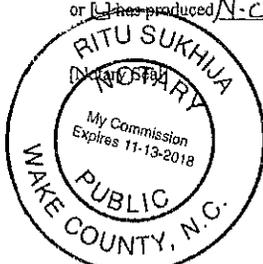
Signed, sealed and delivered in our presence:

*Lasmita Mitchell*  
Witness Name: Lasmita Mitchell  
*Ritu Sukhija*  
Witness Name: Ritu Sukhija

Crisbo Holdings, LLC, a Florida limited liability company  
By: *Donna R. Boyd*  
Donna R. Boyd, Manager

State of North Carolina  
County of Wake

The foregoing instrument was acknowledged before me this 24 day of March, 2015 by Donna R. Boyd, Manager of Crisbo Holdings, LLC, a Florida limited liability company, on behalf of the corporation. She  is personally known to me or  has produced N.C.D.RIVER LC 366 as identification.



*Ritu Sukhija*  
Notary Public  
Printed Name: Ritu Sukhija  
My Commission Expires: Nov 13, 2018

**EXHIBIT "A"**  
**PERMITTED EXCEPTIONS**

1. Temporary Non-Exclusive Construction Easement Deed and Perpetual Grading Easement in favor of Lake County recorded in O.R. Book 3657, Page 2296, Public Records of Lake County, Florida.
2. Ordinance No. 2006-41 dated April 19, 2007, and recorded June 25, 2007, in O.R. Book 3458, Page 1024, Public Records of Lake County, Florida ("Ordinance 2006-41"), which Ordinance 2006-41 attaches the Developer's Agreement Between the Town of Lady Lake and Crisbo Holdings, LLC and Rhys Allan Cobb dated April 15, 2007, as modified by Ordinance No. 2008-21 dated September 24, 2008, and recorded December 22, 2008, in O.R. Book 3713, Page 30, Public Records of Lake County, Florida ("Ordinance 2008-21"), which Ordinance 2008-21 attaches the Memorandum of Agreement between the Town of Lady Lake, Crisbo Holdings, LLC, and Rhys Allan Cobb dated September 25, 2008, and as further modified by Ordinance No. 2011-28 dated December 19, 2011, and recorded December 2, 2011, in O.R. Book 4109, Page 746, Public Records of Lake County, Florida ("Ordinance 2011-28"), which Ordinance 2011-28 attaches the Memorandum of Agreement between the Town of Lady Lake, Crisbo Holdings, LLC, and Rhys Allan Cobb dated December 19, 2011.
3. Easements in favor of Lake County, Florida, as set forth in that certain Order of Taking recorded in O.R. Book 3665, Page 934, Public Records of Lake County, Florida.

G:\User\Kriso\131001 Permitted Except.

**ORDINANCE NO. 2011-28**

TOWN OF LADY LAKE  
409 FENNEL BOULEVARD  
LADY LAKE FL 32159



**AN ORDINANCE OF THE TOWN OF LADY LAKE AMENDING ORDINANCE NO. 2008-21 PROVIDING FOR CHANGES TO THE PLANNED COMMERCIAL "CP" ZONING CLASSIFICATION AND AMENDING TERMS WITHIN THE MEMORANDUM OF AGREEMENT (MOA) FOR CERTAIN PROPERTY BEING 30 +/- ACRES OWNED BY RHYS ALLEN COBB & CRISBO HOLDINGS, LLC, REFERENCED BY ALTERNATE KEY NUMBERS 2563842, 2543370, 1739861, LOCATED ON COUNTY ROAD 466 APPROXIMATELY 1,000 FEET EAST OF THE SUMTER COUNTY LINE, WITHIN THE TOWN LIMITS OF THE TOWN OF LADY LAKE, FLORIDA; PROVIDING FOR SEVERABILITY; ESTABLISHING AN EFFECTIVE DATE.**

**WHEREAS**, on December 2, 1991, the Town of Lady Lake adopted a Comprehensive Plan (Ordinance No. 91-21) pursuant to the requirements of Chapter 163, Part II, Florida Statutes and Chapter 9J-5, Florida Administrative Code; and

**WHEREAS**, on January 23, 1992, the Florida Department of Community Affairs determined that the Town of Lady Lake Comprehensive Plan was in compliance with the requirements of Chapter 163, Part II, Florida Statutes and Chapter 9J-5, Florida Administrative Code; and

**WHEREAS**, on August 15, 1994, the Town of Lady Lake adopted the Land Development Regulations of the Town of Lady Lake, Florida, and Official Zoning Map in accordance with the Town of Lady Lake Comprehensive Plan and the requirements of Chapter 163, Part II, Florida Statutes; and

**WHEREAS**, the Town Commission of the Town of Lady Lake held a public hearing to consider a proposed amendment to the Official Zoning Map and determined that said amendment as proposed is consistent with the Town of Lady Lake Comprehensive Plan and meets the requirements of the Town of Lady Lake Land Development Regulations.

**WHEREAS**, the Town Commission of the Town of Lady Lake, through Ordinance No. 2006-41 and subsequent Ordinance No. 2008-21, approved, at a duly noticed meeting, redesignation of said property owned by Rhys Allen Cobb and Crisbo Holdings, LLC, and approved and entered into a Memorandum of Agreement establishing certain permitted uses under the "CP" zoning. The Town of Lady Lake and Rhys Allen Cobb and Crisbo Holdings, LLC, desire to amend the Memorandum of Agreement and the "CP" zoning to include additional terms within the Memorandum of Agreement.

Be it ordained and enacted by the Town Commission of the Town of Lady Lake, in Lake County, Florida.

**Ordinance No. 2011-28****Section 1 Amendment for Additional Terms.**

Based upon the petition of certain landowners of property, which is located in the Town limits of the Town of Lady Lake, and described in Exhibit "A" hereto, a request has been made that the Memorandum of Agreement Exhibit "B" be amended to incorporate new terms, these terms being graphically depicted on the Bubble Plan Exhibit "C" and Track Plan Exhibit "D". Said petition has been approved by the Town Commission of the Town of Lady Lake in accordance with the Town of Lady Lake Comprehensive Plan, the Land Development Regulations of the Town of Lady Lake, the Charter of the Town of Lady Lake and the Florida Statutes.

**Section 2 Effect**

Except as modified by this Ordinance and the Amended Memorandum of Agreement attached hereto as Exhibit "B," and shown on the Bubble Plan Exhibit "C" all other terms, conditions, and obligations between the parties as set forth in the Memorandum of Agreement and Ordinance No. 2008-21 and Ordinance No. 2006-41 remain in full force and effect.

