

REGULAR PLANNING AND ZONING BOARD MEETING

Date: Monday, June 8, 2015
Time: 5:30 p.m.
Place: Town Hall Commission Chambers
409 Fennell Blvd., Lady Lake

ALL INTERESTED PERSONS ARE CORDIALLY INVITED TO ATTEND THIS PUBLIC MEETING

AGENDA

CALL TO ORDER: John Gauder, Chairperson

PLEDGE OF ALLEGIANCE

ROLL CALL

OPEN FORUM

NEW BUSINESS:

1. **Approval of Minutes** – April 13, 2015 Meeting
2. **Ordinance No. 2015-05** – Sawmill Holdings, LLC – Large Scale Future Land Use Amendment Application to Change Future Land Use from Single Family Medium Density (SF-MD) to Commercial Tourist (CT) to Establish an RV Park Facility – Located at 3105 Hartsock Sawmill Road, Approximately 1,500 Ft. East of Highway 27/441 (Wendy Then)
3. **Ordinance No. 2015-06** – Sawmill Holdings, LLC – Rezoning Application to Change Future Land Use from Single Family Medium Density (RS-6) to Commercial Tourist (CT) to Establish an RV Park Facility – Located at 3105 Hartsock Sawmill Road, Approximately 1,500 Ft. East of Highway 27/441 (Wendy Then)
4. **Preliminary Plat** – Green Key Villages Phase II Partial Replat – Subdivision Recreation Center for the Green Key Village Single Family Residence Subdivision Proposing an 1,800 Sq. Ft. Pickle Ball Court, a 7,200 Sq. Ft. Tennis Court, a 2,350 Sq. Ft. Half Basketball Court, an 8,906 Sq. Ft. Area for a Subdivision Community Pool with Concrete Deck and Two Pavilions (480 Sq. Ft. Each) – Located at 1257 Fiesta Key Circle (Wendy Then)

CHAIRPERSON/MEMBERS' REPORT

ADJOURN

NOTE: THIS BOARD IS ADVISORY; ALL RECOMMENDATIONS ARE FORWARDED TO THE TOWN COMMISSION.

This public hearing is being conducted in a handicapped accessible location. Any handicapped person requiring an interpreter for the hearing impaired or the visually impaired should contact the Clerk's Office at least five (5) calendar days prior to the meeting and an interpreter will be provided. To access a Telecommunication Device for Deaf Persons (TDD), please call (352) 751-1565. Any handicapped person requiring special accommodation at this meeting should contact the Clerk's Office at least five (5) calendar days prior to the meeting. Advice to the Public: If a person decides to appeal a decision made with respect to any matter considered at the above meeting or hearing, he may need a verbatim record of the proceedings including the testimony and evidence, a record of which is not provided by the Town of Lady Lake. (F.S. 286-0105) Please be advised that one or more members of any other Town Board or Committee may be in attendance of this meeting.

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**MINUTES OF THE TOWN OF LADY LAKE
REGULAR PLANNING AND ZONING BOARD MEETING
LADY LAKE, FLORIDA**

1

April 13, 2015
5:30 p.m.

The Planning and Zoning Board Meeting was held in the Town Hall Commission Chambers, 409 Fennell Blvd., Lady Lake, Florida.

CALL TO ORDER: John Gauder, Chairperson

PLEDGE OF ALLEGIANCE: John Gauder, Chairperson

ROLL CALL Gil Pierson, Member
 Mike McKenzie, Member
 Alfred Monteleone, Member
 John Gauder, Chairperson

Members Absent: William Sigurdson, Vice Chairperson/Member

STAFF MEMBERS PRESENT: Thad Carroll, Growth Management Director; Wendy Then, Town Planner; Kris Kollgaard, Town Manager; and Julia Wolfe, Staff Assistant to Town Clerk

Also Present: Attorney Todd Mazenko, BRS Legal; Mayor Ruth Kussard; and Commissioner Paul Hannan

OPEN FORUM:

Chairperson Gauder asked if anyone in the audience had any comments or questions. There were no comments or questions.

NEW BUSINESS:

1. Approval of Minutes – February 9, 2015 Regular Meeting

Upon a motion by Member McKenzie and a second by Member Monteleone, the Planning and Zoning Board approved the minutes of the Planning and Zoning Board Meeting of February 9, 2015 as presented by a vote of 4-0.

2. Ordinance No. 2015-02 – Phillip and Donna Willman Center – Rezoning/CP MOA Amendment to Add the Motor Vehicle, Recreational Vehicle or Boat Storage Land Use and Set Up an RV Storage Facility on Property Identified Under Alternate Key #2830476 and #3539605 – Located Along County Road 25, North of Allstar Commerce (Wendy Then)

Wendy Then, Town Planner, presented the background summary for this agenda item (on file in the Clerk's Office). She stated the applicant, James Senatore, has submitted an application on behalf of property owners Phillip A. and Donna D. Willman for property located along County Road 25, north of the Allstar Commerce Center, approximately 440 lineal feet south of the intersection of County Road 25 and Griffin Avenue. The property includes approximately 2.67 ± acres (referenced

1 by alternate key numbers 2830476 and 3539605 respectively) currently in the Town of Lady Lake.
 2 The applicant has filed the following application for this property:

- 3
- 4 • Rezoning of 2.67 ± acres from Lady Lake CP (Planned Commercial), to Lady Lake CP (Planned
 5 Commercial) to change the language of the Memorandum of Agreement (MOA) to include new
 6 permitted uses and to establish new terms regarding landscaping buffers, new buildings,
 7 fencing, parking spaces, and hour of operation.

8
 9 Ms. Then stated the subject property is currently home to Water Wizard Irrigation. Pursuant to the
 10 provisions of the Town of Lady Lake Land Development Regulations, the applicant is requesting to
 11 use the property primarily as a RV storage facility consisting of approximately 70 RV spaces with a
 12 typical dimension of 14'x56'. As part of the application, the applicant has provided the new
 13 Memorandum of Agreement (MOA) Ordinance terms (Exhibit "B") and Bubble Plan (Exhibit "C")
 14 showing the new proposed building, retention pond area, parking area, landscaping buffers and
 15 fence detail, and gate. For safety, security purposes, and in accordance with the land use, the
 16 applicant will be proposing a gate at the entrance and opaque fencing along the perimeter of the
 17 property to secure the RV storage facility.

18
 19 Aerial views of the property and photos of the property and postings were shown.

20
 21 The application has been reviewed and determined to be complete. The applicant has submitted all
 22 appropriate material in compliance with the Land Development Regulations (LDRs) and they are
 23 ready for transmittal to the Planning and Zoning Board.

24
 25 Ms. Then reviewed the main changes to the ordinance as listed below:

- 26
- 27 • Under permitted uses motor vehicles, recreational vehicles, or boat storage facilities.
- 28 • Hours of operation 8:00 am – 5:00 pm, with unattended 24 hour access to the facilities. Access
 29 shall be with coded key pad and automatic horizontal sliding gate.
- 30 • Buffer Class "B" - Owner shall install solid PVC fencing along CR 25 and first 200' along north
 31 and south property lines then chain link fencing with PVC slats for the remaining property lines.
 32 Existing trees located within buffer shall take the place of required trees with proper approvals.
- 33 • Signage- Owner will erect ground mounted sign to meet design standards. Final design and
 34 layout shall be submitted for proper approvals.
- 35 • Improvement to Oxford Avenue has been removed because it is a County road. Town staff has
 36 submitted the information to Lake County for them to provide the proper comments.

37
 38 The Future Land Use and Zoning designations of the adjacent properties are as follows:

39
 40 **Future Land Use**

Subject Property	Lady Lake – General Commercial Retail Sales & Services (RET)
Future Land Use of Adjacent Properties	
West	Lady Lake- Commercial General-Retail and Sales Services (RET)
East	Lake County- Urban Low Density
North	Lady Lake- Commercial General-Retail and Sales Services (RET) Lake County- Urban Low Density Lady Lake- Single Family Low Density
South	Lake County-Urban Low Density

1
2 The subject property lies in Section 08, Township 18, Range 24, in Lady Lake, Florida. The
3 property is zoned "CP" Planned Commercial and the current Future Land Use Designation of the
4 subject property (2.67 ± acres) Lady Lake Commercial General – Retail Sales & Services (RET) is
5 compatible with the requested commercial uses. Therefore, the applicant is not requesting any
6 changes regarding the future land use designation with this application.

7
8 **Zoning**

9

Subject Property	Lady Lake – Planned Commercial (CP)
Zoning of Adjacent Properties	
West	Lady Lake-Light Commercial (LC)
East	Lake County- R1
North	Lady Lake-Light Commercial (LC) Lake County-R1 Lady Lake- RS-3
South	Lake County-R1

10
11 Comments for this application are as follows:

- 12
13 1) Permitted Uses and restrictions of the property will be governed by the attached Memorandum
14 of Agreement, superseding all uses and prohibitions as stated in the Memorandum of Agreement
15 of Ordinance No. 2004-16 executed on November 1, 2004, as recorded in ORB. 2705 PGS.
16 0141-147.
17
18 2) Should the amendment to the Memorandum of Agreement be approved, the applicant will be
19 required to submit a site plan application to develop the site.
20
21 3) Applicant will be seeking connection to the Town's potable water supply, central sewer system,
22 as well as the Town's reclaimed water system for irrigation. Sufficient capacity exists for all
23 utilities.
24

25 Ms. Then reported that notices to inform the surrounding property owners (3) within 150' of the
26 property of the proposed Rezoning-CP MOA Amendment were mailed by certified mail return
27 receipt on Monday, March 30, 2015. The property was posted on Wednesday, April 1, 2015. To
28 date, three certified mail receipts have been returned, and there have been no objections or letters of
29 support regarding the application to date.

30
31 Ms. Then stated the application materials were circulated to members of the Technical Review
32 Committee (TRC) on Tuesday, April 7, 2015. No comments were forwarded that would prohibit
33 advancement of the application to the Planning and Zoning Board. She stated the Town
34 Commission is tentatively scheduled to hear Ordinance No. 2015-02 for first reading at their regular
35 meeting on Monday, May 18, 2015 at 6 p.m., and for second/final reading at the regular meeting to
36 be held on Monday, June 1, 2015 at 6 p.m.

37
38 Ms. Then stated the applicant was present to answer any questions.

39
40 Member Monteleone asked if the two cows and the baby calf would be relocated.

41
42 Phillip Willman, property owner, replied that he would probably move the cows to his home.

1 Chairperson Gauder asked if there was anyone in the audience who wished to speak on this matter.
2 There was no one.

3
4 *Upon a motion by Member Monteleone, and a second by Member McKenzie, the Planning and*
5 *Zoning Board recommended transmittal and approval of Ordinance No. 2015-02 to the Town*
6 *Commission for consideration by the following roll call vote:*

7		
8	<i>MCKENZIE</i>	<i>YES</i>
9	<i>MONTELEONE</i>	<i>YES</i>
10	<i>PIERSON</i>	<i>YES</i>
11	<i>GAUDER</i>	<i>YES</i>

12
13 **3. Resolution No. 2015-102 – Paramount Urgent Care, Inc., JD Orias Novis Partnership**
14 **Company LLC, and TWVH LLC for the Sunset Professional Plaza – Variance Request**
15 **Pursuant to Chapter 17, Section 4.b.2.E. to Allow Secondary Wall Signs to be Placed on the**
16 **South Elevation of Buildings “A” and “B” Located within the Sunset Professional Plaza**
17 **Which Do Not Have a Public Entrance, Addressed as 801 and 805 Highway 466 (Wendy**
18 **Then)**

19
20 Wendy Then, Town Planner, presented the background summary for this agenda item (on file in the
21 Clerk’s Office). She stated that on March 5, 2015, Town staff received a variance application for
22 secondary wall signage along the façade of two buildings facing Highway 466. The applicant, Jay
23 Berry with Berry’s Signs, has filed the variance application for the Sunset Professional Plaza on
24 behalf of owners Paramount Urgent Care, Inc., JD Orias Novis Partnership Company LLC, and
25 TWVH LLC, for properties addressed as 801 through 805 Highway 466. She stated the variance
26 request has been made pursuant to the provisions of Chapter 17, Section 4.b.2.E., of the Town of
27 Lady Lake Land Development Regulations which only allows wall signs to be placed on the main
28 façade of the business.

29
30 Aerial views of the property and photos of the property and postings were shown.

31
32 Ms. Then stated a Justification Statement has been submitted as required of this application. She
33 stated the applicant has stated that having the channel letter signs on the additional wall could help
34 many businesses and offices in the plaza since the signs could attract drivers from Highway 466
35 who would not see the businesses otherwise. Additionally, the applicant insisted that due to the
36 building design, there is no public entrance on Highway 466, which limits the wall signage
37 placement in accordance to the current sign code.

38
39 When reviewing an application for a variance, the Planning and Zoning Board and the Town
40 Commission shall consider the following requirements and criteria according to Chapter 3, Section
41 14 f) – Review criteria for variances in the Land Development Regulations:

- 42
43 1. No diminution in value of surrounding properties would be suffered.
44 2. Granting the permit would be of benefit to the public interest.
45 3. Denial of the permit would result in unnecessary hardship to the owner seeking it.
46 4. The use must not be contrary to the spirit of this Code.
47 5. Financial disadvantages and/or inconveniences to the applicant shall not of themselves
48 constitute conclusive evidence of unnecessary and undue hardship and be grounds to justify
49 granting of a variance.
50 6. Physical hardships such as disabilities of any applicant may be considered grounds to justify
51 granting of a variance at the discretion of the Town Commission.

1 The subject property lies in Section 18, Township 18, Range 24, in Lady Lake, Florida. The
2 property is zoned "RP" Residential Professional, which permits the development in existence. The
3 Future Land Use Map designation for the site is PS (Professional Services). The requested use is
4 consistent with the directives of the Comprehensive Plan and adopted Land Development
5 Regulations.

6
7 Ms. Then stated that notices to inform the surrounding property owners (8) within 150' of the
8 subject property of the proposed variance were mailed by certified mail return receipt on Monday,
9 May 30, 2015. In addition, the property was posted on Wednesday, April 1, 2015. She reported
10 that of the eight notices sent out, five return receipts were received back, and there have been no
11 objections or letters of support regarding the application to date.

12
13 Ms. Then stated the Technical Review Committee (TRC) members individually reviewed the
14 application for Resolution No. 2015-104 and provided comments on April 6, 2015. It was
15 determined that the application was complete and ready for transmittal to the Planning and Zoning
16 Board and the Town Commission. The Town Commission will review the application for
17 Resolution No. 2015-102 for final consideration at its regular meeting on Monday, April 20, 2015 at
18 6:00 p.m.

19
20 Ms. Then stated the applicant was present to answer any questions.

21
22 Chairperson Gauder commented that with all the traffic on Highway 466, he would hate to see more
23 signs, but he realizes that businesses must have people coming in and they need to know where to
24 go. He asked if there was anyone in the audience who wished to speak on this matter. There was
25 no one.

26
27 *Upon a motion by Member McKenzie, and a second by Member Monteleone, the Planning and*
28 *Zoning Board recommended transmittal and approval of Resolution No. 2015-102 to the Town*
29 *Commission for consideration by the following roll call vote:*

MCKENZIE	YES
MONTELEONE	YES
PIERSON	YES
GAUDER	YES

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36 **4. Resolution No. 2015-103 – Benchmark Lady Lake 25 Associates, LLC for the Texas**
37 **Roadhouse Restaurant – Variance Request Pursuant to Chapter 17, Section 17-3).e).1).A). to**
38 **Allow a Freestanding Sign to be Erected 64 feet from the Closest Freestanding Sign on the**
39 **Property Owned by Benchmark Lady Lake 25 Associates, LLC – Located at 745 North Hwy**
40 **27/441 (Wendy Then)**

41
42 Wendy Then, Town Planner, presented the background summary for this agenda item (on file in the
43 Clerk's Office). She stated the applicant, Martin J. DelleBovi, submitted a variance application on
44 behalf of property owner Benchmark Lady Lake 25 Associates, LLC, pursuant to the provisions of
45 Chapter 17, Section 17-3).e).1).A) of the Town of Lady Lake Land Development Regulations which
46 requires that no freestanding sign shall be erected closer than 100 feet from any other freestanding
47 sign. The variance request is to allow a freestanding sign to be erected 64 feet from the closest
48 freestanding sign on the property owned by Benchmark Lady Lake 25 Associates, LLC, located at
49 745 North Hwy 27/441 and identified by alternate key #3861958. The proposed monument sign is
50 designed to be approximately 8' high with a minimum five foot setback along North Highway
51 27/441, which meets sign code requirements.

1 Aerial views of the property and photos of the property and postings were shown.

2
3 Ms. Then stated that a Justification Statement has been submitted as required of the application.
4 She stated the site will be home to the Texas Roadhouse, a 7,163 sq. ft. high turnover (sit-down)
5 restaurant proposing 281 seats. The applicant has stated that, as the restaurant is proposed to be
6 constructed on an outparcel, the applicant has indicated that the proposed monument location is the
7 best location for the sign to direct the public to restaurant's entrance. She stated that adding the
8 monument sign has been part of the improvement plans for the site to make it fully operational and
9 attractive, as well as provide the driver good directions with time to make the turn into the property
10 safely. Ms. Then stated the applicant feels that a 64 ft. separation still accomplishes the spirit of the
11 Code to the best extent practicable given the restaurant land use. Lastly, the applicant pointed out
12 that the amount of signage out there is minimal in proportion to the retail space in place. In
13 selecting the location of the sign, the applicant considered what best suits the design of the frontage
14 without causing clutter or blockage to any viewing corridor.

15
16 When reviewing an application for a variance, the Planning and Zoning Board and the Town
17 Commission shall consider the following requirements and criteria according to Chapter 3, Section
18 14 f) – Review criteria for variances in the Land Development Regulations:

- 19
- 20 1. No diminution in value of surrounding properties would be suffered.
- 21 2. Granting the permit would be of benefit to the public interest.
- 22 3. Denial of the permit would result in unnecessary hardship to the owner seeking it.
- 23 4. The use must not be contrary to the spirit of this Code.
- 24 5. Financial disadvantages and/or inconveniences to the applicant shall not of themselves
25 constitute conclusive evidence of unnecessary and undue hardship and be grounds to justify
26 granting of a variance.
- 27 6. Physical hardships such as disabilities of any applicant may be considered grounds to justify
28 granting of a variance at the discretion of the Town Commission.
- 29

30 The subject property lies in Section 08, Township 18, Range 24, in Lady Lake, Florida. The Future
31 Land Use Map designation for the site is Commercial General-Retail Sales & Services (RET) and is
32 zoned Heavy Commercial (HC). The application is complete and ready to be transmitted to the
33 Planning and Zoning Board for their recommendation.