**Section 3 Conflict**

To the extent that the terms of this Ordinance or the terms of the attached Memorandum of Agreement conflict with the terms of Ordinance No. 2008-21 and Ordinance No. 2006-41, and their respective Memorandum of Agreements, the terms of this Ordinance and the attached Memorandum of Agreement shall control.

**Section 4 Severability**

If any section, sentence, clause, phrase or word of this Ordinance is for any reason held, or declared to be unconstitutional, inoperative or void, such holding or invalidity shall not affect the remaining portions of this Ordinance; and it shall be construed to have been the Town Commission's intent to pass this Ordinance without such unconstitutional, invalid or inoperative part therein; and the remainder of this Ordinance, after the exclusion of such part or parts, shall be deemed and held to be valid, as if such parts had not been included herein; or if this Ordinance or any provisions thereof shall be held inapplicable to any person, groups of persons, property, kind of property, circumstances or set of circumstances, such holding shall not affect the applicability thereof to any other person, property or circumstances.

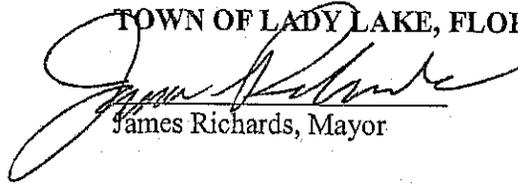
**Section 5 Effective Date**

This Ordinance shall become effective immediately upon its passage by the Town Commission, except as limited by the provisions of Section 171.06, Florida Statutes, as said provisions pertain to newly annexed property and the final adoption of a Comprehensive Plan Amendment by the Town Commission.

PASSED AND ORDAINED this 19th day of December, 2011.

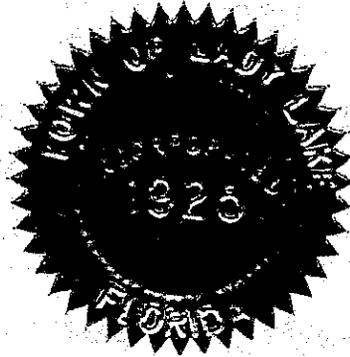
Ordinance No. 2011-28

TOWN OF LADY LAKE, FLORIDA

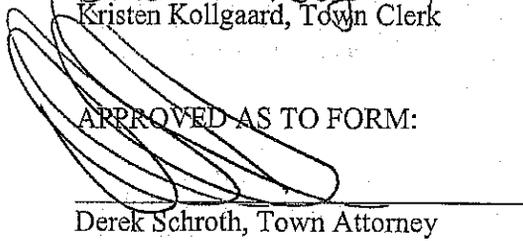
  
James Richards, Mayor

ATTEST:

  
Kristen Kollgaard, Town Clerk



APPROVED AS TO FORM:

  
Derek Schroth, Town Attorney

Passed on First Reading 12-05-11

Passed on Second and Final Reading 12-19-11

Ordinance No. 2011-28

**EXHIBIT "A"**  
**Legal Descriptions and Map**

**Parcel: 18-18-24-00300002000 (Crisbo Holdings, LLC)**

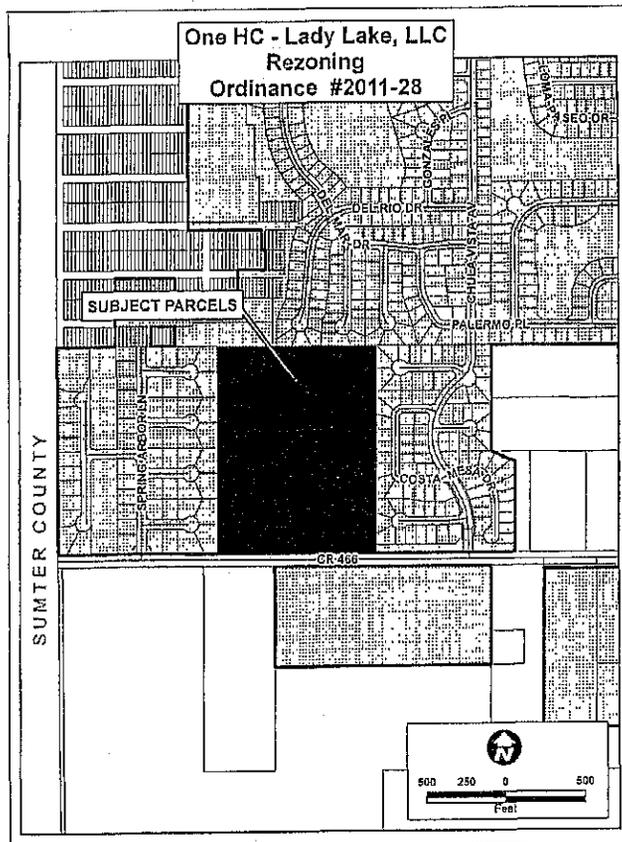
FROM SW COR OF SW 1/2 RUN E'LY ALONG SECTION LINE 1007.15 FT, N 40 FT TO N R/W OF SR 466 & POB, CONT N 1288 FT MORE OR LESS TO S LINE OF ORANGE BLOSSOM HILLS SOUTH UNIT 2 & PT HEREBY DESIGNATED PT A, RETURN TO POB, RUN E'LY ALONG N R/W LINE OF SR 466 A DIST OF 338.5 FT, N 1288 FT MORE OR LESS TO S LINE OF ORANGE BLOSSOM HILLS SOUTH UNIT 2, W'LY TO PT A, ORB 2501 PG 1199

**Parcel: 18-18-24-00300001500 (Crisbo Holdings, LLC)**

FROM S 1/4 COR RUN W'LY ALONG S LINE OF SW 1/4 726.20 FT, N ODEG 23MIN 52SEC W 40 FT TO N R/W OF SR 466 & POB, RUN W'LY ALONG N R/W LINE 338.50 FT, N ODEG 23MIN 52SEC W 1288.28 FT TO S LINE BLK 15 ORANGE BLOSSOM HILLS SOUTH, UNIT 2, E'LY ALONG LINE 338.50 FT TO PT N ODEG 23MIN 52SEC W TO POB, S ODEG 23MIN 52SEC E 1288.10 FT TO POB ORB 1605 PG 1272, ORB 1869 PG 2363