34
35 Ms. Then reported notices to inform the surrounding property owners (2) within 150' of the subject
36 property of the proposed variance were mailed by certified mail return receipt on Monday, March
37 30, 2015. The property was posted on Wednesday, April 1, 2015. She reported that of the two
38 notices sent out, two return receipts were received back, and there have been no objections or letters
39 of support regarding the application to date.

40
41 Ms. Then stated the application materials were circulated to members of the Technical Review
42 Committee (TRC) on Tuesday, April 7, 2015. No comments were forwarded that would prohibit
43 advancement of the application to the Planning and Zoning Board. She stated the Town
44 Commission is tentatively scheduled to hear Resolution No. 2015-103 at their regular meeting on
45 Monday, April 20, 2015 at 6 p.m.

46
47 Ms. Then stated the applicant was present to answer any questions.

48
49 Member Pierson asked if the sign was going to be at the turn-in between the existing Sam's sign.

1 Ms. Then replied that the sign has a minimum setback and it has to meet the visibility triangle as
2 you turn into the site.

3
4 Member Pierson clarified that the Sam's monument sign is on the other side of the street and asked
5 if a sign was going to be on each side of the street.

6
7 Ms. Then replied that was correct.

8
9 Member Pierson stated that is a two way street and asked if the sign would block the visibility for
10 people coming northbound on Hwy. 441. He asked if there would be a turn lane coming out of the
11 site. He stated he is concerned that there are monument signs on each side of the street and if
12 someone will have ample time to turn when they see the Texas Roadhouse sign.

13
14 Ms. Then replied there is a deceleration lane. She stated that at the time the site plan comes in for
15 building review and approval, those visibility triangle considerations are put into place. She stated
16 the Building Official insures the visibility triangle is met during the building review process.

17
18 Martin DelleBovi of the Benchmark Group stated the variance they are looking at is for the distance
19 from the Sam's sign. He stated they had to meet the requirement of the triangle so the visibility
20 coming off the frontage road is not impaired. He stated when they did the Sam's development, they
21 went with a low profile small monument sign instead of a pylon. Mr. DelleBovi stated the sign will
22 be on this side of the access road directing the traffic to come in to the access road for the
23 restaurant. He stated the sign has to meet the requirement so it does not block traffic coming
24 northbound on Highway 27/441 and it does meet that; except that it does it within 67 ft. of the
25 Sam's monument sign.

26
27 Member Pierson stated that was his only concern and it is fortunate that there is a light close to it so
28 people will probably be going slowly, but if someone is in the left hand lane and wants to turn in
29 there because they just saw the sign, it could be a little bit of an issue.

30
31 Member Monteleone stated that he believes when you come out of the entrance of Sam's to
32 Highway 27/441, it is just a right hand turn. He asked if the entrance to the restaurant will be
33 coming off of Highway 27/441 or the access road into Sam's.

34
35 Mr. DelleBovi replied that the entrance will be off the access road from Sam's. He stated if
36 someone were to want to come out of Sam's or the restaurant, they would go to the traffic light
37 because the access road is a right in, right out, and you cannot come out of there and make a left
38 onto Highway 27/441.

39
40 Member Pierson asked if that was from the Texas Roadhouse.

41
42 Mr. DelleBovi replied that you can only turn right from the access drive onto US Hwy 27/441, but
43 that you can go to the traffic light and make a left. He stated they are not altering any traffic
44 patterns. Mr. DelleBovi stated that the sign code that was in place when they put up the monument
45 sign for Sam's did not have a required distance between monument signs, but the new code does.
46 He stated the best location for the new sign happens to be within 67 ft. of the Sam's sign.

47
48 Chairperson Gauder asked if there was anyone in the audience who wished to speak on this matter.
49 There was no one.

1 *Upon a motion by Member Monteleone, and a second by Member McKenzie, the Planning and*
2 *Zoning Board recommended transmittal and approval of Resolution No. 2015-103 to the Town*
3 *Commission for consideration by the following roll call vote:*

4
5 *MCKENZIE YES*
6 *MONTELEONE YES*
7 *PIERSON YES*
8 *GAUDER YES*
9

10 **5. Resolution No. 2015-104 – SRK Lady Lake 43 Associates, LLC for Ulta Beauty –**
11 **Variance Request Pursuant to Chapter 17, Section 4.b.2.E. to Allow a Secondary Wall Sign**
12 **to be Placed on the Elevation Facing Fennell Blvd. of Retail Tenant Space 2 – Located within**
13 **the Lady Lake Crossing Plaza, Which Does Not Have a Public Entrance, Addressed as 460**
14 **North Highway 27/441 (Wendy Then)**

15
16 Wendy Then, Town Planner, presented the background summary for this agenda item (on file in the
17 Clerk’s Office). She stated that on March 17, 2015, Town staff received a variance application for
18 secondary wall signage to be placed on the elevation facing Fennell Blvd. of retail tenant space 2
19 located within the Lady Lake Crossing Plaza. The applicant, Martin J. DelleBovi with SRK Lady
20 Lake 43 Associates, has filed the variance application for Ulta Beauty to be located at the Lady
21 Lake Crossing Plaza for property addressed as 460 North Highway 27/441. The variance request
22 has been made pursuant to the provisions of Chapter 17, Section 4.b.2.E., of the Town of Lady Lake
23 Land Development Regulations which only allows wall signs to be placed on the main façade of the
24 business.

25
26 Aerial views of the property and photos of the property and postings were shown.

27
28 As required of this application, a Justification Statement has been submitted. The applicant stated
29 that having the channel letter signs on this elevation will assist the public and other retail stores by
30 identifying its location from the south to the north. Additionally, the applicant indicated that drivers
31 coming south to north on Fennell Blvd. would be better directed to the store and the center. Lastly,
32 the applicant feels that since Ulta Beauty is a middle tenant, potential customers may pass by not
33 finding the location and they could lose business.

34
35 When reviewing an application for a variance, the Planning and Zoning Board and the Town
36 Commission shall consider the following requirements and criteria according to Chapter 3, Section
37 14 f) – Review criteria for variances in the Land Development Regulations:

- 38
39 1. No diminution in value of surrounding properties would be suffered.
40 2. Granting the permit would be of benefit to the public interest.
41 3. Denial of the permit would result in unnecessary hardship to the owner seeking it.
42 4. The use must not be contrary to the spirit of this Code.
43 5. Financial disadvantages and/or inconveniences to the applicant shall not of
44 themselves constitute conclusive evidence of unnecessary and undue hardship and be
45 grounds to justify granting of a variance.
46 6. Physical hardships such as disabilities of any applicant may be considered grounds to
47 justify granting of a variance at the discretion of the Town Commission.
48

49 The subject property lies in Section 08, Township 18, Range 24, in Lady Lake, Florida. The
50 property is zoned Planned Commercial (CP), which permits the development in existence. The
51 Future Land Use Map designation for the site is RET (Commercial General-Retail Sales and

1 Services). The requested use is consistent with the adopted Memorandum of Agreement Ordinance
2 No. 2006-04 for the Lady Lake Crossing Plaza and the directives of the Comprehensive Plan and
3 adopted Land Development Regulations.

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5 Ms. Then stated that notices to inform the surrounding property owners (3) within 150' of the
6 subject property of the proposed variance were mailed by certified mail return receipt on Monday,
7 May 30, 2015. In addition, the property was posted on Wednesday, April 1, 2015. She reported
8 that of the three notices sent out, two return receipts were received back, and there have been no
9 objections or letters of support regarding the application to date.

10
11 The Technical Review Committee (TRC) members individually reviewed the application for
12 Resolution No. 2015-104 and provided comments on April 6, 2015 that determined the application
13 complete and ready for transmittal to the Planning and Zoning Board and the Town Commission.
14 The Town Commission will review the application for Resolution No. 2015-104 for final
15 consideration at its regular meeting on Monday, April 20, 2015 at 6:00 p.m.

16
17 Ms. Then stated the applicant was present to answer any questions.

18
19 Member Pierson asked where the sign would be on the building after it is built.

20
21 Ms. Then replied the sign will be on the back of the building facing Fennell Blvd., by the retention
22 pond.

23
24 Member Monteleone stated the parcel of land is quite large. He asked if that would be the only
25 building out there or if there will be other buildings that may request sign variances that will come
26 before the Board.

27
28 Ms. Then replied the Planning and Zoning Board does not review site plans. She stated the Town
29 Commission just approved a site plan for this development which consists of 52,000 sq. ft. of retail
30 space; 32,000 sq. ft. will be for Stein-Mart, the middle space is for Ulta Beauty, and then the
31 remainder. She stated Town staff has done the landscaping plan and the building plan, and unless
32 the applicant comes back with a development change which has to be approved by the Town
33 Commission, there will be one big building with three tenants.

34
35 Chairperson Gauder asked if there was anyone in the audience who wished to speak on this matter.
36 There was no one.

37
38 *Upon a motion by Member Pierson, and a second by Member McKenzie, the Planning and*
39 *Zoning Board recommended transmittal and approval of Resolution No. 2015-104 to the Town*
40 *Commission for consideration by the following roll call vote:*

41
42 *MCKENZIE YES*
43 *MONTELEONE YES*
44 *PIERSON YES*
45 *GAUDER YES*

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47 **CHAIRPERSON/MEMBERS' REPORT:**

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49 There were no comments or reports.

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51 **ADJOURN:**

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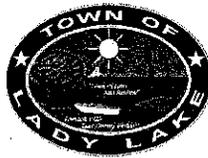
With nothing further to discuss, the meeting was adjourned at 6:08 p.m.

Julia Wolfe, Staff Assistant to Town Clerk

John Gauder, Chairperson

Minutes transcribed by Julia Wolfe, Staff Assistant to Town Clerk

DRAFT



2

PLANNING & ZONING BOARD AGENDA ITEM

REQUESTED BOARD MEETING DATE: June 8, 2015

SUBJECT: Ordinance No. 2015-05 – Large Scale Comprehensive Plan Amendment – 53.14± Acres of Property Located at 3105 Hartsock Sawmill Road, approximately 1,500 feet east of Highway 27/441– Requesting to Change from Single Family Medium Density (SF-MD) to Commercial Tourist (CT) – LPG Urban & Regional Planners on Behalf of Sawmill Holdings, LLC (Alternate Key 1771358).

DEPARTMENT: GROWTH MANAGEMENT

STAFF RECOMMENDED MOTIONS:

1. Motion to forward Ordinance No. 2015-05, a Large Scale Comprehensive Plan Amendment – Requesting to Change from Single Family Medium Density (SF-MD) to Commercial Tourist (CT) to the Town Commission with the recommendation of approval.
2. Motion to forward Ordinance No. 2015-05, a Large Scale Comprehensive Plan Amendment – Requesting to Change from Single Family Medium Density (SF-MD) to Commercial Tourist (CT) to the Town Commission with the recommendation of denial.

Staff is in support of Motion #1

Applicant, LPG Urban & Regional Planners, has filed an application on behalf of Sawmill Holdings, LLC; to amend the Future Land Use designation of property (AK# 1771358) located South of County Road 466 and West of Rolling Acres Road, which includes 53.14± acres within Town of Lady Lake limits, from Single Family Medium Density (SF-MD) to Commercial Tourist (CT).

The Large Scale Future Land Use Map Amendment application was received on April 28, 2015, and has been reviewed and determined to be complete satisfying the necessary criteria as required to meet the requirements of the Land Development Regulations (LDRs) as well as the adopted Comprehensive Plan, and is ready for transmittal to the Town Commission.

Notices to inform the surrounding property owners (13) within 150' of the property of the proposed amendment were mailed by certified mail return receipt on Thursday, May 21, 2015. The property was also posted Thursday, May 21, 2015.

The conceptual bubble plan dated May 22, 2015 submitted by LPG Urban and Regional Planners, Inc., highlights a complete facility to include clubhouse, bath house, registration/office building, and park with a Frame Vernacular Architectural Style. The projected density for the plan is 3.56 units/acre with a typical RV lot size of 3,600 (40' x 90') square feet. The lots will be individually sold for fee-simple ownership.

Impact on Town Services

Potable Water-

- ♦ Potable Water Systems – CUP allocation of 1.18 million gpd (2015)
- ♦ Current water systems usage – 687,016 gpd
- ♦ Demand Contingent on Occupants of Development (500,984 gpd available)

Sewer -

- ♦ 1,000 gpd is maximum capacity for sanitary sewer plant
- ♦ Current sanitary sewer usage – 240,000 ± gpd
- ♦ 480,000 gpd available for sanitary sewer
- ♦ At build-out the proposed RV Park would utilize 23,250 gpd for water and sewer.

Schools –

- ♦ Not factored for project – no foreseen impact of students.

Transportation –

- ♦ Traffic Analysis indicates a that the proposed Future Land Use designation of CT – RV park Only, will generate 125 fewer a.m. peak hour trips and 125 fewer p.m. peak hour trips than the current SF-MD Designation assuming maximum potential under the Future Land Use Classification.

Parks & Recreation –

- ♦ Addition in population will not cause P&R Level of Service to be exceeded.

Stormwater –

- ♦ Project will be required to adhere to SJRWMD guidelines.

Applications have been reviewed and determined to be complete. The applicant has submitted all appropriate material in compliance with the Land Development Regulations (LDRs) and the application is ready for transmittal to the Town Commission. Additionally, the applications were reviewed and determined to be in compliance with the directives of the adopted Comprehensive Plan in accordance with the sought designation. A justification statement has also been included as part of the Large Scale Comprehensive Plan Amendment Application, which the applicant submitted for justifying why the future land use should be amended for the development proposed.

The subject property involving approximately 53.14 ± acres lies in Section 27, Township 18, Range 24 in Lake County, Florida. The Future Land Use of the adjacent properties is as follows:

Future Land Use

Subject Property	Lady Lake – Single Family- Medium Density (SF-MD)-Up to 6 du/ac
Future Land Use of Adjacent Properties	
West	Lady Lake – Manufactured Home High Density (MH-HD)-Up to 9 du/ac and Lake County- Urban Medium Density
East	Lake County – Urban Low Density
North	Lady Lake – Single Family- Medium Density (SF-MD)-Up to 6 du/ac
South	Lake County – Urban Medium Density

Comments:

- 1.) Rezoning and Special Exception Use Applications have been submitted concurrently with this Large Scale Future Land Use Amendment Application.
- 2.) Applicant must submit a site plan for the proposed 185-Unit RV Park site if the Town Commission approves the comprehensive plan amendment, rezoning, and Special Exception Use applications to allow the RV Park.
- 3.) Since the property to be developed is within a Special Flood Hazard Area-Flood Zone AE and Wetlands, a flood study will be required by the applicant establishing BFE during the site plan review and to mitigate compensation storage.
- 4.) Town of Lady Lake Commercial Design Standards outlined in Chapter 20 of the LDRs must be adhered to prior to any design of site plans for the proposed buildings associated with this development.
- 5.) Connection to Town Utilities will be required to service this RV Park Site.
- 6.) Prior to the initiation of development activities, the applicant will need to conduct a coverboard survey to identify the existence of Sand Skink and mitigate with a FWC permit accordingly if found.
- 7.) Mitigation may be necessary for site plan approval to address concurrency deficiencies associated with the impacts of this project.

The **Technical Review Committee (TRC)** members individually reviewed application for Ordinance 2015-05 and provided comments on May 27, 2015, determined the application to be complete and ready for transmittal to the P&Z Board.

Public Hearings

The **Local Planning Agency** is scheduled to consider Ordinance 2015-05 on Monday, July 6, 2015.

The **Town Commission** is scheduled to consider Ordinance 2015-05 for first reading on Monday, July 6, 2015. The second and final reading will be held after the Florida

Department of Economic Opportunity (DEO) has reviewed the transmitted amendment.

FISCAL IMPACT: \$ _____

Capital Budget

Operating

Other

ATTACHMENTS: Ordinance(s) Resolution Budget Resolution

Other

Support Documents/Contracts Available for Review in Manager's Office

WA
6-2-2015
DEPARTMENT HEAD *[Signature]*

Submitted

6/2/15

Date

FINANCE DEPARTMENT

Approved as to Budget Requirements

Date

TOWN ATTORNEY

Approved as to Form and Legality

Date

TOWN MANAGER *[Signature]*

Approved Agenda Item for: *6/8/15*

Date

BOARD ACTION: Approved as Recommended

Disapproved

Tabled Indefinitely

Continued to Date Certain

Approved with Modification

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ORDINANCE 2015-05

AN ORDINANCE PERTAINING TO COMPREHENSIVE PLANNING IN THE TOWN OF LADY LAKE, FLORIDA; AMENDING THE TOWN OF LADY LAKE ORDINANCE NO. 81-1-(83), WHICH ESTABLISHED THE TOWN OF LADY LAKE COMPREHENSIVE PLAN; PROVIDING FOR A LARGE SCALE FUTURE LAND USE MAP AMENDMENT, PROVIDING FOR SEVERABILITY; AND PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE TOWN OF LADY LAKE TOWN COMMISSION:

Section 1. Legislative Findings, Purpose, and Intent.

- a. On February 2, 1981, the Town Commission of the Town of Lady Lake adopted a Comprehensive Plan pursuant to Florida Statute 163.3184, known as the "Local Government Comprehensive Planning Act" ("Act"), which sets forth the procedures and requirements for a local government in the State of Florida to adopt a Comprehensive Plan and amendments (to a Comprehensive Plan).
- b. The Town Commission adopted Lady Lake Comprehensive Plan by Ordinance No. 81-1-(83), and amended said Ordinance by Ordinance No. 91-21, approved December 2, 1991, and Ordinance No. 94-16, approved on October 12, 1994.
- c. The Town's Local Planning Agency reviewed a proposed amendment to the Future Land Use Map Series of the Town of Lady Lake Comprehensive Plan on July 6, 2015, and recommended to the Town Commission that said amendment be adopted by the Town Commission.
- d. The Town Commission has held public hearings on the proposed amendment to the Future Land Use Map Series of the Comprehensive Plan, and received comments from the general public and the Local Planning Agency.
- e. The Town of Lady Lake has complied with the requirements of the Act for amending the Comprehensive Plan.

Section 2. Authority.

This ordinance is adopted in compliance with and pursuant to the Local Government Comprehensive Planning and Land Development Regulation Act, Sections 163.3161 – 163.3243, Florida Statutes, as amended.

Section 3. Large Scale Amendment to the Future Land Use Element Map Series.

The Comprehensive Plan, as amended, is hereby further amended by amending the Future Land Use Element Map Series with the large scale amendment as indicated below:

(A)

Applicant/Owner: Sawmill Holdings, LLC
General Location: 3105 Hartsock Sawmill Road, approximately 1,500 ft. east of S. Highway 27/441, Lady Lake, Florida 32159
Acres: 53.14 +/-
Future Land Use
Change From: Single Family Medium Density (SF-MD)
To: Commercial Tourist (CT)

Graphic representation of this Large Scale Future Land Use Element Map Amendment is shown in the attached "Exhibit A".

Section 4. Severability.

The provisions of this Ordinance are declared to be separable and if any section, sentence, clause or phrase of this Ordinance shall for any reason be held to be invalid or unconstitutional, such decision shall not effect the validity of the remaining sections, sentences, clauses or phrases of this Ordinance, but they shall remain in effect, it being the legislative intent that this Ordinance shall stand notwithstanding the invalidity of any part.

Section 5. Effective Date.

This ordinance shall become effective as provided in Chapter 163, Florida Statutes.

PASSED AND ORDAINED this ___ day of _____, 2015, in the regular session of the Town Commission of the Town of Lady Lake, Lake County, Florida, upon the Second/Final Reading.

TOWN OF LADY LAKE, FLORIDA

Ruth Kussard, Mayor

ATTEST:

Kristen Kollgaard, Town Clerk

APPROVED AS TO FORM:

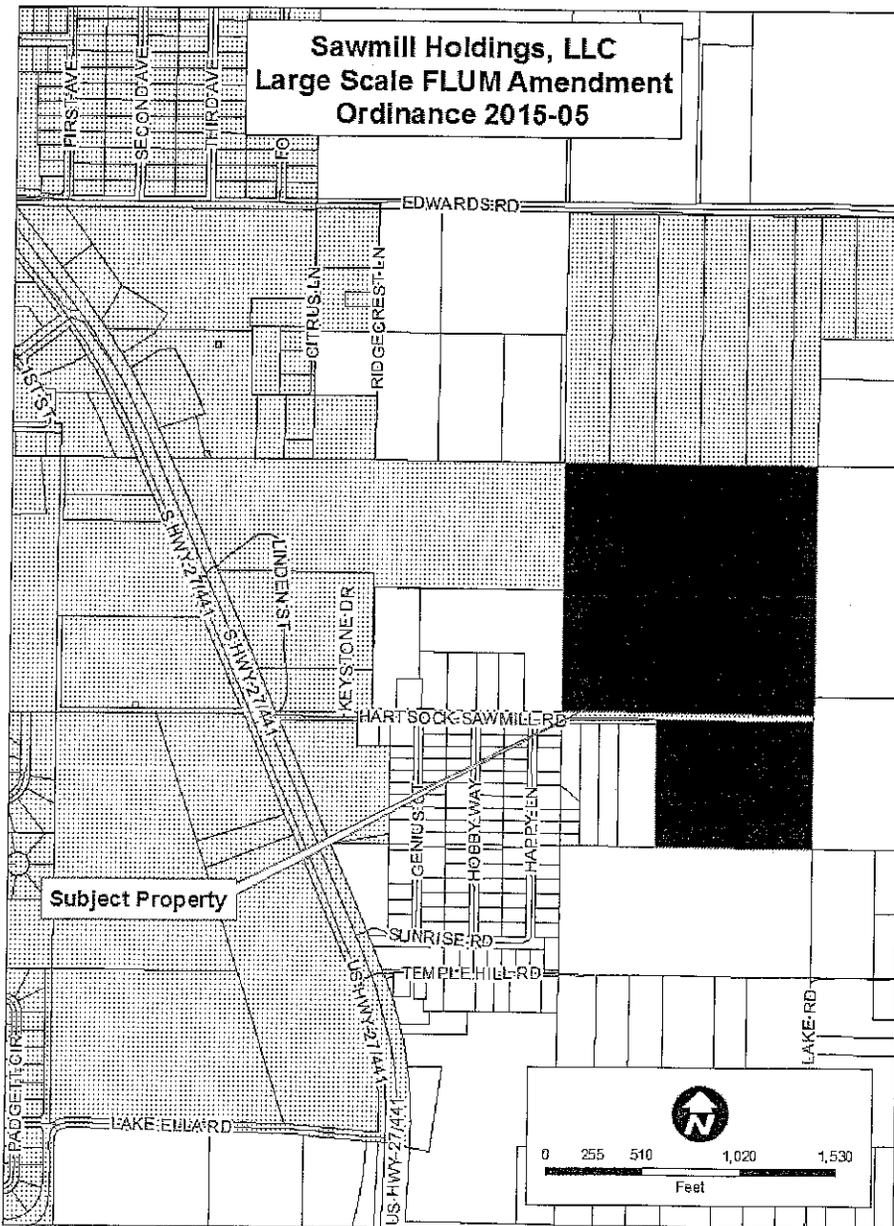
Derek Schroth, Town Attorney

EXHIBIT "A"
Legal Description

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The Southwest ¼ of the Northwest ¼, Section 27, Township 18 South, Range 24 East, Lake County, Florida, subject to a Non-Exclusive Easement for Roadway Purposes over and across the South 30 feet; and

The North ½ of the Northwest ¼ of Southwest ¼ of Section 27, Township 18 South, Range 24 East, Lake County, Florida, Less the West 500 feet thereof. Subject to a Non-Exclusive Easement for Roadway Purposes across the North 30 feet thereof.



PROPERTY LOCATION:

Section 27	Township 18	Range 24
Lot/Parcel#	Block	Subdivision
Address (if available) 3105 Hartsock Sawmill Road, Lady Lake, FL 32159		
Tax Identification Number and Alternate Key # 1771358		
Existing Zoning RS-6	Anticipated Zoning CT	

Existing Use of Subject Property: Undeveloped

Proposed Use of the Subject Property:
RV park with associated amenities

Total Gross Acreage of Parcel (including wetlands and water bodies): 53.14 +/- acres

Developable Acreage to be amended: 32 +/- acres

If Conservation Areas (wetlands) or natural water bodies exist on-site, give estimated acreage of each: _____
Lakes - 2 +/- acres and freshwater marsh - 19 +/- acres

(Submit any previously completed wetland determination studies).

If multiple designations are requested for the subject property, indicate the acreage of each designation and include a map showing the location of each use: N/A

Is this proposal a Certified Lady Lake Affordable Housing Project? Yes _____ No X
 (If yes, attach certification).

Has an application for re-zoning or other development permit been submitted to the Town?
 Yes X No _____
 (If yes, type and date submitted) Rezoning application submitted April 2015

Has the project/property been subject to any Town action, including a comprehensive plan amendment, within the last five (5) years? Yes _____ No X
 (If yes, indicate type and date) _____

THE FOLLOWING SECTION MUST BE COMPLETED BY ALL APPLICANTS:

I, the undersigned, have read the application for an amendment to the Town of Lady Lake Comprehensive Plan and hereby attest that the above referenced information, including attached exhibits, is true and correct to the best of my knowledge and, during the pendency of this application, I understand my continuing obligation to notify the Growth Management Director or his designee in writing of the inaccuracy of any statement or representation which was incorrect when made or which becomes incorrect by virtue of changed circumstances.

Randy Bates FORSAWMILL HOLDINGS LLC
Signature of the Property Owner

4/22/15
Date

Randy Bates , Manager Sawmill Holdings, LLC
Printed Name

STATE OF SOUTH CAROLINA

COUNTY OF CHARLESTON

THE FOREGOING INSTRUMENT was acknowledged before me this 22nd day of April, 2015, by Randy Bates, as an individual/officer/agent, on behalf of himself/herself Sawmill Holdings, LLC, a corporation/partnership. He/she is personally know to me or has produced Driver's license as identification and did/did not take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this 22nd day of April, 2015.

Chall Selmon

(SEAL)

Notary Public

CHARLES E. SALMONSEN

Printed Name

Commission No.: N/A in S.C.

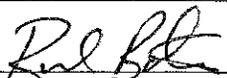
My Commission Expires: 7/7/18

AGENT AUTHORIZATION FORM

**APPLICATION FOR THE LARGE SCALE DEVELOPMENT AMENDMENTS TO THE
TOWN OF LADY LAKE COMPREHENSIVE PLAN**

I, (please print property owner's name) Randy Bates for Sawmill Holdings, LLC, as the property owner of the property described below, hereby give my permission for (print agent name) Greg Beliveau, LPG Urban & Regional Planners, Inc. to act as my agent for the purpose of applying for an amendment to the Town of Lady Lake Comprehensive Plan.

Legal description (if applicable):
Alternate Key # 1771358


Signature of the Property Owner

4/22/15
Date

Randy Bates
Printed Name

STATE OF SOUTH CAROLINA

COUNTY OF CHARLESTON

THE FOREGOING INSTRUMENT was acknowledged before me this 22nd day of April, 2015, by Randy Bates, as an individual/officer/agent, on behalf of himself/herself Sawmill Holdings, LLC, a corporation/partnership. He/she is personally know to me or has produced Driver's License as identification and did/did not take an oath.

WITNESS my hand and official seal in the County and State last aforesaid this 22nd day of April, 2015.



(SEAL)

Notary Public

CHARLES E. SALMONSEN

Printed Name

Commission No.: N/A in S.C.

My Commission Expires: 7/7/18



PREPARED BY:
Jill Dehoop
City Title Services, LLC
540 E. Horatio Ave Suite 101
Maitland, FL 32751

Parcel ID Number: 2718240002-000-00800
NOTE TO CLERK/TAX EXAMINER: Actual consideration
paid is \$ 132,000.00

Warranty Deed

This Indenture, Made this 12th day of December, 2014 A.D., Between
Dream Street Equity LLC, a Florida limited liability company

of the County of CITRUS, State of Florida, grantor, and
Sawmill Holdings LLC, a Florida limited liability company

whose address is: PO Box 1266, Mount Pleasant, SC 29465

of the County of Charleston, State of South Carolina, grantee.

Witnesseth that the GRANTOR, for and in consideration of the sum of

-----TEN DOLLARS (\$10)----- DOLLARS,

and other good and valuable consideration to GRANTOR in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, has
granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate,
lying and being in the County of Lake State of Florida to wit:

The Southwest 1/4 of the Northwest 1/4 of Section 27, Township 18
South, Range 24 East, Lake County, Florida, Subject to a
non-exclusive easement for roadway purposes over and across the South
30 feet.

AND

The North 1/2 of the Northwest 1/4 of the Southwest 1/4 of Section
27, Township 18 South, Range 24 East, Lake County, Florida, less the
West 500 feet thereof. Subject to a non-exclusive easement for
roadway purposes over and across the North 30 feet thereof.

See Exhibit A

and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

Warranty Deed - Page 2

Parcel ID Number: 2718240002-000-00800

In Witness Whereof, the grantor has hereunto set its hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Dream Street Equity LLC, a Florida limited liability company

Δ Dennis Krause
Printed Name: Δ Dennis Krause
Witness

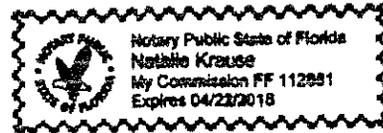
By: [Signature] (Seal)
Chris Underwood
Managing Member
P.O. Address: 3060 W. Mustang Blvd, BEVERLY HILLS, FL 34465
531 W. Barrymore

Δ Mike Diehl
Printed Name: Δ Mike Diehl
Witness

STATE OF ^o Florida
COUNTY OF Citrus

The foregoing instrument was acknowledged before me this 11th day of December, 2014 by Chris Underwood, Managing Member of Dream Street Equity LLC, a Florida limited liability company who is personally known to me or who has produced his Florida driver's license as identification.

Δ Natalie Krause
Printed Name: Natalie Krause
Notary Public
My Commission Expires:



AFFIDAVIT

Exhibit A

STATE OF
COUNTY OF

BEFORE ME, the undersigned authority, duly authorized to administer oaths and take acknowledgments, personally appeared this day, Chris Underwood, Managing Member of Dream Street Equity LLC, a Florida limited liability company who, after being duly sworn, deposes and says as follows:

That Affiant(s) is/are the _____ of the following legally described property:

The Southwest 1/4 of the Northwest 1/4 of Section 27, Township 18 South, Range 24 East, Lake County, Florida, Subject to a non-exclusive easement for roadway purposes over and across the South 30 feet.

AND

The North 1/2 of the Northwest 1/4 of the Southwest 1/4 of Section 27, Township 18 South, Range 24 East, Lake County, Florida, less the West 500 feet thereof. Subject to a non-exclusive easement for roadway purposes over and across the North 30 feet thereof.

Dream Street Equity, LLC is organized in the state of Florida

the LLC is manager-managed Chris Underwood is the Managing Member and the person authorized to execute the deed; and

neither the LLC nor any member signing the deed have filed bankruptcy since the LLC acquired title.

FURTHER AFFIANT SAYETH NAUGHT.

Dream Street Equity LLC, a Florida limited liability company

X By [Signature]
Chris Underwood
Managing Member 531 W. Barrymore Dr

Everly Hills, FL 34465

STATE OF ^D Florida
COUNTY OF ^D Citrus

Sworn to and subscribed before me this 11th day of December, 2014 by Chris Underwood, Managing Member of Dream Street Equity LLC, a Florida limited liability company who is personally known to me or who has produced his Florida driver's license as identification.

Natalie Krause
Printed Name: Natalie Krause
Notary Public
My Commission Expires:



Property Record Card General Information

Owner Name:	SAWMILL HOLDINGS LLC	Alternate Key:	1771358
Mailing Address:	PO BOX 1266 MOUNT PLEASANT, SC 29465-1266 Update Mailing Address	Parcel Number:	27-18-24-000200000800
		Millage Group and City:	00LL (Lady Lake)
		Total Millage Rate:	19.04670
		Trash/Recycling/Water/Info:	My Public Services Map
Property Location:	3105 HARTSOCK SAWMILL RD LADY LAKE FL 32159 Update Property Location	Property Name:	-- Submit Property Name
		School Locator:	School and Bus Map
Property Description:	SW 1/4 OF NW 1/4--LESS S 30 FT--N 1/2 OF NW 1/4 OF SW 1/4--LESS W 500 FT-- ORB 4564 PG 1506		

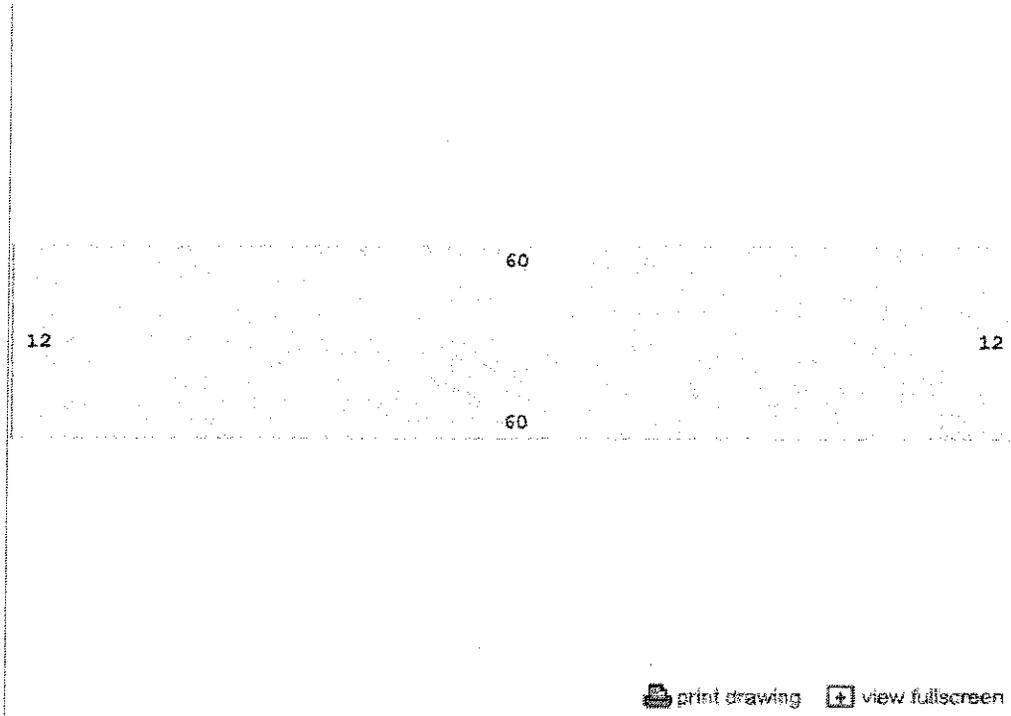
Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	MH ACRE / LT NOT IN PARK (0230)	0	0		1	AC	\$0.00	\$14,350.00
2	NON AGRICULTURAL ACREAGE (9900)	0	0		22	AC	\$0.00	\$168,300.00
3	WASTELANDS (9600)	0	0		28	AC	\$0.00	\$1,260.00

Residential Building(s)

Building 001

Residential	Mobile Home	Building Value: \$8,864.00						
Summary								
Year Built: 1971	Total Living Area: 720	Central A/C: Yes	Attached Garage: No					
Bedrooms: 0	Full Bathrooms: 1	Half Bathrooms: 0	Fireplaces: 0					
<i>Incorrect Bedroom, Bath, or other information? Click here to Update My Information.</i>								
Section(s)								
Section No.	Section Type	Ext. Wall Type	No. Stories	Floor Area	Finished Attic	Basement	Basement Finished	Map Color
1	FINISHED LIVING AREA (FLA)	Wood (001)	1	720	N	0%	0%	<input type="checkbox"/>



Miscellaneous Improvements

No.	Type	No. Units	Unit Type	Year	Depreciated Value
0001	BOATHOUSE (BHS)	252	SF	1966	\$1,397.00

Sales History

O.R. Book / Page	Sale Date	Instrument	Q/U	Vac./Imp.	Sale Price
2795 / 981	3/30/2005	WD	Q	I	\$416,000.00
3150 / 2295	4/28/2006	WD	Q	I	\$1,100,000.00
4379 / 1336	8/20/2013	CT	U	I	\$97,900.00
4564 / 1506	12/12/2014	WD	Q	I	\$132,000.00

Values and Estimated Taxes

Tax Authority	Just Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC	\$194,171	\$194,171	\$194,171	5.38560	\$1,045.73
LAKE COUNTY MSTU AMBULANCE	\$194,171	\$194,171	\$194,171	0.46290	\$89.88
LAKE COUNTY MSTU FIRE	\$194,171	\$194,171	\$194,171	0.47040	\$91.34
SCHOOL BOARD STATE	\$194,171	\$194,171	\$194,171	5.74600	\$1,115.71
SCHOOL BOARD LOCAL	\$194,171	\$194,171	\$194,171	1.50000	\$291.26
TOWN OF LADY LAKE	\$194,171	\$194,171	\$194,171	3.75000	\$728.14
ST JOHNS RIVER FL WATER MGMT DIST	\$194,171	\$194,171	\$194,171	0.31640	\$61.44
LAKE COUNTY VOTED DEBT SERVICE	\$194,171	\$194,171	\$194,171	0.16000	\$31.07
LAKE COUNTY WATER AUTHORITY	\$194,171	\$194,171	\$194,171	0.25540	\$49.59
NORTH LAKE HOSPITAL DIST	\$194,171	\$194,171	\$194,171	1.00000	\$194.17
			Total:	19.0467	Total: \$3,698.33

The values displayed above may NOT reflect certified values and therefore are subject to change before being finalized for ad valorem assessment purposes. The estimated tax totals are based on prior year adopted millage rates until each taxing authority certifies proposed rates (annually in mid-August) and adopts final millage rates (late September) of each year. Estimated tax totals do not reflect non-ad valorem assessments. (Fire Fees, Solid Waste, etc.) Please consult the Tax Collector for actual taxation amounts.