**Parcel: 18-18-24-00300002100 (Rhys Allan Cobb)**

FROM SW COR OF SEC RUN E'LY ALONG SEC LINE 1345.65 FT, N 40 FT TO N R/W OF SR 466 & POB, CONT N 1288 FT TO S LINE OF ORANGE BLOSSOM HILLS SOUTH, UNITS NO 1 & 2, E'LY ALONG SAID S LINE 338.5 FT, S 1288.28 FT TO N R/W OF SR 466, W'LY N R/W 338.5 FT TO POB ORB 859 PG 198



Ordinance No. 2011-28

**EXHIBIT "B"**

**MEMORANDUM OF AGREEMENT**  
**BETWEEN THE TOWN OF LADY LAKE AND**  
**CRISBO HOLDINGS, LLC AND RHYS ALLAN COBB**

This MEMORANDUM OF AGREEMENT ("Agreement") dated this 19<sup>th</sup> day of December, 2011, between the Town of Lady Lake, Florida, a Florida municipal corporation (the "Town"), and CRISBO HOLDINGS, LLC, a Florida limited liability company ("Crisbo") and RHYS ALLAN COBB, individually, and/or his successors or assigns ("Cobb"), (collectively "the Owners").

**RECITALS**

1. CRISBO is the fee simple owner of the real property located in the Town of Lady Lake, Florida, consisting of twenty (20+/-) acres on the north side of County Road 466 more particularly described on Exhibit "A", attached hereto and incorporated herein by this reference (the "Crisbo Property"); and
2. COBB is the fee simple owner of the real property located in the Town of Lady Lake consisting of ten (10+/-) acres on the north side of County Road 466 more particularly described on Exhibit "A", attached hereto and incorporated herein by this reference (the "Cobb Property"); and
3. The Owners are requesting a modification to the existing CP "Planned Commercial" zoning classification ("CP Zoning") previously agreed upon in that certain Memorandum of Agreement dated September 25, 2008, consistent with the Lady Lake Comprehensive Plan and Land Development Code; and
4. The Owners wish to modify the current CP Zoning for both the Crisbo Property and the Cobb Property (collectively "the Property") to allow for up to 415 Independent Living, Assisted Living Facility, and/or Skilled Nursing Facility units ("Units"), as more specifically set forth hereinafter, all as allowed in the Lady Lake Development Code.
5. At this time, the Owners agree to enter into a Memorandum of Agreement pursuant to the provisions of the Town's Land Development Regulations.

**NOW, THEREFORE**, in recognition of the foregoing, the Town, Crisbo and Cobb agree to the following terms and conditions as part of the CP Zoning for the Property:

1. The Owners agree to develop the property in four phases as depicted on the sketch Concept Plan (the "Concept Plan") attached as Exhibit "C" under the CP Zoning to allow uses including:

## Ordinance No. 2011-28

- I. Phase I (as depicted on the Concept Plan attached as Exhibit "C") – one hundred twenty (120) Independent Living and/or Assisted Living Facility Units to be located upon Tract "A" (as depicted on the sketch Tract Plan (the "Tract Plan") attached as Exhibit "D");
  - II. Phase II (as depicted on the Concept Plan attached as Exhibit "C") ninety-five (95) Assisted Living and/or Skilled Nursing Facility Units to be located upon Tract "D" (as depicted on the Tract Plan attached as Exhibit "D");
  - III. Phase III (as depicted on the Concept Plan attached as Exhibit "C") Expansion to Phase I and Phase II for up to one hundred eighty-five (185) additional Independent Living and/or Assisted Living Facility Units, to be located upon Tract "A" and Tract "D" (as depicted on the Tract Plan attached as Exhibit "D");
  - IV. 35,000 square foot medical office, bank or complimentary retail uses to be located upon Tract "B" and Tract "C" (as depicted on the Tract Plan attached as Exhibit "D");
  - V. Phase IV (as depicted on the Concept Plan attached as Exhibit "C") fifteen (15) villa type Assisted Living Facility Units, to be located upon Tract "G" (as depicted on the Tract Plan attached as Exhibit "D");
  - VI. Total units on the Property shall not exceed four hundred fifteen (415) Units. Villa style Assisted Living Facility Units may exceed fifteen (15) provided there is a Unit for Unit reduction in Assisted Living Facility Units in the Phase I and Phase II buildings to be located upon the Tract "A", Tract "D", or Tract "G" buildings or expansions to such buildings. Total villa style Assisted Living Facility Units shall not exceed fifty (50) Units.
2. The Owners agree to develop the Property in compliance with all requirements of the Town of Lady Lake Land Development Code (as amended) pertaining to commercial development of real property.
  3. The Owners agree to enter into a Water and Sewer Utilities Agreement with the Town of Lady Lake for the provision of central water and sewer services to the Property and the Owners shall be responsible for the construction at their expense for all improvements necessary to extend the lines and to connect all water and sewer improvements required in order to accommodate the development of the Property.
  4. The proposed multi-unit Assisted Living Facility and Independent Living Facility shall be located upon Tract "A" at the interior location in the center area thereof as approximately depicted on the Concept Plan attached as

## Ordinance No. 2011-28

- Exhibit "C", and shall not exceed three stories and thirty-five feet in height to the roof level. Parapets and accent elements may extend beyond the thirty-five foot level for the purpose of ornamentation and screening of roof top equipment. Single story villa Assisted Living Facility Units shall surround the multi-unit facility.
5. A setback PVC fence shall be constructed by Owners at the location depicted on the Concept Plan and the Tract Plan, which shall be eight feet in height.
  6. The Owners shall impose restrictive covenants running with the land that prohibit twenty-four (24) hour service commercial uses within Tract "B", provided however that automatic teller machines located within a banking institution shall be allowed to operate on a twenty-four (24) hours per day basis.
  7. The Owners may construct two-story commercial structures on Tract "D". The Owners shall only permit single story commercial construction on Tract "B" and "C".
  8. The setback PVC fence to be located upon the northern boundary of the Property shall be eight feet in height. The Owners shall construct the setback PVC fence upon the time of initial site construction.
  9. The Owners shall create a seventy-five foot (75') setback buffer zone (hereinafter "Buffer Zone") for that portion of the northern boundary line of the Property not included in Tract "E" (as depicted on the Tract Plan attached as Exhibit "D") of seventy feet (70') from the northern boundary line of the Property and five feet (5') from the setback PVC fence. The Owners shall create a continuous, seventy five foot (75') setback Buffer Zone on the western boundary line of the Property five feet (5') from the boundary line and seventy feet (70') from the setback PVC fence. The Owners shall create a twenty-five foot (25') setback Buffer Zone on the eastern boundary line of the Property twenty feet (20') from the boundary line and five feet (5') from the PVC fence.
  10. The Owners shall ensure adequate trees, minimum of twenty feet (20') in height, are retained or are planted within the Buffer Zone on both sides of the setback PVC fence.
  11. The Owners shall impose a restrictive covenant running with the land prohibiting building construction or use of the Buffer Zone for any reason other than lawn, landscape, utilities drainage and/or retention of stormwater or PVC fence maintenance.
  12. The Owners agree to convey, under special warranty deeds with conservation restrictions (individually, the "Deed" and collectively the "Deeds"), the easterly fifty feet (50') of the Property and that portion of the northerly fifty

## Ordinance No. 2011-28

feet (50') of the Property depicted as Tract "E" on the sketch attached as Exhibit "D" (the "Conservation Tract"), to the homeowners adjacent to the eastern boundary line of the Property (individually, the "Adjacent Eastern Lot Owner" and collectively the "Adjacent Eastern Lot Owners") and to the homeowners adjacent to that portion of the northern boundary line of the Property depicted as Tract "E" (individually, an "Adjacent Northern Lot Owner" and collectively the "Adjacent Northern Lot Owners")(Adjacent Eastern Lot Owners and Adjacent Northern Lot Owners, when not referenced specifically, are generally referred to individually as an "Adjacent Lot Owner" and collectively as "Adjacent Lot Owners"). An Adjacent Eastern Lot Owner may take title to that portion of the Conservation Tract that begins at the western property line of the Adjacent Eastern Lot Owner and continuing along the same trajectory as the southern boundary line of the Property, extends to the western property line of the Conservation Tract (the "Eastern Conservation Lot"). An Adjacent Northern Lot Owner may take title to that portion of the Conservation Tract that begins at the southern property line of the Adjacent Northern Lot Owner and continuing along the same trajectory as the western property line of the Property, extends to the southern property line of the Conservation Tract (the "Northern Conservation Lot")(an Eastern Conservation Lot and a Northern Conservation Lot when not referenced specifically, are generally referred to as a "Conservation Lot" or collectively as the "Conservation Lots"). Each Conservation Lot shall be further memorialized by a legal description to be provided at a later date. Once provided, the legal descriptions of the Conservation Lots shall supersede the descriptive language of this provision. If any Adjacent Lot Owners have not accepted a Deed (by written notice to the Owners) prior to the 31<sup>st</sup> day of December 2011, the Owners agree to convey any remaining Conservation Lots (that have not been conveyed and accepted by an Adjacent Lot Owner) to a separately owned Florida limited liability company to be formed (the "Company"), for the benefit of holding any such remaining Conservation Lots. The Adjacent Lot Owners or the Company, as applicable, shall take title to the Conservation Lots subject to a restrictive covenant (in each such Deed) running with the land limiting the use of the Conservation Lots to conservation area purposes only as set forth by the Town. Except as restricted by the Town, nothing in any such restrictive covenant shall prohibit the use of non-permanent structures, including without limitation, gazebos, children's swing sets, and the like, or landscaping features or installed necessary utilities on any Conservation Lot. Additionally, as to those Adjacent Lot Owners who accept their Conservation Lot, the Conservation Lot shall become an appurtenance to the property and thereafter the Conservation Lot shall not be conveyed separately from the respective Adjacent Lot Owner's property. Any such later conveyance in violation of this restriction is void ab initio. Finally, the Conservation Tract (and each Conservation Lot) shall be deemed a conservation area for zoning and real property tax purposes from the date of the recording of the Deed for each such conveyance.

## Ordinance No. 2011-28

13. The Owners shall maintain both the interior and exterior portions of the setback PVC fence.
14. The Owners shall be responsible for and shall comply with all county, state and federal rules and regulations related to the proposed development of the Property.
15. The terms and conditions as set forth in this Memorandum of Agreement shall inure to the benefit of, and shall be legally binding upon any heirs, assigns and successors in title or interest, and shall be subject to each and every condition herein set out. The terms and conditions of this Memorandum of Agreement shall constitute a covenant running with the land and under the terms, conditions and provisions hereof.
16. The Property shall be developed in substantial accordance with an approved site plan incorporating all conditions of this Memorandum of Agreement. Said plans shall be submitted for review and approval of the Technical Review Committee and Town Commission prior to authorization and issuance of a development permit.
17. The drainage and stormwater retention requirements of the Town and the appropriate regulatory agencies shall be met and approved by the Town Consulting Engineer. These areas shall be properly maintained by the Owners.
18. All applicable rules and regulations for development within the Town shall be met, including but not limited to, final site plan approval, landscaping, drainage, parking, sign regulations, and all yard setbacks and shall control over and supersede any other provisions in this Agreement.
19. All lighting for the proposed facilities shall be designed and located such that light and/or glare shall be directed upon the Property only.
20. The Owners shall be responsible for the cost and installation of any required onsite and off-site infrastructure improvements necessitated by impacts of the project (i.e. Concurrency Management), with the exception of sidewalks along County Road 466. However, if the Owners elect to seek site plan approval prior to the commencement of construction improvements to County Road 466, then it shall be the responsibility of the Owners to construct the sidewalks in accordance with the specifications of the County Road 466 construction plans at the Owners expense.
21. Proposed driveways shall be constructed in accordance with the adopted Town of Lady Lake road standards as established in Chapter 15, Transportation Standards section of the Land Development Regulations. All costs associated with design, permitting, engineering, materials, construction and inspections shall be the sole cost of the Owners.

**Ordinance No. 2011-28**

22. This Agreement may only be modified, deleted, or otherwise amended through a written document recorded in the Public Records of Lake County, executed by all owners of the Property and by an authorized representative of the Town. In order for any modification, deletion, or amendment to be effective, said authorized representative on behalf of the Town must be authorized to execute said written modification document at a public meeting by the Lady Lake Town Commission. The public must have an opportunity to be heard at said meeting and two-thirds of the residents adjacent to the Property must have approved the amendments along with a super majority vote of approval by the Lady Lake Town Commission. Minutes from said meeting, the accuracy of which must be attested to by the Town of Lady Lake Clerk, shall be recorded with said documents purporting to modify, delete, or otherwise amend this Agreement. This Agreement shall be legally binding upon any heirs, assigns and successors in title or interest.