Copyright © 2014 Lake County Property Appraiser. All rights reserved.
Property data last updated on 12 January 2015.

**Electronic Articles of Organization
For
Florida Limited Liability Company**

L14000188822
FILED 8:00 AM
December 10, 2014
Sec. Of State
nculligan

Article I

The name of the Limited Liability Company is:

SAWMILL HOLDINGS LLC

Article II

The street address of the principal office of the Limited Liability Company is:

303 E PAR STREET
ORLANDO, FL. 32804

The mailing address of the Limited Liability Company is:

PO BOX 1266
MT PLEASANT, SC. US 29465

Article III

The name and Florida street address of the registered agent is:

PETER A LEERDAM
303 E PAR STREET
ORLANDO, FL. 32804

Having been named as registered agent and to accept service of process for the above stated limited liability company at the place designated in this certificate, I hereby accept the appointment as registered agent and agree to act in this capacity. I further agree to comply with the provisions of all statutes relating to the proper and complete performance of my duties, and I am familiar with and accept the obligations of my position as registered agent.

Registered Agent Signature: PETER LEERDAM

Article IV

The name and address of person(s) authorized to manage LLC:

Title: MGR
RANDY J BATES
PO BOX 1266
MT PLEASANT, SC. 29465

Title: AMBR
RANDY J BATES II
PO BOX 1266
MT PLEASANT, SC. 29465 US

L14000188822
FILED 8:00 AM
December 10, 2014
Sec. Of State
nculligan

Article V

The effective date for this Limited Liability Company shall be:

12/10/2014

Signature of member or an authorized representative

Electronic Signature: RANDY BATES

I am the member or authorized representative submitting these Articles of Organization and affirm that the facts stated herein are true. I am aware that false information submitted in a document to the Department of State constitutes a third degree felony as provided for in s.817.155, F.S. I understand the requirement to file an annual report between January 1st and May 1st in the calendar year following formation of the LLC and every year thereafter to maintain "active" status.

**FLORIDA DEPARTMENT OF STATE
DIVISION OF CORPORATIONS****Detail by Entity Name****Florida Limited Liability Company**

SAWMILL HOLDINGS LLC

Filing Information

Document Number	L14000188822
FEI/EIN Number	NONE
Date Filed	12/10/2014
State	FL
Status	ACTIVE
Effective Date	12/10/2014

Principal Address303 E PAR STREET
ORLANDO, FL 32804**Mailing Address**PO BOX 1266
MT PLEASANT, SC 29465**Registered Agent Name & Address**LEERDAM, PETER A
303 E PAR STREET
ORLANDO, FL 32804**Authorized Person(s) Detail****Name & Address**

Title MGR

BATES, RANDY J
PO BOX 1266
MT PLEASANT, SC 29465

Title AMBR

BATES, RANDY J, II
PO BOX 1266
MT PLEASANT, SC 29465**Annual Reports**

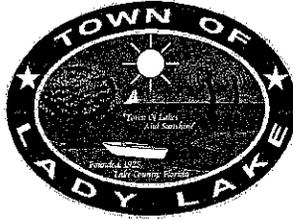
No Annual Reports Filed

EXHIBIT A
LEGAL DESCRIPTION
SAWMILL HOLDINGS, LLC

The Southwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$, Section 27, Township 18 South, Range 24 East, Lake County, Florida, subject to a Non-Exclusive Easement for Roadway Purposes over and across the South 30 feet.

AND

The North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$ of Southwest $\frac{1}{4}$ of Section 27, Township 18 South, Range 24 East, Lake County, Florida, Less the West 500 feet thereof. Subject to a Non-Exclusive Easement for Roadway Purposes across the North 30 feet thereof.



TECHNICAL REVIEW COMMITTEE COMMENTS FINAL REVIEW 05/28/2015

Project: Sawmill Holdings, LLC

Proposal:

Ordinance 2015-05- Large Scale Future Land Use Amendment Application to change Future Land Use from Single Family Medium Density (SF-MD) to Commercial Tourist (CT) to establish an RV Park Facility at 3105 Hartsock Sawmill Road, approximately 1,500 feet east of Highway 27/441, in Lady Lake, FL (Alternate Key 1771358).

Ordinance 2015-06- Rezoning Application to change Future Land Use from Single Family Medium Density (RS-6) to Commercial Tourist (CT) to establish an RV Park Facility at 3105 Hartsock Sawmill Road, approximately 1,500 feet east of Highway 27/441, in Lady Lake, FL (Alternate Key 1771358).

Ordinance 2015-07- Special Exception Use Application to incorporate terms and conditions for the development and operation of a 185-unit RV Park Facility with a 4,500-square-foot clubhouse, bathhouse, registration building and park at 3105 Hartsock Sawmill Road, approximately 1,500 feet east of Highway 27/441, in Lady Lake, FL (Alternate Key 1771358).

Description:

On 04/28/2015, Town Staff received applications proposing a 185-Unit RV Site for property located at 3105 Hartsock Sawmill Road, approximately 1,500 feet east of South Highway 27/441, identified by alternate key number 1771358. The conceptual bubble plan dated April 28, 2015 submitted by LPG Urban and Regional Planners, Inc., highlights a complete facility to include clubhouse, bath house, registration/office building, and park with a Frame Vernacular Architectural Style. The projected density for the plan is 3.56 units/acre with a typical RV lot size of 3,600 (40' x90') square feet. The lots will be individually sold for fee-simple ownership.

The applications were reviewed and determine to be in compliance with the Land Development Regulations (LDRs) and the Comprehensive Plan.

The property is currently zoned "RS-6" Single Family Medium Density, and the rezoning proposal seeks to establish the Commercial Tourist (CT) zoning designation to allow the RV Park Facility. The current Future Land Use Map designation for the site is Single Family Medium Density (SF-MD), and the large scale seeks to amend to Commercial Tourist (CT).

GENERAL INFORMATION

Below are staff comments from the Town of Lady Lake regarding your development. A hard copy via hand delivery and an electronic copy via e-mail are provided to the applicant. Comments are organized by department and must be sufficiently addressed before the proposal may proceed. If a re-submittal is

warranted, the applicant shall provide written responses to each individual staff comment contained within this transmittal. **Re-submittals will not be accepted without bulleted written responses.**

Following submittal of any required revisions and responses, correspondence will be forwarded indicating the proposal's status, either: (1) requiring additional revision or documentations; or (2) ready for approval. Site plans are subject to public hearing, as well as plats, annexation requests, zoning requests, and comprehensive plan requests. When applicable, you will receive written notification that the item is scheduled for review by the Planning and Zoning Board or Town Commission. For additional information, contact Thad Carroll at (352) 751-1521.

GROWTH MANAGEMENT

Questions may be directed to Wendy Then, at wthen@ladylake.org

1. All comments are addressed under the Growth Management Dept. as of 05-28-2015.
-

POLICE

Questions may be directed to Chief Chris McKinstry at cmckinstry@ladylake.org

1. No comments at this time from the Police Dept. regarding this project as of 05-27-2015.
-

FIRE

Questions may be directed to Kerry Barnett at k-l5122@peoplepc.com or via phone 813-778-4981

1. No comments required from Fire Inspector at the Large Scale and Rezoning stage.
-

BUILDING

Questions may be directed to Dallas Foss, Building Official at dfoss@usanova.com.

1. No comments at this time -05-27-2015.
-

PUBLIC WORKS

Questions may be directed to Butch Goodman, Utilities Supervisor at bgoodman@ladylakepw.org

1. No comments at this time from the Lady Lake Public Works Dept.-5-27-2015.
-

LAKE-SUMTER MPO

Questions may be directed to Pam Richmond at PRichmond@LakeSumterMPO.com or at 352-315-0170

1. Review Pending by MPO as of 05-28-2015.

Via E-Mail: (randy@evergreenendeavors.com)

Ref: 4067.01

TECHNICAL MEMORANDUM

To: Randy Bates, Sawmill Holdings, LLC
From: Matthew West, AICP
Subject: Sawmill Holdings Comprehensive Plan Amendment Trip Generation Analysis
Date: March 31, 2015

Lassiter Transportation Group, Inc. (LTG) has been retained by Sawmill Holdings, LLC, to prepare a trip generation analysis in support of an Expedited State Review Comprehensive Plan Amendment known as Sawmill Holdings Comprehensive Plan Amendment (CPA), which amends the Future Land Use Map (FLUM) designation for 52 acres from Single Family – Medium Density (SF-MD) to Commercial Tourist Services (CT). The proposed development is a Recreational Vehicle Park (RV Park). The subject property is located in the Town of Lady Lake, the east end of Hartsock Sawmill Road.

TRIP GENERATION FOR THE EXISTING VS PROPOSED FLUM DESIGNATION

The trip generation for the maximum development scenarios for both the existing FLUM designation and the proposed FLUM designation were calculated using the nationally accepted trip generation publication, the *Trip Generation Manual, 9th Edition*, prepared by the Institute of Transportation Engineers (ITE). The Town's Comprehensive Plan and the Lake Sumter Metropolitan Planning Organization's Traffic Impact Study Methodology Guidelines measure roadway level of service based on peak hour directional volumes. This analysis is based upon the assumption that the proposed FLUM designation will be limited to RV Park use only.

The existing analysis is based on the existing FLUM designation of SF-MD as outlined in the Future Land Use Element (FLUE) of the Town of Lady Lake's Comprehensive Plan. SF-MD has a maximum density of six single family dwelling units per acre. Therefore, the 52-acre site could generate a maximum of 312 dwelling units (52 X 6 = 312).

Based on this assumption and as indicated in Table 1, the potential development of the property under the existing land use would generate 228 a.m. peak-hour trips and 293 p.m. peak-hour trips.

Table 1
Peak-Hour Trip Generation – Existing FLUM Designation
Sawmill Holdings – ESRCPA

SF-MD	Time	Land	ITE Land	Quantity	Units	Trip Rate	Total	Percent	Percent	Trips	Trips
	Period	Use	Use Code			Equation					
	A.M. Peak-hour	Single Family Dwelling	210	312	Dwelling Units	$T=0.70(X)+9.74$	228	25%	75%	57	171
	P.M. Peak-hour			312	Dwelling Units	$\ln(T)=0.90 \ln(X) + 0.51$	293	67%	33%	196	97

Source: ITE Trip Generation Manual, 9th Edition

Randy Bates
 March 31, 2015

The proposed analysis is based on the requested FLUM designation of CT as outlined in the FLUE of the Town's Comprehensive Plan with a limitation of RV Park use only. CT permits a maximum of 12 RV sites per acre (12 dwelling units per acre). Applying this maximum density to the 52-acre site would permit 624 RV sites. As indicated in Table 2, maximum development of the property under the proposed land use would generate 103 a.m. peak-hour trips and 168 p.m. peak-hour trips.

**Table 2
 Peak-Hour Trip Generation for Proposed FLUM Designation
 Sawmill Holdings - ESRCPA**

Future Land Use	Time	Land Use	ITE Land Use Code	Quantity	Units	Trip Rate	Total Trips	Percent Entering	Percent Exiting	Trips Entering	Trips Exiting
	Period					Equation					
C	A.M. Peak-hour	Campground/ Recreational Vehicle Park	418	624	Camp Sites	$T=0.18(X)+2.93$	103	36%	64%	37	66
	P.M. Peak-hour					$T=0.27(X)$					

In comparing the maximum potential peak-hour trip generation for the existing FLUM designation (SF-MD) with the proposed FLUM designation (CT – RV Park only), the proposed FLUM designation will generate potentially fewer a.m. peak-hour (125 fewer) and p.m. peak-hour trips (125 fewer). In addition, a.m. and p.m. peak-hour trips are reduced in each direction.

This analysis is corroborated by the Lake Sumter MPO worksheet attached to this memorandum as Exhibit A.

CONCLUSION

The study was conducted to evaluate the impact the proposed Comprehensive Plan Amendment would have on area roadways based on trip generation of the maximum development potential of the existing land use designation as compared to the maximum development potential of the proposed land use designation (for a RV Park only). There will not be an increase in traffic over what is currently allowed. Therefore, this Comprehensive Plan Amendment is recommended for adoption. Concurrency and any required mitigation to support a proposed development plan will be assessed in greater detail during the final development permitting process.

I affirm by my signature that the findings contained herein are, to my knowledge, accurate and truthful and were developed using current procedures standard to the practice of professional planning.

Name: Matthew West AICP

Signature: 

Date: March 31, 2015



Lake Summit
ITE Trip Generation Rates - 9th Edition
Pass-by rates from ITE Trip Generation Handbook - 2nd Edition
(copyrights, inside of Transportation Engineers)

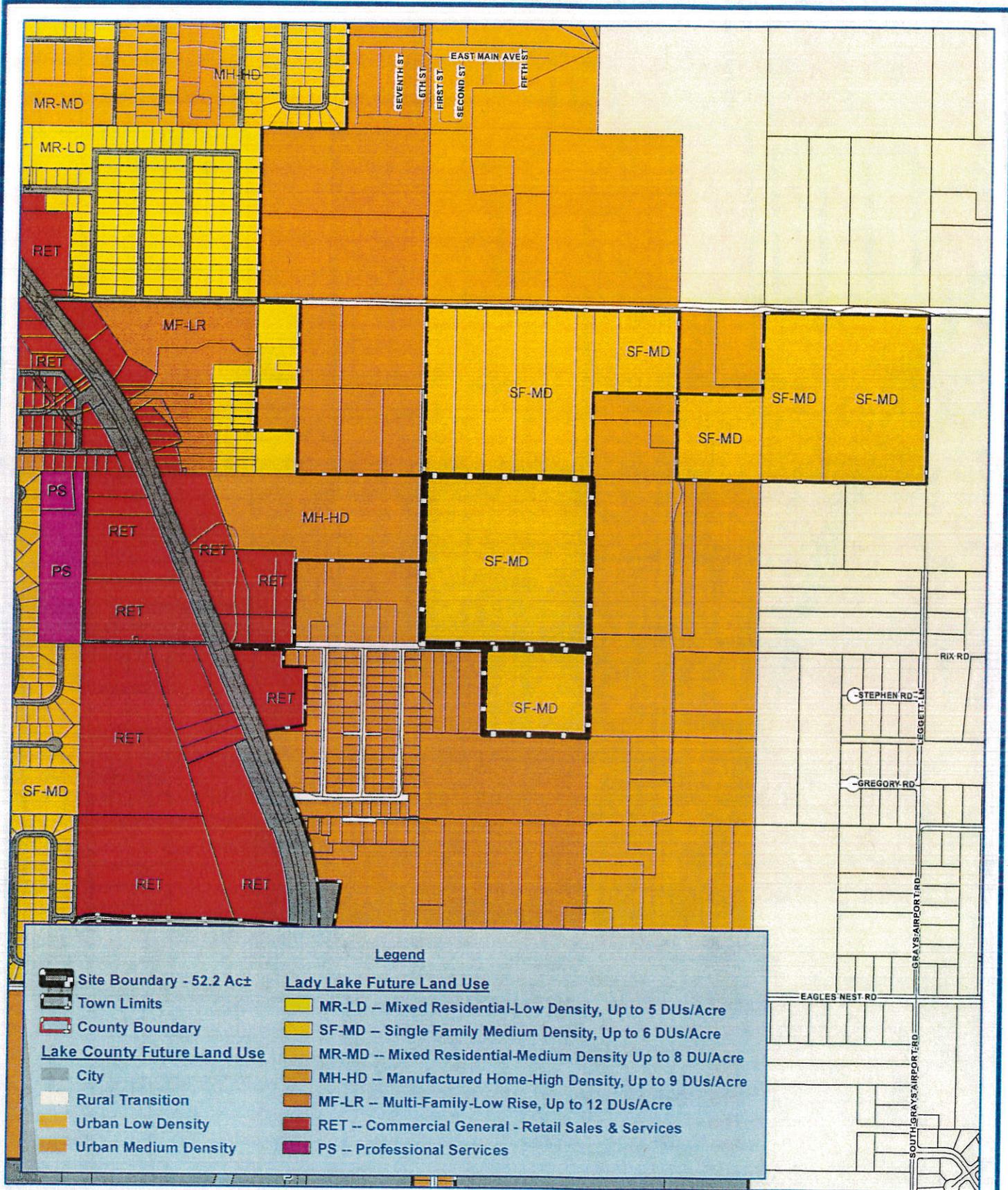
EXHIBIT A

Description/ITE Code	Units	ITE Vehicle Trip Generation Rates (Peak hours are for peak hour of adjacent street traffic unless highlighted)										Expected Units	Total Generated Trips			Total Distribution of Generated Trips					
		Weekday	AM	PM	Pass-By	AM In	AM Out	PM In	PM Out	Daily	AM Hour		PM Hour	AM In	AM Out	Pass-By	PM In	PM Out	Pass-By		
Single Family Homes 210	DU	9.52	0.73	1.00		25%	75%	80%	37%	173	2,970	234	312	59	176	0	197	115	0		
Campground/RV Park 416	Acres	NA	0.48	0.80		42%	50%	65%	51%	27	0	25	51	10	14	0	35	16	0		

RED Rates = CAUTION - Use Carefully - Small Sample Size
Green Rates = Peak Hour of Generator - (no peak rate for the rush hour of adjacent street traffic)
Blue Rates = Saturday Daily total - (no weekday daily rate)
Added to 9th Edition
***Pass-By % are Rates from Weekly PM Peak Period**
***The Total Pass-By Trips will be Distributed: 50% IN / 50 % OUT**