**RECORDING.** This Agreement shall be recorded in the Public Records of Lake County, Florida.

**DURATION.** Notwithstanding the provisions herein, all development responsibilities shall be completed within ten (10) years of the effective date hereof. However, this Agreement may be extended beyond this ten (10) year period upon the mutual agreement of the parties hereto or their successors or assigns, subject to a public hearing pursuant to Chapter 163.3229, Florida Statutes.

**DEFAULTS.** In the event of default by any party hereunder, the non-defaulting parties shall have the right to pursue any and all remedies available to them either at law or in the equity, or otherwise.

**BINDING EFFECT.** This Agreement shall be binding upon and inure to the benefit of the Owners and the Town, and their respective successors and assigns. The terms and conditions of this Agreement shall burden, benefit and shall run with title to the Property.

**ENTIRE AGREEMENT.** This Agreement embodies and constitutes the entire understanding of the parties with respect to the subject matters addressed herein, and all prior negotiations, correspondence, conversations, agreements, understandings, representations and statements, oral or written, are incorporated and merged into this Agreement.

**NOTICES.** Any notices which may be permitted or required hereunder shall be in writing and shall be deemed to have been duly given as of the date and time the same are actually received, whether same are personally delivered, transmitted electronically by facsimile or email (i.e., telecopier device with verification receipt capability) or sent by United States Postal Service, postage prepaid by registered or certified mail, return receipt requested, or sent by federal Express or other overnight delivery service from which a receipt may be obtained evidencing the date and time delivery was made, and addressed as follows:

**Ordinance No. 2011-28**

If to Town:

Town of Lady Lake  
409 Fennell Boulevard  
Lady Lake, FL 32159

With a copy to:

Lady Lake Town Attorney  
Derek Schroth, Esquire  
Bowen Radson Schroth, P.A.  
600 Jennings Avenue  
Eustis, FL 32726

If to Owner:

Rhys Allan Cobb  
61 Business Park Boulevard  
Apartment 113  
Columbia, SC 29203-8908

With a copy to:

McLin Burnsed P.A.  
Richard P. Newman, Esquire  
1000 West Main Street  
P.O. Box 491357  
Leesburg, FL 34749-1357  
Telephone: (352) 787-1241  
Facsimile: (352) 326-2608

Crisbo Holdings, LLC  
c/o Donna Boyd  
1304 The Preserve Trail  
Chapel Hill, C 27517

With a copy to:

Gilligan, King, Gooding & Gifford, P.A.  
W. James Gooding, III, Esquire  
1531 SE 36 Avenue  
Ocala, FL 34471  
Telephone: (352) 867-7707  
Facsimile: (352) 620-8884

or to such other address as either party hereto shall from time to time designate to the other party by notice in writing as herein provided.

**GENERAL PROVISIONS.** No failure of either party to exercise any power given hereunder or to insist upon strict compliance with any obligation specified herein, and no custom or practice at variance with the terms hereof, shall constitute a waiver of either party's right to demand exact compliance with the terms hereof. Wherever under the terms and provisions of this Agreement the time for performance falls upon a Saturday, Sunday, or federal banking holiday, such time for performance shall be extended to the next day that is not a Saturday, Sunday or federal banking holiday. The headings inserted at the beginning of each paragraph or subparagraph are for convenience only, and do not add to or subtract from

**Ordinance No. 2011-28**

the meaning of the contents of such paragraph or subparagraph. This Agreement shall be interpreted under the laws of the State of Florida exclusive of choice of law rules. Venue for any action between the parties with respect to the matters addressed by this Agreement shall be Lake County, Florida.

**SEVERABILITY.** This Agreement is intended to be performed in accordance with, and only to the extent permitted by, all applicable laws, ordinances, rules and regulations. If any provision of this Agreement or the application thereof to any person or circumstance shall, for any reason and to any extent, be invalid or enforceable, the remainder of this Agreement and the application of such provision to other persons or circumstances shall not be affected thereby but rather shall be enforced to the greatest extent permitted by law. In the event a state or federal law is enacted after the effective date hereof which is applicable to and precludes a party's compliance with the terms of this Agreement, then this Agreement shall be modified or revoked, as necessary, to comply with the relevant state or federal law.

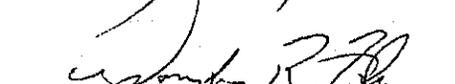
**EXECUTION AND COUNTERPARTS.** To facilitate execution, the parties hereto agree that this Agreement may be executed and telecopied to the other parties and that the executed telecopy shall be binding and enforceable as an original; the parties agree to fully execute three (3) originals of this Agreement. This Agreement may be executed in as many counterparts as may be required and it shall not be necessary that the signature of, or on behalf of, each party or that the signatures of all persons required to bind any party, appear on each counterpart; it shall be sufficient that the signature of, or on behalf of, each party, or that the signatures of the persons required to bind any party, appear on one or more of such counterparts. All counterparts shall collectively constitute a single agreement.

**ASSIGNMENT.** This Agreement may be assigned by RHYS ALLAN COBB or CRISBO HOLDINGS, LLC, to a subsequent owner of the Property provided such subsequent owner agrees to assume all obligations of RHYS ALLAN COBB or CRISBO HOLDINGS, LLC, hereunder.

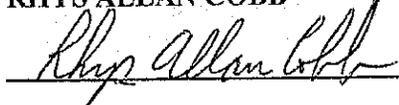
**IN WITNESS WHEREOF,** the parties hereto have executed this Agreement on the date first above written.

Witnesses:

  
Print Name: BEVERLY B. HOLTON

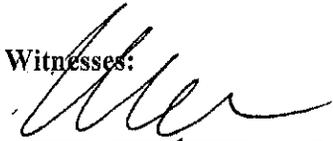
  
Print Name: DOUGLAS R. PERKINS

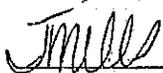
**RHYS ALLAN COBB**



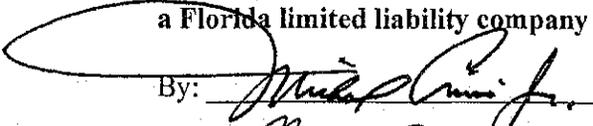
Ordinance No. 2011-28

Witnesses:

  
Print Name: Warren Canyon

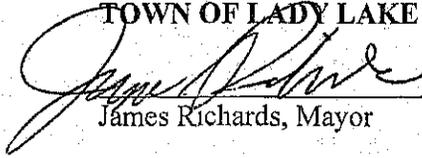
  
Print Name: Jennifer Mills

CRISBO HOLDINGS, LLC  
a Florida limited liability company

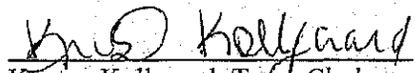
By: 

Name: Michael Crum, Jr.  
Title: Member

TOWN OF LADY LAKE

  
James Richards, Mayor

ATTEST:

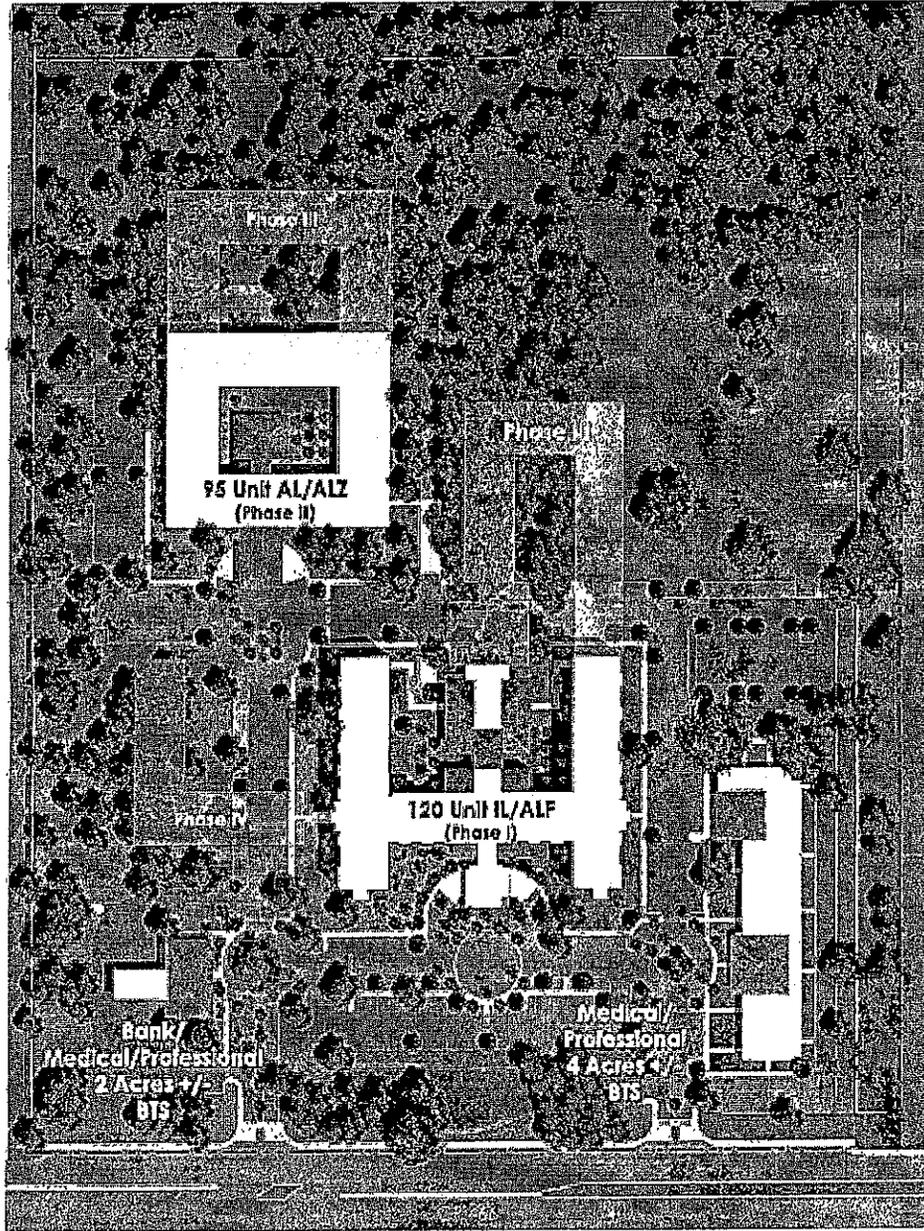
  
Kristen Kollgaard, Town Clerk

APPROVED AS TO FORM:

  
Derek Schroth, Town Attorney

Ordinance No. 2011-28

EXHIBIT "C"