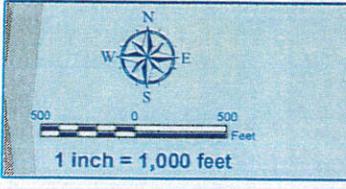
NA = Not Available
 DU = Dwelling Unit
 Occ.Room = Occupied Room
 KSF² = Units of 1,000 square feet
 Fuel Position = the number of vehicles that could be fueled simultaneously

Instructions: Enter Expected Unit Volume's into Column 11
 Notes on Color Coding at Bottom



Legend

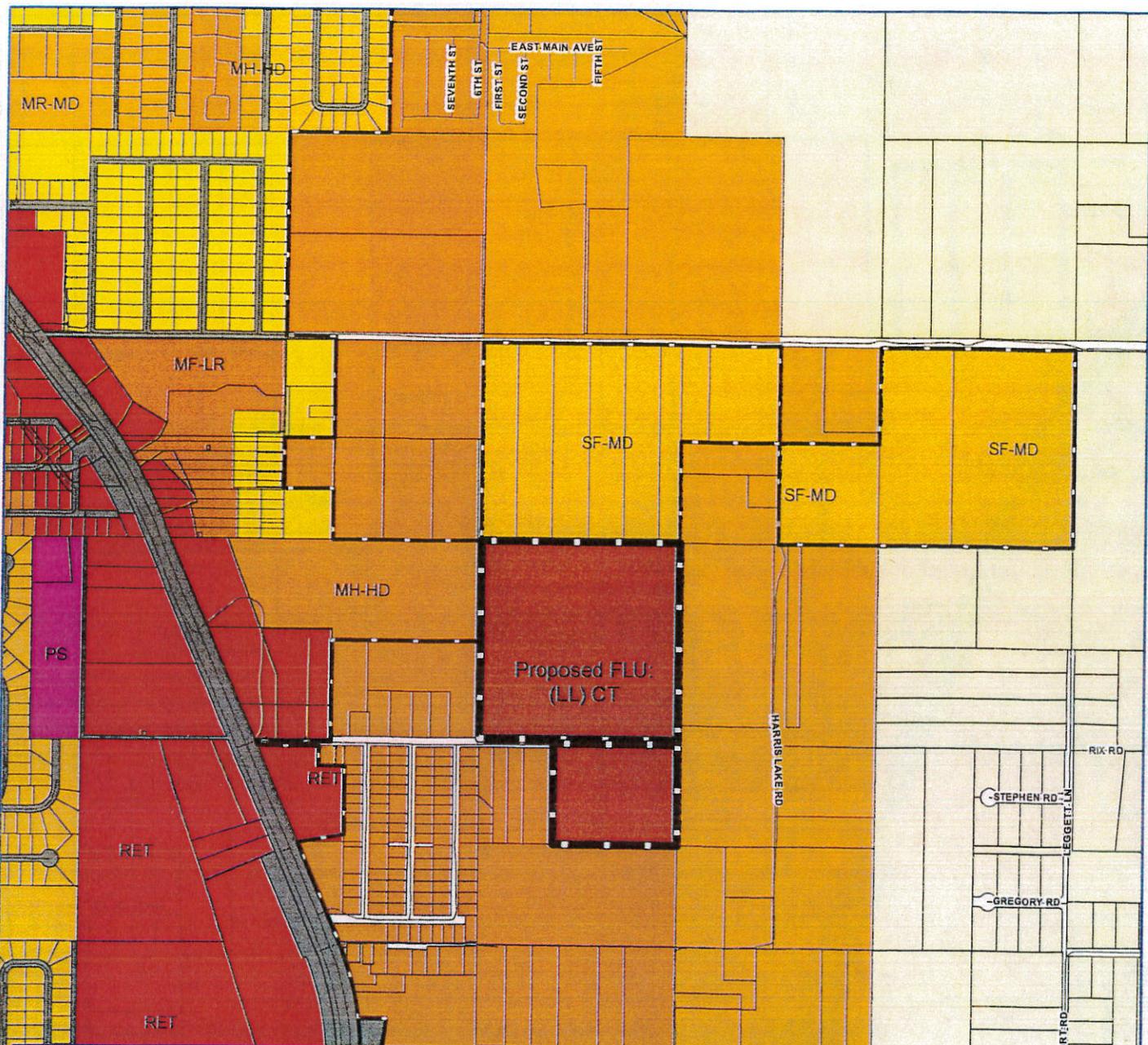
Site Boundary - 52.2 Acre	Lady Lake Future Land Use
Town Limits	MR-LD – Mixed Residential-Low Density, Up to 5 DUs/Acre
County Boundary	SF-MD – Single Family Medium Density, Up to 6 DUs/Acre
Lake County Future Land Use	MR-MD – Mixed Residential-Medium Density Up to 8 DU/Acre
City	MH-HD – Manufactured Home-High Density, Up to 9 DUs/Acre
Rural Transition	MF-LR – Multi-Family-Low Rise, Up to 12 DUs/Acre
Urban Low Density	RET -- Commercial General - Retail Sales & Services
Urban Medium Density	PS -- Professional Services



Town of Lady Lake
Sawmill Holdings, LLC
 Lake County, Florida
 Existing Future Land Use

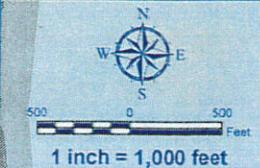
Project: 1615-1
 File: Existing FLU.mxd
 Name: Sawmill Holdings
 PM: Sherie Lindh
 Date: April 8, 2015
 Created By: J. Wilson





Legend

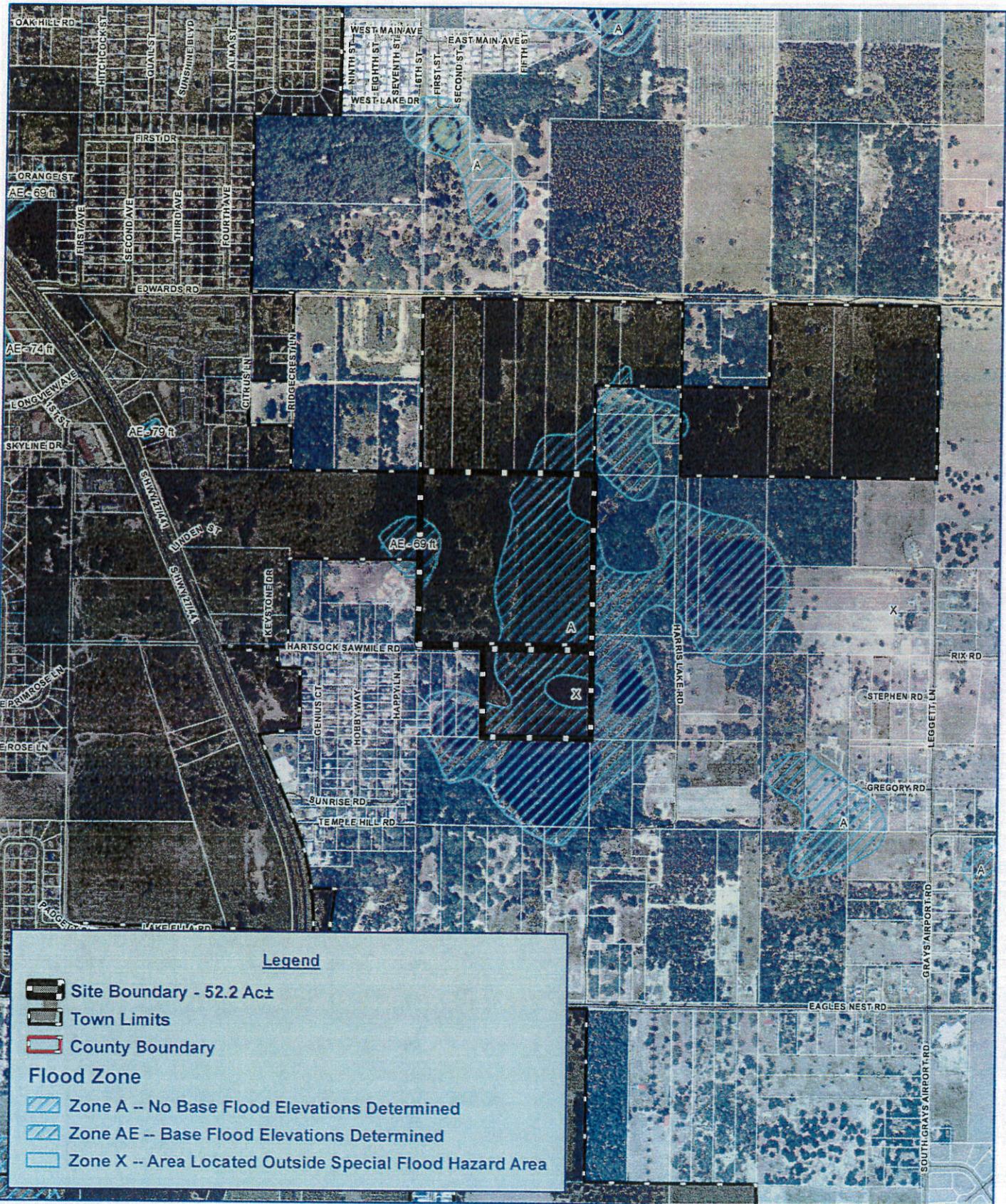
Site Boundary - 52.2 Act	Lady Lake Future Land Use
Town Limits	MR-LD – Mixed Residential-Low Density, Up to 5 DUs/Acre
County Boundary	SF-MD – Single Family Medium Density, Up to 6 DUs/Acre
Lake County Future Land Use	MR-MD – Mixed Residential-Medium Density Up to 8 DU/Acre
City	MH-HD – Manufactured Home-High Density, Up to 9 DUs/Acre
Rural Transition	MF-LR – Multi-Family-Low Rise, Up to 12 DUs/Acre
Urban Low Density	RET – Commercial General - Retail Sales & Services
Urban Medium Density	PS – Professional Services
	CT – Commercial-Tourist Services



Town of Lady Lake
Sawmill Holdings, LLC
 Lake County, Florida
Proposed Future Land Use

Project: 1615-1
 File: Proposed FLU.mxd
 Name: Sawmill Holdings
 PM: Sherie Lindh
 Date: April 8, 2015
 Created By: J.Wilson





Legend

-  Site Boundary - 52.2 Act
-  Town Limits
-  County Boundary

Flood Zone

-  Zone A -- No Base Flood Elevations Determined
-  Zone AE -- Base Flood Elevations Determined
-  Zone X -- Area Located Outside Special Flood Hazard Area

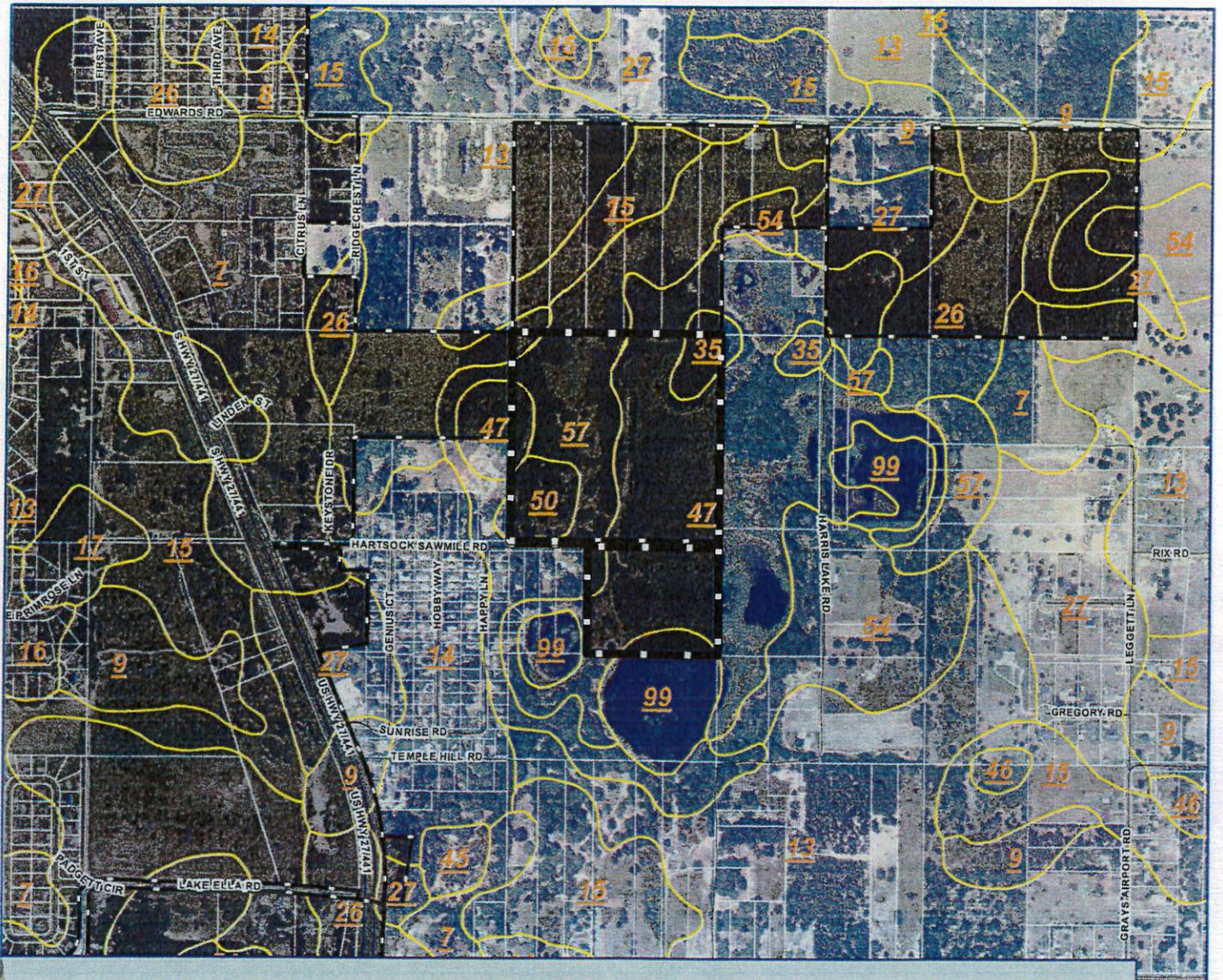


500 0 500 Feet
1 inch = 1,000 feet

Town of Lady Lake
Sawmill Holdings, LLC
 Lake County, Florida
 Flood Zone

Project: 1615-1
 File: Flood.mxd
 Name: Sawmill Holdings
 PM: Sherie Lindh
 Date: April 8, 2015
 Created By: J.Wilson





Legend

-  Site Boundary - 52.2 Act
-  Town Limits
-  County Boundary
- Lake County Soils**
-  7 - Apopka sand, 0 to 5 percent slopes
-  8 - Apopka-Urban land complex, 0 to 5 percent soils
-  9 - Apopka sand 5 to 12 percent slopes
-  13 - Candler sand, 0 to 5 percent slopes
-  14 - Candler-Urban land complex, 0 to 5 percent slopes
-  15 - Candler sand, 5 to 12 percent slopes
-  16 - Candler-Urban land complex, 5 to 12 percent slopes
-  17 - Candler sand, 12 to 25 percent slopes
-  26 - Kendrick sand, 0 to 5 percent slopes
-  27 - Kendrick sand, 5 to 8 percent slopes
-  35 - Myakka sand
-  40 - Orlando fine sand, 0 to 5 percent slopes
-  45 - Pits Water Complex
-  46 - Placid sand, depressional
-  47 - Placid and Myakka sands, depressional
-  50 - Pompano sand
-  54 - Seffner Sand
-  57 - Tavares sand, 0 to 5 percent slopes
-  99 - Water

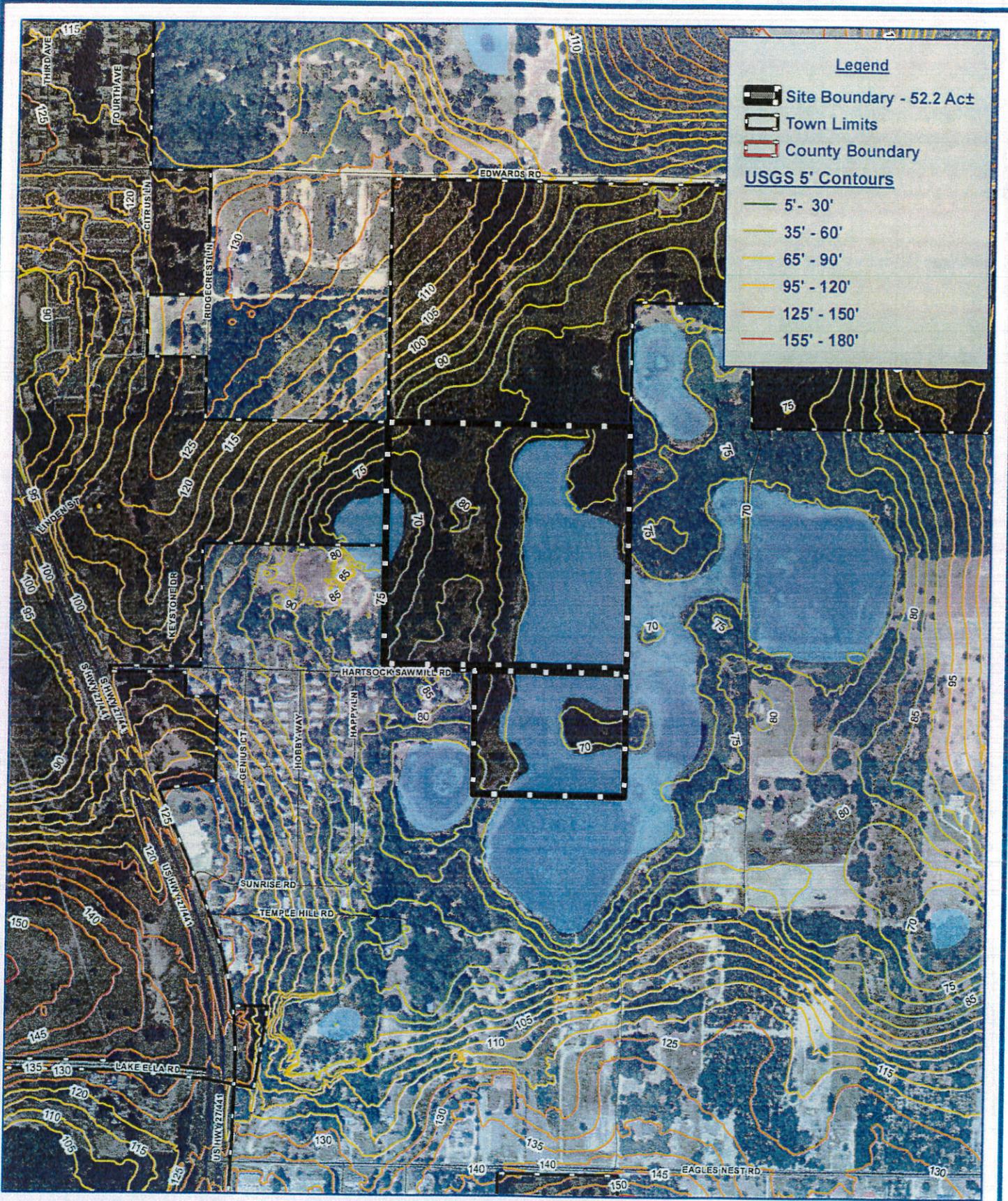


500 0 500 Feet
1 inch = 1,000 feet

**Town of Lady Lake
Sawmill Holdings, LLC**
Lake County, Florida
Soils

Project: 1615-1
File: Soils.mxd
Name: Sawmill Holdings
PM: Sherie Lindh
Date: April 8, 2015
Created By: J.Wilson





Legend

- Site Boundary - 52.2 Ac±
- Town Limits
- County Boundary

USGS 5' Contours

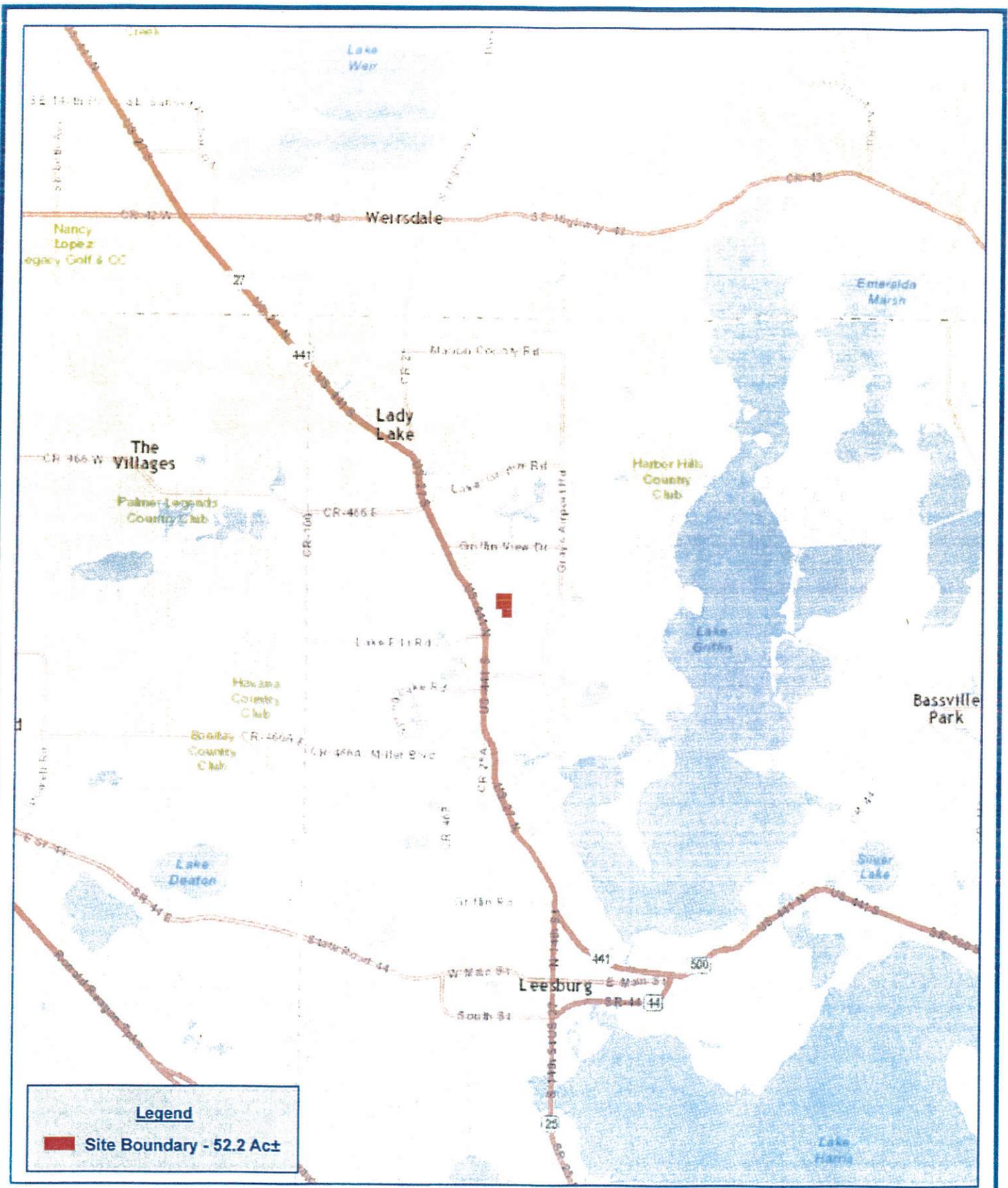
- 5' - 30'
- 35' - 60'
- 65' - 90'
- 95' - 120'
- 125' - 150'
- 155' - 180'

1 inch = 700 feet

Town of Lady Lake
Sawmill Holdings, LLC
 Lake County, Florida
 Topography

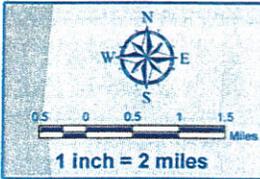
Project: 1615-1
 File: Topo.mxd
 Name: Sawmill Holdings
 PM: Sherie Lindh
 Date: April 8, 2015
 Created By: J.Wilson

LPG Urban & Regional Planners, Inc.
 1162 Conco Avenue, Moultrie, Florida 32257
 Office: (352) 385-1940 Fax: (352) 383-4824



Legend

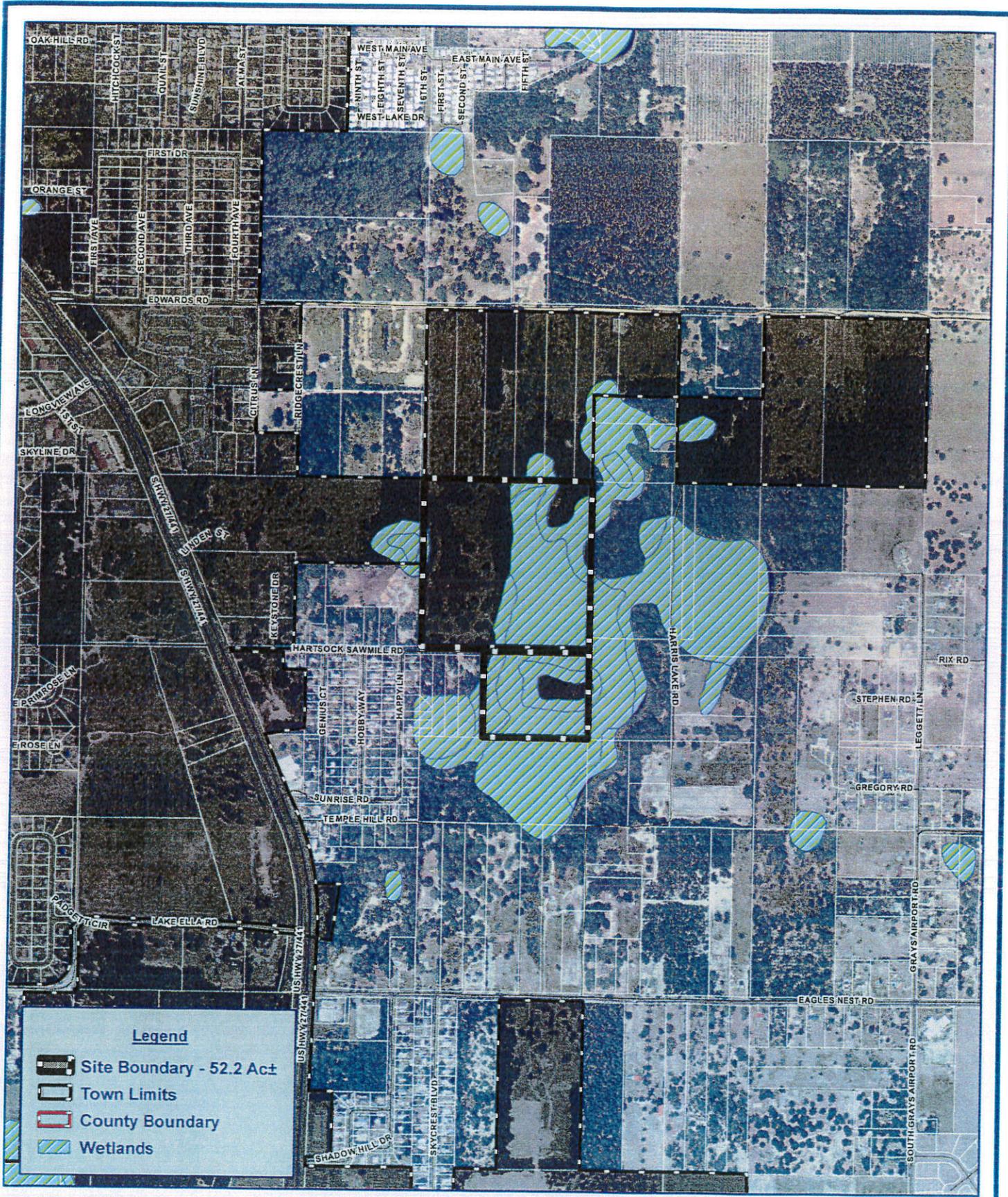
Site Boundary - 52.2 Act



Town of Lady Lake
Sawmill Holdings, LLC
 Lake County, Florida
 Location

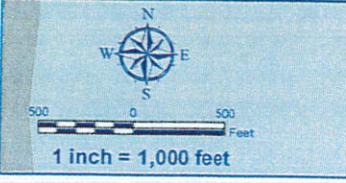
Project: 1615-1
 File: Location.mxd
 Name: Sawmill Holdings
 PM: Sherie Lindh
 Date: April 8, 2015
 Created By: J.Wilson

LPG Urban & Regional Planners, Inc.
 1162 Cass Avenue, Mount Dora, Florida 32757
 Office: (352) 383-1940 Fax: (352) 383-8824



Legend

-  Site Boundary - 52.2 Act
-  Town Limits
-  County Boundary
-  Wetlands



A north arrow is located in the top left corner of the bottom-left section. Below it is a scale bar showing 0, 500, and 1000 feet. The text "1 inch = 1,000 feet" is printed below the scale bar.

Town of Lady Lake
Sawmill Holdings, LLC
 Lake County, Florida
 Wetlands

Project: 1615-1
 File: Wetlands.mxd
 Name: Sawmill Holdings
 PM: Sherie Lindh
 Date: April 8, 2015
 Created By: J.Wilson



LPG Urban & Regional Planners, Inc.
 1162 Camp Arcadia, Mount Dora, Florida 32757
 Office: (352) 285-1940 / Fax: (352) 283-4824

SECTION 8 FINDINGS

WE visited the site on September 23, 2005 to: 1) visually observe the property and accessible site improvements; 2) document and photograph observed site conditions and uses; and, 3) observe and document surrounding property conditions and uses.

8.1 Hazardous Substance in Connection with Identified Uses

There are no indications of hazardous substances being used in connection with any identified use of the target property.

8.2 Hazardous and Unidentified Substance Containers

There are no indications of hazardous and unidentified substance containers on the target property.

8.3 Storage Tanks

There are no indications of storage tanks on neither the target property nor are any reported on the LUST list.

8.4 Indication of PCB's

There is no indication of PCB's on the target property.

8.5 Indication of Solid Waste Disposal

Moderate amounts of random debris are situated along the west-central border of the property boundary. No soil staining, water sheen or mortality of vegetation is visible in association with the debris. None of the debris identified onsite appears to include hazardous substances or petroleum products, nor does it appear to present a material risk of harm to public health or the environment.

8.6 Other Conditions of Concern

There are no additional conditions on the target property that raise concern with respect to the existence of a recognized environmental condition, other than those associated with and noted in **Appendix E - Wetlands Delineation and Listed Species Assessment**.

SECTION 9 OPINIONS

The following sections provide a professional opinion regarding the impact on the property of the known or suspect environmental conditions identified in Section 8.

8.7 Hazardous Substance in Connection with Identified Uses

There are no recognized environmental conditions as a result of hazardous substances being used in connection with any identified use of the target property.

8.8 Hazardous and Unidentified Substance Containers

There are no recognized environmental conditions as a result of hazardous and unidentified substance containers on the target property.

8.9 Storage Tanks

There are no recognized environmental conditions as a result of storage tanks on the target property.

8.10 Indication of PCB's

There are no recognized environmental conditions as a result of PCB's on the target property.

8.11 Indication of Solid Waste Disposal

None of the debris identified onsite appears to include hazardous substances or petroleum products, nor does it appear to present a material risk of harm to public health or the environment. As such, this debris appears to consist of a de minimis condition.

8.12 Other Conditions of Concern

There are no additional conditions on the target property that raise concern with respect to the existence of a recognized environmental condition, other than those associated with and noted in **Appendix E - Wetlands Delineation and Listed Species Assessment**.

**SECTION 10
CONCLUSIONS**

While the presence of solid waste and debris located throughout the target property has been determined to constitute a de minimis condition, it is recommended that all debris and equipment present throughout the site be collected and disposed of and/or removed to an appropriately permitted facility.

Although there are no recognized environmental conditions associated with the target property, a complete Wetlands Delineation and Listed Species Assessment was conducted to determine and define any use limitations and permitting requirements for future development. Compliance with any recommendations of that Assessment should be accomplished.

Appendix E

Wetlands Delineation and Listed Species Assessment



October 11, 2005

Mr. Dane Wren
Wren Engineering
725 Primera Blvd., Suite 110
Lake Mary, Florida 32746

**Subject: Wetland Delineation and Listed Species Assessment
Lady Lake Landing
Parcel ID No. 27-18-0002-0000-0800
Lake County, Florida
E Sciences Project No. 1-689-01-701**

Dear Mr. Wren:

E Sciences, Incorporated (E Sciences) is pleased to present this summary report detailing our wetland delineation and listed species assessment on the above-referenced undeveloped parcel totaling 52± acres located in Lake County, Florida. The on-site pedestrian surveys were conducted on September 30 and October 6, 2005 pursuant to E Sciences Proposal No 1-689-P authorized on September 29, 2005.

1.0 Site and Habitat Descriptions

The property is located at the eastern terminus of Hartsock Sawmill Road within Section 27, Township 18 South, and Range 24 East, outside the city limits of Lady Lake in Lady Lake, Florida. The surrounding land use consists of low-density residential, timber operations, agriculture, and equestrian facilities.

E Sciences staff delineated the onsite wetlands and approximated the locations of the wetland flags for the purpose of estimating acreage, as well as for surveying purposes. **Figure 1** depicts the approximate jurisdictional wetland boundaries and classifies the wetland and adjacent upland features on the property using Florida Land Use Cover and Forms Classification (FLUCFCS) designations. These delineation activities did not include verifying the wetland limits with the appropriate regulatory agencies, certified survey of wetland flag locations, or permitting.

Three wetlands were encountered onsite. Wetland A, occurring on the eastern half of the property consists of a freshwater marsh (FLUCFCS 641) and shrub wetland (FLUCFCS 631), fringed by wet prairie (FLUCFCS 643) in several areas. The freshwater marsh consists of wax myrtle (*Myrica cerifera*), button bush (*Cephalanthus occidentalis*), spatterdock (*Nuphar lutea*), pickerel weed (*Pontederia cordata*), and jointed spikerush (*Eleocharis equisetoides*). Hardwood species fringing the marsh include black gum (*Nyssa sylvatica*), dahoon holly (*Ilex cassine*), and bald cypress (*Taxodium distichum*). Wet prairie areas are dominated by blue maidencane (*Amphicarpum muhlenbergianum*), pale meadow beauty (*Rhexia mariana*), maidencane (*Panicum hemitomum*), red root (*Lachnanthes caroliniana*), goldenrod (*Solidago fistulosa*), and St. John's wort (*Hypericum* sp.). A shrub wetland occurs at the southeastern corner of the property and

E Sciences, INCORPORATED
228 South Hughey Ave. • Orlando, FL 32801
407-481-9006 fax 407-481-9627
www.esinc.com

consists of dense dahoon holly and wax myrtle. Small portions of shrub wetland also occur on the western (Wetland B) and northern (Wetland C) property boundaries and contain Carolina willow (*Salix caroliniana*) in addition to the species listed above. Portions of two small lakes (FLUCFCS 52) occur along the southern site boundaries, consisting of submerged and emergent aquatic vegetation including spatterdock and red ludwigia (*Ludwigia repens*).

The uplands within the property are classified as Live Oak (FLUCFCS 427). The canopy is dominated by mature live oak (*Quercus virginiana*) and laurel oak (*Q. laurifolia*). The subcanopy is open and consists of scattered black cherry (*Prunus serotina*), cherry laurel (*P. caroliniana*), and cabbage palm (*Sabal palmetto*). The shrub layer is generally low and evenly scattered with winged sumac (*Rhus copallinum*) and beautyberry (*Callicarpa americana*). Ground cover consists of dense bahiagrass (*Paspalum notatum*), muscadine (*Vitis rotundifolia*), blackberry (*Rubus* sp.), morning glory (*Ipomoea* sp.), beggarticks (*Bidens alba*), ragweed (*Ambrosia artemisiifolia*), dogfennel (*Eupatorium capillifolium*), elephant foot (*Elephantopus elatus*), pokeweed (*Phytolacca americana*), goldenrod (*Solidago* sp.), and blazing star (*Liatris spicata*). In addition, there appears to be an upland island within the southeastern corner of the marsh dominated by live oak. The project surveyors estimated the extent of this island area, as E Sciences staff were not able to access it.

2.0 Protected Species

The United States Fish and Wildlife Service (USFWS), through the Endangered Species Act and other regulatory instruments, and the Florida Fish and Wildlife Conservation Commission (FFWCC), through Chapter 68 of the Florida Administrative Code, regulate activities that may affect protected species. The property was evaluated on October 6, 2005 by E Sciences staff to address the occurrence or potential occurrence of Threatened, Endangered, and Species of Special Concern wildlife and plant species. The Florida Natural Areas Inventory (FNAI), USFWS, and FFWCC databases were consulted regarding current state and federally listed species that have the potential to occur within certain habitats found in the region. The purpose of the assessments was to determine if listed species are located within the limits of the parcel and verify if habitat conducive to the listed species is present on site.