psaldea

HEARTLAND ALF - CONCEPT PLAN  
TOWN OF LADY LAKE, FL

10.01.11

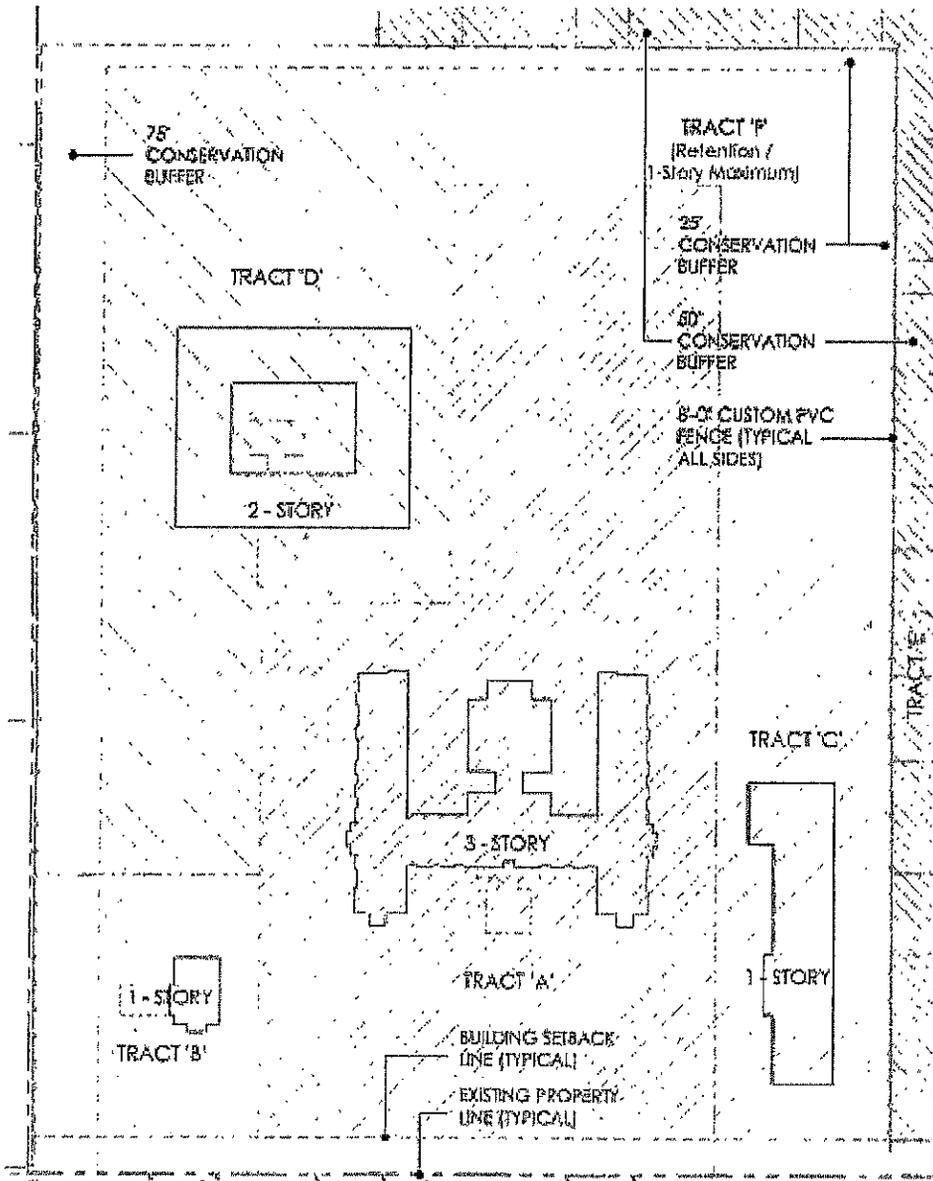


N

10-01-11

Ordinance No. 2011-28

EXHIBIT "D"



DASHED LINE  
 PROPERTY LINE  
 SOLID LINE  
 BUILDING SETBACK LINE  
 8'-0" FENCE LINE

HEARTLAND II - TRACT PLAN  
 TOWN OF LADY LAKE, FL  
 outsidein

10.01.11  
 BUILDING SHAPES ARE  
 APPROXIMATE





outsidein  
copyright © 2012, outsidein architecture, llc

CONCEPT RENDERING  
PROPOSED:  
4-5 COLOR EXTERIOR (OR SIMILAR)

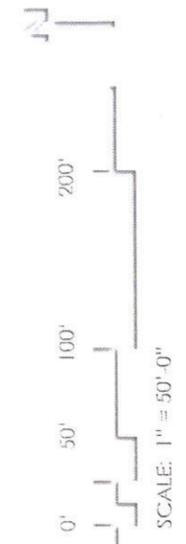
LUMEN PARK - LADY LAKE  
TOWN OF LADY LAKE, FL

04.13.15

outsidein  
architecture llc  
17000 SW 10th St  
Miami, FL 33155  
305.444.1111



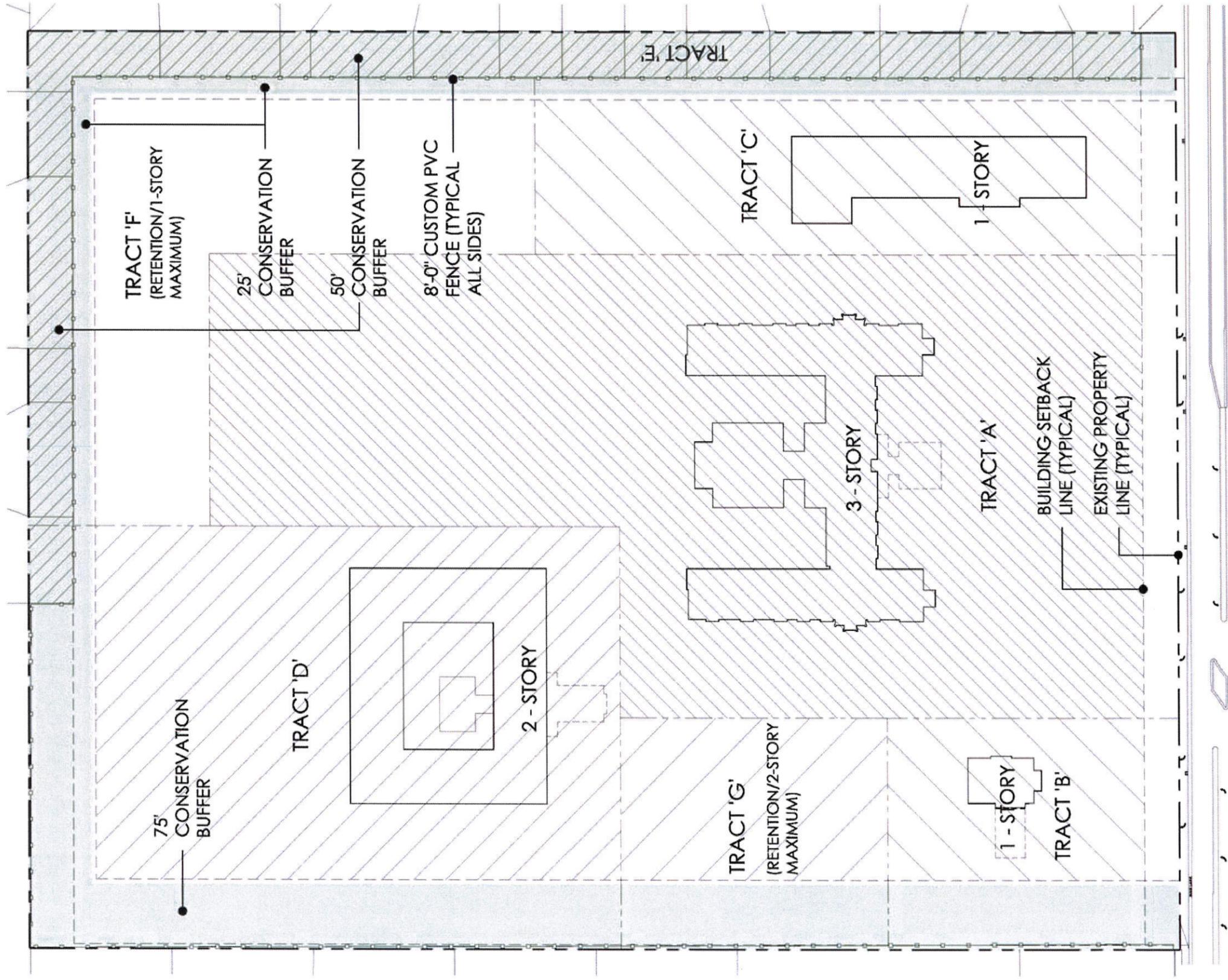
LEED AP  
 outsidein  
 architecture llc