Two active gopher tortoise (*Gopherus polyphemus*) burrows were observed onsite. The general location of these burrows has been depicted on **Figure 1**. Most uplands within the property contain habitat suitable for gopher tortoise, and it is believed that a small population exists onsite. The gopher tortoise is a state-listed Species of Special Concern, and therefore receives a level of protection. A quantitative gopher tortoise survey of the property is recommended to calculate the population size which would be used to evaluate permitting and mitigation options for proposed impacts to gopher tortoises and their habitat. Based on onsite habitats, other listed species with a moderate potential to occur include Sherman's fox squirrel (*Sciurus niger shermani*), Eastern indigo snake (*Drymarchon corais couperi*), gopher frog (*Rana capito*), and Florida mouse (*Podomys floridanus*).

The wetlands have a high likelihood to be used for forage and/or nesting by protected wading bird species, including snowy egret (*Egretta thula*), little blue heron (*Egretta caerulea*), and white ibis (*Eudocimus albus*), as well as by the Florida sandhill crane (*Grus canadensis pratensis*). The American alligator (*Alligator mississippiensis*) and alligator snapping turtle (*Macroclemys temminckii*) also have a high likelihood of occurring within the wetlands although none were observed during the site visit. As of October 4, 2005, the Florida Game and Freshwater Fish Commission (FWC) bald eagle (*Haliaeetus leucocephalus*) nesting database does not currently indicate an active or inactive bald eagle nest within 1,500 feet of the subject site.

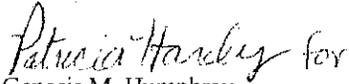
Aside from gopher tortoise, no species listed as threatened, endangered, or species of special concern were observed on site during our site visit. A list of all wildlife species observed onsite is presented in **Table 1**. Failure to establish listed species presence during our site visit should not be construed as listed species absence. Any future evidence of listed species occurring on the project and resulting impacts to habitat by proposed development should be coordinated with FFWCC and/or USFWS.

4.0 Summary

E Sciences staff conducted a wetland delineation and listed species assessment for the subject site. The large wetland system occupying the eastern half of the property in addition to the two smaller systems on the western and northern property boundaries were delineated. Active gopher tortoise burrows were encountered onsite, and a quantitative survey is recommended. E Sciences appreciates the opportunity to be of service to you. If you have any questions or require any additional information, please feel free to contact our office at (407) 481-9006.

Sincerely,
E SCIENCES, INCORPORATED

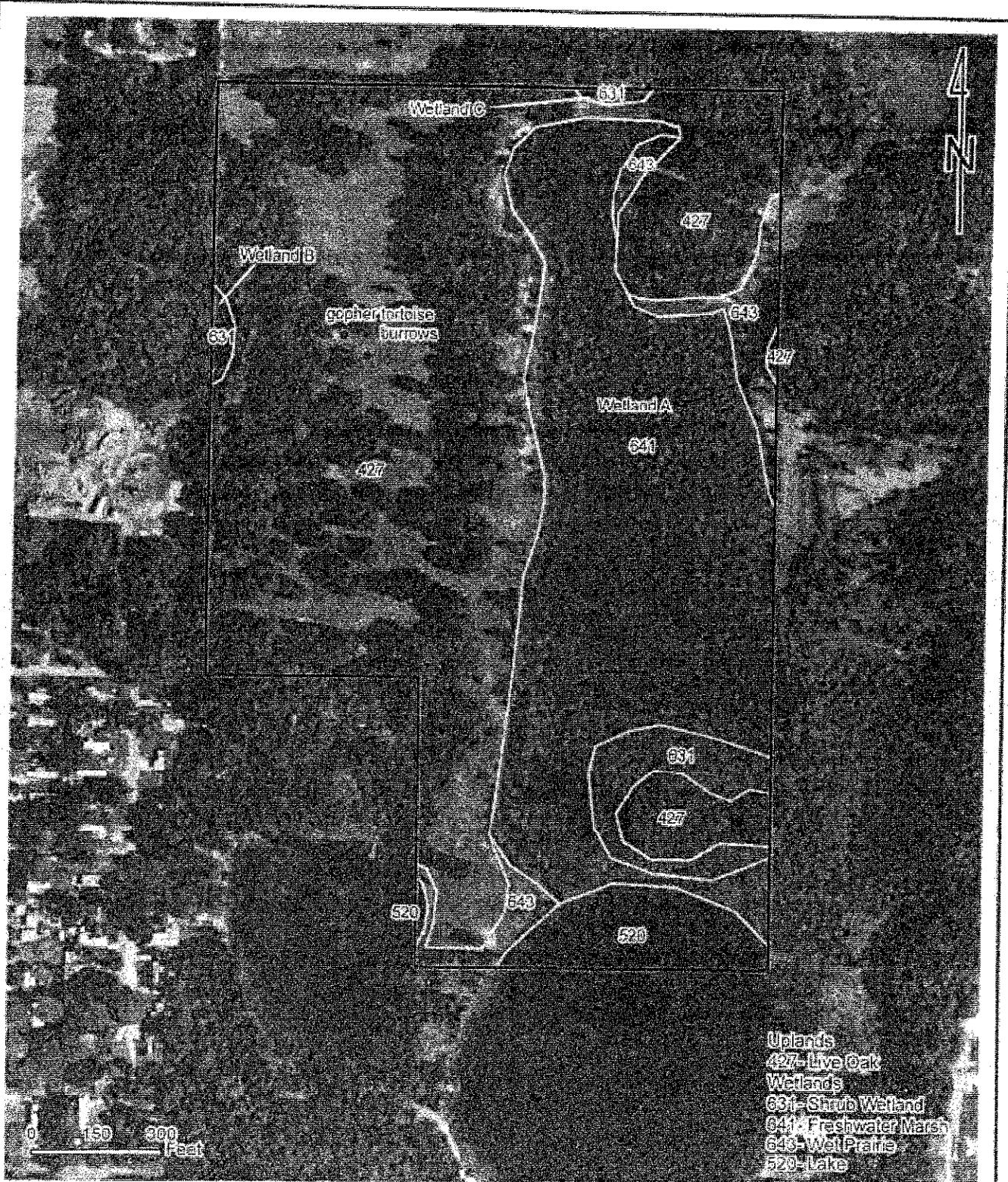

Angela M. Bowen
Senior Ecologist


Genesis M. Humphrey
Staff Scientist

Attachments: Figure 1
Table 1

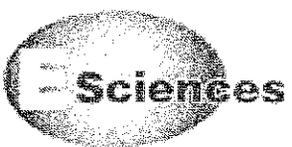
Table 1. Wildlife Observed on Subject Property
 Lady Lake Landings, Lake County, Florida
 E Sciences Project No. 1-689-01-701

COMMON NAME	SCIENTIFIC NAME
BIRDS	
northern cardinal	(<i>Cardinalis cardinalis</i>)
gray catbird	(<i>Dumotella carolinensis</i>)
red-bellied woodpecker	(<i>Melanerpes carolinus</i>)
pileated woodpecker	(<i>Dryocopus pileatus</i>)
blue jay	(<i>Cyanocitta cristata</i>)
fish crow	(<i>Corvus ossifragus</i>)
American crow	(<i>Corvus brachyrhynchos</i>)
red-winged blackbird	(<i>Agelaius phoeniceus</i>)
Carolina wren	(<i>Thryothorus ludovicianus</i>)
blue-grey gnatcatcher	(<i>Poliopitila caerulea</i>)
tufted titmouse	(<i>Parus bicolor</i>)
palm warbler	(<i>Dendroica palmarum</i>)
red shouldered hawk	(<i>Buteo lineatus</i>)
MAMMALS	
raccoon	(<i>Procyon lotor</i>)
armadillo	(<i>Hyla cinerea</i>)
Florida wood rat	(<i>Neotoma floridana</i>)
REPTILES AND AMPHIBIANS	
bullfrog	(<i>Rana catesbeiana</i>)
pig frog	(<i>Rana grylio</i>)
southern leopard frog	(<i>Rana sphenoccephala</i>)
green tree frog	(<i>Hyla cinerea</i>)
southeastern five-lined skink	(<i>Eumeces inexpectatus</i>)
rough green snake	(<i>Opheodrys aestivus</i>)
Eastern garter snake	(<i>Thamnophis sirtalis sirtalis</i>)
coral snake	(<i>Micrurus fulvius fulvius</i>)
banded water snake	(<i>Nerodia fasciata</i>)



2004 Digital Ortho Quarter Quad (DOQQ) (Lady Lake) Quad 40185e
 Source: SJRWMD

Uplands
 427 - Live Oak
 Wetlands
 631 - Shrub Wetland
 641 - Freshwater Marsh
 643 - Wet Prairie
 520 - Lake



Lady Lake Landing
 Wetlands and Vegetative Communities
 Hartsock Sawmill Road
 S 27 T 18S R 27E
 Lake County, Florida

Figure 1	
Project No. 1-889-01-701	
Scale as shown	Date 10/10/2005
Drawn By GMH	Approved <i>AS</i>

Appendix F

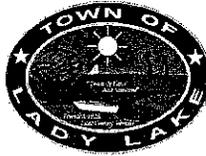
Key Personnel Resumes

Resumes Key Personnel

Mr. Dane C. Wren, P.E. has over 32 years of practical experience in hazardous waste, industrial, environmental, and municipal engineering. He has prepared and managed hazardous waste site investigations, feasibility studies, and remediation of numerous sites throughout the United States, and provides experience with detailed design of industrial waste treatment, impoundments, landfills, and closures. Mr. Wren has supervised construction of various remediation projects and coordinated the work of remediation contractors in emergency situations. He has also conducted numerous, in-depth industrial environmental audits. He has experience in the design of water and sewer systems and in the construction of various ground water supply systems, wastewater treatment plants, and pumping stations.

Mr. Dana A. Wren has over 30 years experience in engineering and construction, as a consulting engineer, construction manager and inspector, surveyor, and contractor. His design and construction experience includes pre-stressed concrete reservoirs, steel reservoirs, hydraulic structures, water pumping stations, sewer pumping stations, pipelines, dam intake structures, water and wastewater treatment plants, hazardous waste, and heavy construction.

Mr. Jeffery T. Kipi has over 15 years experience providing legal consultation and representation to businesses and individual clients covering a wide array of legal issues. Representing clients through out the United States he has supervised, consulted, and litigated legal issues in all levels of federal and state courts. Mr. Kipi has participated in presenting two cases before the United States Supreme Court and has taken numerous cases before Federal Courts of Appeals, Federal District Courts, and all levels of State Courts. His expertise includes practical knowledge of all federal and state regulatory requirements and standards.



PLANNING & ZONING BOARD AGENDA ITEM

REQUESTED BOARD MEETING DATE: June 8, 2015

SUBJECT: Ordinance No. 2015-06 – Rezoning of 53.14± Acres of Property – 53.14± Acres of Property Located at 3105 Hartsock Sawmill Road, approximately 1,500 feet east of Highway 27/441– Requesting to Change from Single Family Medium Density (RS-6) to Commercial Tourist (CT) – LPG Urban & Regional Planners on Behalf of Sawmill Holdings, LLC (Alternate Key 1771358).

DEPARTMENT: GROWTH MANAGEMENT

STAFF RECOMMENDED MOTIONS:

1. Motion to forward Ordinance No. 2015-06 , a Rezoning of 53.14± Acres of Property – Located at 3105 Hartsock Sawmill Road, approximately 1,500 feet east of Highway 27/441– Requesting to Change from Single Family Medium Density (RS-6) to Commercial Tourist (CT) to the Town Commission with the recommendation of Approval.
2. Motion to forward Ordinance No. 2015-06 , a Rezoning of 53.14± Acres of Property – Located at 3105 Hartsock Sawmill Road, approximately 1,500 feet east of Highway 27/441– Requesting to Change from Single Family Medium Density (RS-6) to Commercial Tourist (CT) to the Town Commission with the recommendation of Denial.

Staff is in Support of Motion #1

Applicant, LPG Urban & Regional Planners, has filed an application on behalf of Sawmill Holdings, LLC; to amend the Future Land Use designation of property (AK# 1771358) located South of County Road 466 and West of Rolling Acres Road, which includes 53.14± acres within Town of Lady Lake limits, from Single Family Medium Density (RS-6) to Commercial Tourist (CT). The proposed use of the property will be a 185 unit subdivision for Recreational Vehicles. The conceptual plan (attached Exhibit "C") details the applicant's proposal; in addition, a Special Exception use will be required for the RV Park uses.

The Rezoning application was received on April 28, 2015, and has been reviewed and determined to be complete satisfying the necessary criteria as required to meet the requirements of the Land Development Regulations (LDRs) as well as the adopted Comprehensive Plan, and is ready for transmittal to the Town Commission.

Notices to inform the surrounding property owners (13) within 150' of the property of the proposed amendment were mailed by certified mail return receipt on Thursday, May 21, 2015. The property was also posted Thursday, May 21, 2015.

The subject property lies in Section 27, Township 18, Range 24 in Lake County, Florida. Appropriate legal descriptions, a survey of the property, and conceptual plan have been included with the submitted application. The zoning designation of the subject property and adjacent properties are as follows:

Zoning

Subject Property	Lady Lake– Single Family Medium Density (RS-6)- Up to 6 du per acre
Zoning of Adjacent Properties	
West	Lady Lake – Manufactured Home High Density (MH-HD) and Lake County – R-1
East	Lake County – R-1
North	Lady Lake– Single Family Medium Density (RS-6)- Up to 6 du per acre
South	Lake County – Agriculture

The **Technical Review Committee (TRC)** members individually reviewed application for Ordinance 2015-05 and provided comments on May 27, 2015, determined the application to be complete and ready for transmittal to the P&Z Board.

Public Hearings

The **Town Commission** is scheduled to consider Ordinance 2015-05 for first reading on Monday, July 6, 2015.

The second and final reading will be held after the Florida Department of Economic Opportunity (DEO) has reviewed the transmitted Large-Scale Comprehensive Plan Amendment.

FISCAL IMPACT: \$ _____

Capital Budget Operating Other

ATTACHMENTS: Ordinance(s) Resolution Budget Resolution

Other

Support Documents/Contracts Available for Review in Manager’s Office

126
6-2-15

DEPARTMENT HEAD



Submitted 6/2/15

Date

FINANCE DEPARTMENT

Approved as to Budget Requirements

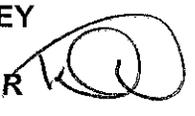
Date

TOWN ATTORNEY

Approved as to Form and Legality

Date

TOWN MANAGER



Approved Agenda Item for: 6/8/15

Date

BOARD ACTION: Approved as Recommended Disapproved

Tabled Indefinitely Continued to Date Certain

Approved with Modification

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ORDINANCE NO. 2015-06

AN ORDINANCE REDESIGNATING ZONING CLASSIFICATION FOR CERTAIN PROPERTY BEING 53.14± ACRES OF LAND, OWNED BY SAWMILL HOLDINGS, LLC, LOCATED EAST OF SOUTH HIGHWAY 27/441, WITHIN THE TOWN LIMITS OF THE TOWN OF LADY LAKE, LAKE COUNTY, FLORIDA; REZONING SUBJECT PROPERTY FROM LADY LAKE SINGLE FAMILY MEDUM DENSITY (RS-6) TO LADY LAKE COMMERCIAL TOURIST (CT); PROVIDING FOR SEVERABILITY; ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, on December 2, 1991, the Town of Lady Lake adopted a Comprehensive Plan (Ordinance No. 91-21) pursuant to the requirements of Chapter 163, Part II, Florida Statutes and Chapter 9J-5, Florida Administrative Code; and

WHEREAS, on January 23, 1992, the Florida Department of Community Affairs determined that the Town of Lady Lake Comprehensive Plan was in compliance with the requirements of Chapter 163, Part II, Florida Statutes and Chapter 9J-5, Florida Administrative Code; and

WHEREAS, on August 15, 1994, the Town of Lady Lake adopted the Land Development Regulations of the Town of Lady Lake, Florida, and Official Zoning Map in accordance with the Town of Lady Lake Comprehensive Plan and the requirements of Chapter 163, Part II, Florida Statutes; and

WHEREAS, the Town Commission of the Town of Lady Lake held a public hearing to consider a proposed amendment to the Official Zoning Map and determined that said amendment as proposed is consistent with the Town of Lady Lake Comprehensive Plan and meets the requirements of the Town of Lady Lake Land Development Regulations.

BE IT ORDAINED and enacted by the Town Commission of the Town of Lady Lake, in Lake County, Florida:

Section 1. Based upon the petition of certain landowners of property, which is located in Lake County, Florida, and described in Exhibit "A" hereto, a request has been made that the property be zoned to "Commercial Tourist", as described in the Memorandum of Agreement "Exhibit B", and shown on the Conceptual Plan "Exhibit C". Said petition has been approved by the Town Commission of the Town of Lady Lake in accordance with the Town of Lady Lake Comprehensive Plan, the Land Development Regulations of the Town of Lady Lake, the Charter of the Town of Lady Lake and the Florida Statutes, the property described in Exhibit "A" hereto is hereby rezoned to "Commercial Tourist".

Section 2. Severability. The provisions of this Ordinance are declared to be separable and if any section, sentence, clause or phrase of this Ordinance shall for any reason be held to be invalid or unconstitutional, such decision shall not effect the validity of the remaining sections,

1 sentences, clauses or phrases of this Ordinance, but they shall remain in effect, it being the
2 legislative intent that this Ordinance shall stand notwithstanding the invalidity of any part.

3
4 **Section 3. Effective Date.** This Ordinance shall become effective immediately upon its passage
5 by the Town Commission, except as limited by the provisions of Section 171.06, Florida
6 Statutes, as said provisions pertain to newly annexed property and the final adoption of a
7 Comprehensive Plan Amendment by the Town Commission.
8

9
10 **PASSED AND ORDAINED** this ___ day of _____, 2015, in the regular session of the
11 Town Commission of the Town of Lady Lake, Lake County, Florida, upon the Second/Final
12 Reading.