LUMEN PARK - LADY LAKE | LANDSCAPE PLAN |  
 TOWN OF LADY LAKE, FLORIDA

04.13.15

Exhibit 'D'



**TRACT PLAN**  
**TOWN OF LADY LAKE, FL**  
outsidein  
PLANNING & ARCHITECTURE

LEGEND  
PROPERTY LINE  
BUILDING SETBACK LINE  
8'-0" FENCE LINE

0 50' 100' 200'

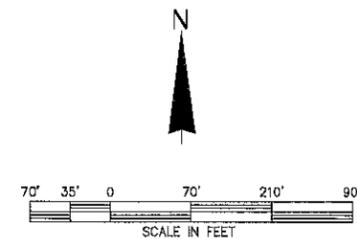
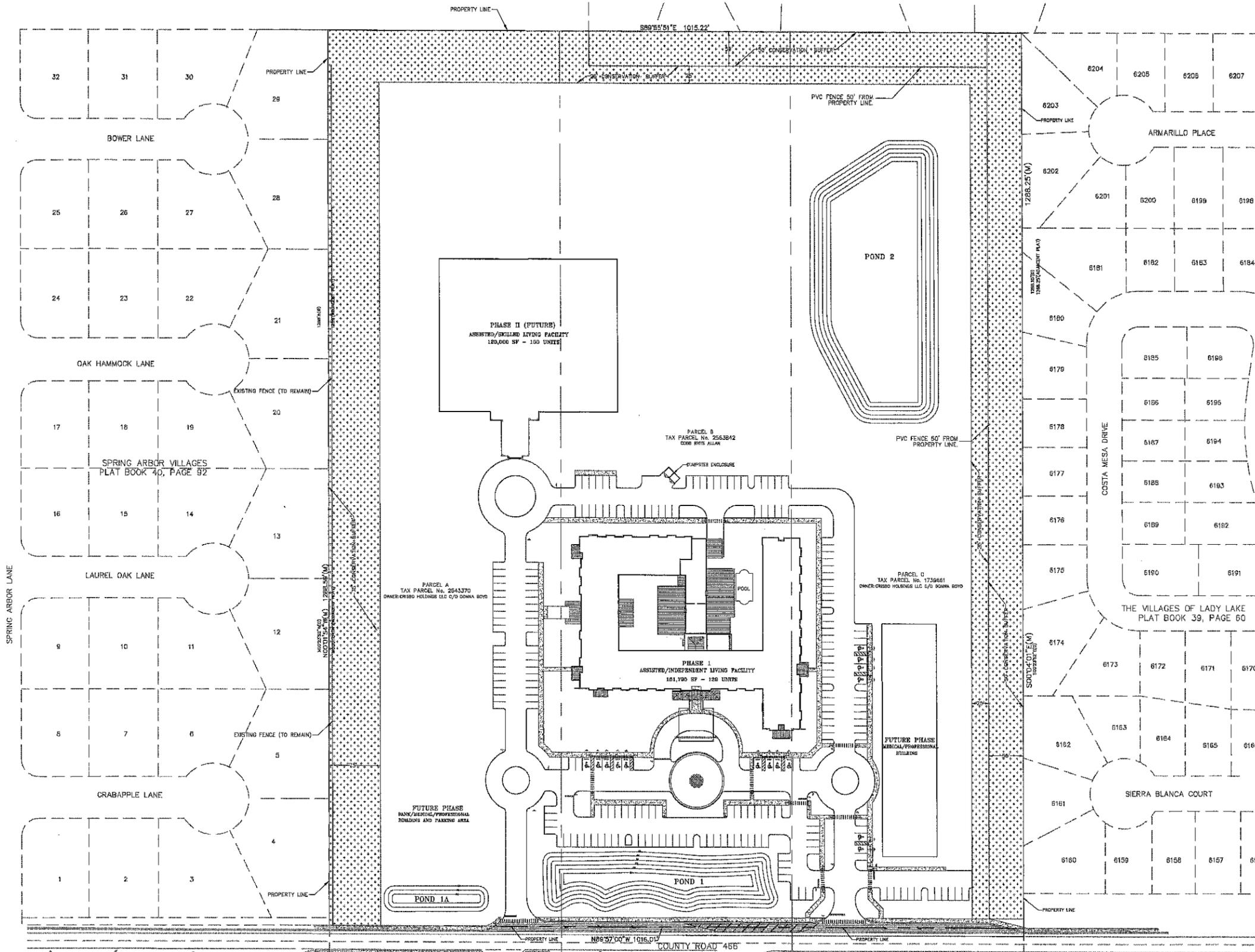
SCALE: 1" = 100'-0"

QA#11-001

N

BUILDING SHAPES ARE APPROXIMATE

CONCEPT PLAN  
NOT FOR CONSTRUCTION  
04-13-15



SITE DATA TABLE

- SITE AREA: = 30.00 ACRES
- SITE LOCATION:  
SECTION 3, TOWNSHIP 38S, RANGE 41E  
PARCEL #: 18-18-24-00300001500  
18-18-24-00300002000  
18-18-24-00300002100
- PROPERTY DESCRIPTION  
CURRENT CONDITION: UNDEVELOPED
- BUILDING SETBACK (PROVIDED)  

PHASE 1 BUILDING	
FRONT SETBACK =	276.06'
REAR SETBACK =	725.67'
SIDE SETBACK (WEST) =	365.20'
SIDE SETBACK (EAST) =	324.13'
PHASE 2 BUILDING	
FRONT SETBACK =	672.7'
REAR SETBACK =	329.4'
SIDE SETBACK (WEST) =	161.7'
SIDE SETBACK (EAST) =	593.6'

DATE	
REVISIONS	
No.	
<b>CONCEPT SITE PLAN</b>	
<b>LUMEN PARK AT LADY LAKE</b>	
PROJECT # 66332015 LADY LAKE, FLORIDA	
<p>Germana Engineering and Associates, LLC          © COPYRIGHT 2015          1120 W. MINNEOLA AVENUE, CLEFELMONT, FL 34711          PHONE: (352) 242-8329          WWW.GERMANAENGINEERING.COM          CERTIFICATE OF AUTHORIZATION: 28279</p>	
PRELIMINARY NOT FOR CONSTRUCTION	
CHRISTOPHER M. GERMANA, P.E. FLORIDA PROFESSIONAL #: 61662	
SCALE 1"=70'	
DATE 04/13/15	
SHEET	
CP-1	

CONCEPT PLAN  
NOT FOR CONSTRUCTION  
04-13-15