13
14 **TOWN OF LADY LAKE, FLORIDA**

15
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18 _____
19 Ruth Kussard, Mayor

20 ATTEST:

21
22
23 _____
24 Kristen Kollgaard, Town Clerk

25
26 APPROVED AS TO FORM:

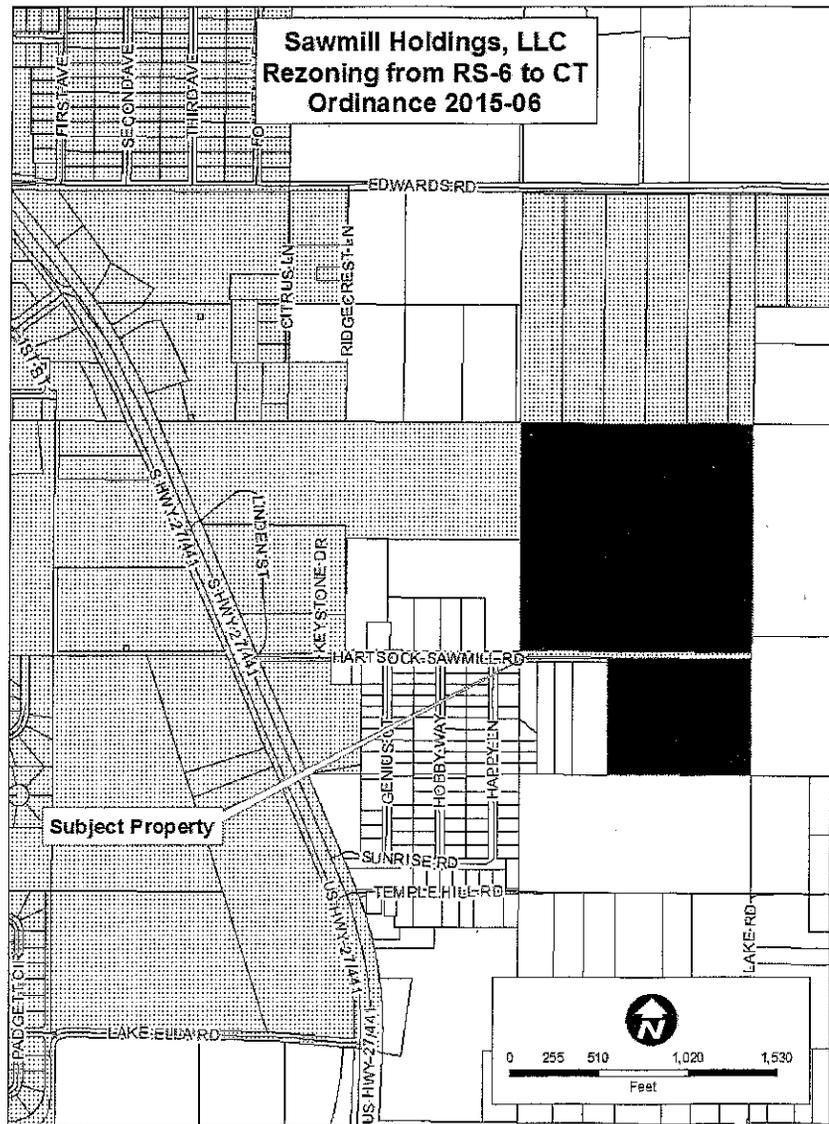
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30 _____
31 Derek Schroth, Town Attorney
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EXHIBIT "A"
Legal Description

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The Southwest ¼ of the Northwest ¼, Section 27, Township 18 South, Range 24 East, Lake County, Florida, subject to a Non-Exclusive Easement for Roadway Purposes over and across the South 30 feet; and

The North ½ of the Northwest ¼ of Southwest ¼ of Section 27, Township 18 South, Range 24 East, Lake County Florida, Less the West 500 feet thereof. Subject to a Non-Exclusive Easement for Roadway Purposes across the North 30 feet thereof.



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Exhibit "B"

MEMORANDUM OF AGREEMENT

This Memorandum of Agreement dated the _____ of _____, 2015, between the Town of Lady Lake, Florida, a Florida municipal corporation (the "Town"), whose mailing address is 409 Fennell Blvd., Lady Lake, Florida 32159, and Sawmill Holdings, LLC, whose mailing address is P.O. Box 1266, Mt. Pleasant, South Carolina 29465.

RECITALS:

1. Property owners are fee simple owners of certain real property in the Town of Lady Lake, Florida, described in the legal description attached as Exhibit "A".
2. The real property described in the legal description has a Future Land Use Map designation of Town of Lady Lake Single Family Medium Density (SF-MD). The current zoning is Single Family Medium Density (RS-6).
3. The applicant wishes to change the future land use and zoning in Exhibit "A" with the existing future land use and zoning of Commercial Tourist (CT), consistent with Lady Lake Comprehensive Plan and Land Development Code. This change is compatible with adjacent parcels in Exhibit "A" currently zoned Manufactured Homes High Density (MH-9) and Single Family Medium Density (RS-6).
4. The applicant has proposed that the site be developed as an RV Park consisting of 185 sites with a 4,500 square foot clubhouse, bath house, registration building and park. These uses will be conducted within the proposed CT zoning district as allowed in the Lady Lake Land Development Code. The proposed uses are consistent with and will further the objectives of the Lady Lake Comprehensive Plan by providing temporary alternative housing to senior citizens.
5. The Town currently has potable water and sanitary sewer available to the proposed facilities.
6. At this time, the owners wish to enter into a Memorandum of Agreement pursuant to the provisions of the Town's Land Development Regulations.

NOW THEREFORE, in recognition of the foregoing, the parties agree to the following terms and conditions as part of the proposed CT zoning for that property depicted in the attached legal description Exhibit "A".

1 1. Permitted Uses: Permitted uses shall be limited to the following: Recreational Vehicle
2 Park (gross density not to exceed four (4) units/acre), club house, bath house, registration
3 building and park.

4
5 Design Standards:

6 a. The maximum impervious surface ratio for the CT property (which includes building
7 coverage) shall be limited to eighty percent (80%).

8 b. Maximum building height shall be limited to thirty five feet (35'); however, if
9 adequate fire protection measures are provided the height limitation may be exceeded.

10 c. Setback requirements shall be:

11 1) Front Yard Setback from Hartsock Sawmill: twenty-five feet (25')

12 2) Front Yard Setback from Interior Streets: twenty feet (20')

13 3) Rear Yard Setback: ten feet (10')

14 4) Side Yard Setback: five feet (5')

15 5) Side Yard Setback from Interior Streets: twenty feet (20')

16 6) Accessories Setback: All new accessory structures shall be located no closer to
17 the property line than above listed setbacks.

18 d. Parking: The Applicant will be required to meet the parking requirements of the Lady
19 Lake Land Development Code for the proposed uses.

20 e. Landscape requirements for future development shall be reviewed by the Town in
21 accordance with individual applications in association with the Plat Process for new
22 development.

23 f. Signage: The applicant will be required to meet the sign requirements of the Lady
24 Lake Land Development Code for any proposed signs.

25
26 2. The terms and conditions as set forth in this Memorandum of Agreement shall insure to
27 the benefit of, and shall constitute a covenant running with the land under the terms,
28 conditions and provisions hereof, and shall be legally binding upon any heirs, assigns and
29 successors in title or interest, and shall be subject to each and every condition herein set
30 out.

31
32 3. The property shall be developed in a substantial accordance with the approved
33 Conceptual Development Plan (Exhibit "C"); however, may be changed due to future
34 design study and market changes as long as the design standards are adhered to and all
35 conditions of this Memorandum of Agreement.

36
37 4. The drainage and storm water retention requirements of the Town and the appropriate
38 regulatory agencies shall be met and approved by the Town. These areas shall be
39 maintained by the property owners.
40

- 1 5. All applicable rules and regulations for development within the Town shall be met.
2 Including but not limited to, Major Site Plan, landscaping, drainage, parking, signage,
3 and yard setbacks.
4
- 5 6. All lighting for the proposed facilities shall be installed such that light and/or glare shall
6 be directed upon the subject property only.
7
- 8 7. The property described in attached Exhibit "A" will be connected to the Town of Lady
9 Lake's potable water system prior to issuance of a Certificate of Occupancy.
10
- 11 8. The property described in attached Exhibit "A" will be connected to the Town of Lady
12 Lake's sanitary sewer system prior to issuance of a Certificate of Occupancy.
13
- 14 9. Enforcement of this Memorandum of Agreement shall be through the Town of Lady
15 Lake Town Commission. Upon approval of this agreement, the aforementioned property
16 shall only be used for the purposes described herein. No change in use, further expansion
17 of the uses, additions to the uses, or additions to the facilities shall be permitted except as
18 approved by formal amendment of this Memorandum of Agreement. Any other proposed
19 use shall be specifically authorized by amendment and approval of the Town of Lady
20 Lake Town Commission and shall be legally binding upon any heirs, assigns, and
21 successors in title or interest.
22
- 23 10. The owners shall be responsible for and shall comply with all county, state, and federal
24 rules and regulations related to the proposed development of the property.
25
- 26 11. This agreement shall be governed by the State of Florida
27
- 28 12. This Memorandum shall be recorded in the public record of Lake County, Florida
29

30 **COMMENCEMENT.** Notwithstanding the provisions herein, development shall commence
31 within (12) months following the approval of the Plat Improvement Plans from the Town of
32 Lady Lake.
33

34 **In Witness Whereof,** the parties hereto have executed this Agreement on the date first above
35 written.
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TOWN OF LADY LAKE, FLORIDA

Ruth Kussard, Mayor

ATTEST:

Kristen Kollgaard, Town Clerk

APPROVED AS TO FORM:

Derek Schroth, Town Attorney

OWNER

By: _____
Randy Bates

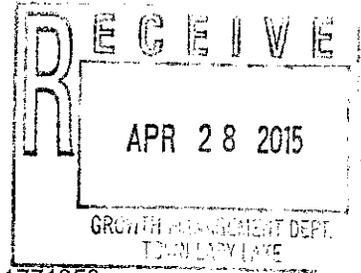
State of Florida
County of Lake

The foregoing instrument was acknowledged before me this ___ day of _____, 2015
by _____, Owner of the Property, who is personally known to me to have
produced _____ as identification.

NOTARY PUBLIC, State of Florida

My Commission Expires:

TOWN OF LADY LAKE
REZONING APPLICATION



Tax identification/AK # 1771358

1. Owner's Name: Randy Bates, Sawmill Holdings, LLC
Mailing Address: P.O. Box 1266, Mt. Pleasant, SC 29465
Telephone #: 843-608-5300

2. Applicant's Name: Greg Beliveau, LPG Urban & Regional Planners, Inc.
Mailing Address: 1162 Camp Ave., Mt. Dora, FL 32757
Telephone #: 352-385-1940

3. Applicant is: Owner ___ Agent Purchaser ___ Lessee ___ Optionee ___

4. Property Address/Location: Hartssock Sawmill Road

5. Legal Description of Property to be rezoned: See Attached

8. The property is located in the vicinity of the following streets:
East of US 27441 and north of Hartssock Sawmill Road

7. Area of Property: _____ Square feet 53.14 +/- Acres

8. Utilities: Central Water Central Sewer Well ___ Septic Tank ___

9. Existing zoning of property: RS-6

10. Requested zoning of property: Commercial Tourist (CT)

Note: If the requested zoning is a Planned Unit Development (PUD), indicate type: ___ Residential, ___ Commercial, ___ Industrial, ___ Mixed Use, and refer to the requirements of the preliminary development plan and see Chapter ___ of the LDR Code. If the rezoning is to Manufactured Homes High Density (MH-9), a Master Park Plan shall be submitted.

11. Number, square footage and present use of the existing structures on the property;
Undeveloped

12. Proposed use the property: RV Park with associated amenities

13. Has any land use application been file within last year in connection with this property? Yes ___ No. If yes, briefly describe the nature of the request:
Requested LSCPA to Commercial Tourist

14. Attach a list of the owner's names and mailing addresses for all property lying within a one hundred fifty (150) foot radius surrounding the property legally described in this application.

Applications shall include a legal description of the property, sketch or survey of the property, Proof of ownership and authorization from if represented by an agent or contract purchaser. If the rezoning request is not consistent with the Future Land Use classification, a Comprehensive Plan Amendment must be approved prior to the rezoning.

I certify that the statements in this application are true to the best of my knowledge.


Signature of Applicant

PLEASE SUBMIT THE APPLICATION, ACCOMPANIED BY THE APPROPRIATE REVIEW FEES AND EIGHT (8) COPIES OF ALL APPLICABLE INFORMATION DOCUMENTATION AS REQUIRED BY THE LADY LAKE LAND DEVELOPMENT REGULATIONS, ADOPTED AUGUST 15, 1994 TO THE GROWTH MANAGEMENT DEVELOPMENT DEPARTMENT.

Office Use:

Date Application Received 4-28-15 Received by \$ W. When

Fees Paid \$ 1,000⁰⁰

NOTE

All applications shall be signed by the owner of the property, or some person duly authorized by the owner to sign. This authority authorizing a person other than the owner to sign must be attached.

14. Attach a list of the owner's names and mailing addresses for all property lying within a one hundred fifty (150) foot radius surrounding the property legally described in this application.

Applications shall include a legal description of the property, sketch or survey of the property, Proof of ownership and authorization from if represented by an agent or contract purchaser. If the rezoning request is not consistent with the Future Land Use classification, a Comprehensive Plan Amendment must be approved prior to the rezoning.

I certify that the statements in this application are true to the best of my knowledge.

Rob Bates for Summit Holdings LLC
Signature of Applicant

PLEASE SUBMIT THE APPLICATION, ACCOMPANIED BY THE APPROPRIATE REVIEW FEES AND EIGHT (8) COPIES OF ALL APPLICABLE INFORMATION DOCUMENTATION AS REQUIRED BY THE LADY LAKE LAND DEVELOPMENT REGULATIONS, ADOPTED AUGUST 15, 1994 TO THE GROWTH MANAGEMENT DEVELOPMENT DEPARTMENT.

<u>Office Use:</u>	
Date Application Received: <u>4-28-15</u>	Received by: <u>WOTTON</u>
Fees Paid: <u>\$1,000</u>	

NOTE

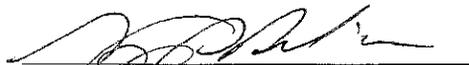
All applications shall be signed by the owner of the property, or some person duly authorized by the owner to sign. This authority authorizing a person other than the owner to sign must be attached.

APPLICANT'S AFFIDAVIT

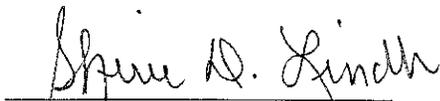
STATE OF FLORIDA
COUNTY OF LAKE

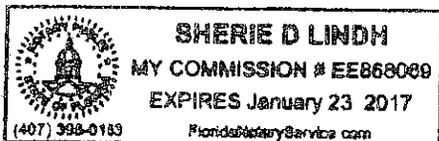
Before me, the undersigned authority personally appeared Greg Beliveau, who being by me first duly sworn on oath, deposes and says:

- (1) That he affirms and certifies that he understands and will comply with all ordinances, regulations and provisions of the Town of Lady Lake, Florida, and that all statements and diagrams submitted herewith are true and accurate to the best of his/her knowledge and belief, and further, that this application and attachments shall become part of the Official Records of the Town of Lady Lake, Florida, and are not returnable.
- (2) That the submittal requirements for the application have been completed and attached hereto as part of this application.
- (3) That the applicant desires Rezoning to the CT zoning classification to allow:
RV Park
- (4) That the sign cards will be posted at least seven (7) days prior to the Planning and Zoning Board hearing and will remain posted until final determination by the Town Commission after which time the sign cards are to be removed.


Affiant (Applicant's Signature)

The foregoing instrument was acknowledged before me this 28 day of April, 2015, by Greg Beliveau, who is personally known to me or who has produced _____ as identification and who did (did not) take an oath.


Notary Public



OWNER'S AFFIDAVIT

**STATE OF FLORIDA
COUNTY OF LAKE**

Before me, the undersigned authority personally appeared Randy Bates, Manager, who being by me first duly sworn on oath, deposes and says:

(1) That he is the fee-simple owner of the property legally described on page one of this application.

(2) That he desires approval for rezoning of said property with the classification of CT to allow: RV Park

(3) That he has appointed Greg Beliveau to act as agent in his behalf to accomplish the above. The Owner is required to complete the APPLICANT'S AFFIDAVIT of this application if no agent is appointed to act in his stead.

R. Bates, manager for Sawmill Holdings LLC
Affiant (Owner's Signature)

The foregoing instrument was acknowledged before me this 22nd day of April, 2015, by Randy Bates, who is personally known to me or who has produced driver's license as identification and who did (did not) take an oath.

Charles Salmon
Notary Public



PREPARED BY:
Jill Dehoop
City Title Services, LLC
540 E. Horatio Ave Suite 101
Maitland, FL 32751

Parcel ID Number: 2718240002-000-00800

NOTE TO CLERK/TAX EXAMINER: Actual consideration

paid is \$ 132,000.00

Warranty Deed

This Indenture, Made this 12th day of December, 2014 A.D. Between
Dream Street Equity LLC, a Florida limited liability company

of the County of CITRUS, State of Florida, grantor, and
Sawmill Holdings LLC, a Florida limited liability company

whose address is: PO Box 1266, Mount Pleasant, SC 29465

of the County of Charleston, State of South Carolina, grantee.

Witnesseth that the GRANTOR, for and in consideration of the sum of

-----TEN DOLLARS (\$10)----- DOLLARS,
and other good and valuable consideration to GRANTOR in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, has
granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate,
lying and being in the County of Lake State of Florida to wit:

The Southwest 1/4 of the Northwest 1/4 of Section 27, Township 18
South, Range 24 East, Lake County, Florida, Subject to a
non-exclusive easement for roadway purposes over and across the South
30 feet.

AND

The North 1/2 of the Northwest 1/4 of the Southwest 1/4 of Section
27, Township 18 South, Range 24 East, Lake County, Florida, less the
West 500 feet thereof. Subject to a non-exclusive easement for
roadway purposes over and across the North 30 feet thereof.

See Exhibit A

and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

Warranty Deed - Page 2

Parcel ID Number: 2718240002-000-00800

In Witness Whereof, the grantor has hereunto set its hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Dream Street Equity LLC, a Florida limited liability company

Witness: Dennis Krause
Printed Name: Dennis Krause
Witness

By: Chris Underwood (Seal)
Chris Underwood
Managing Member
P.O. Address: 3050 W. Century Blvd, BEVERLY HILLS, FL 34465
531 W. Barmore

Witness: Mike Duell
Printed Name: Mike Duell
Witness

STATE OF Florida
COUNTY OF Citrus

The foregoing instrument was acknowledged before me this 11th day of December, 2014 by Chris Underwood, Managing Member of Dream Street Equity LLC, a Florida limited liability company who is personally known to me or who has produced his Florida driver's license as identification.

Notary Public: Natalie Krause
Printed Name: Natalie Krause
Notary Public
My Commission Expires:

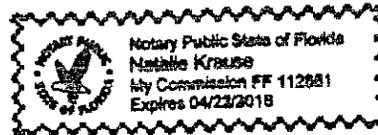


Exhibit "A"

AFFIDAVIT

STATE OF
COUNTY OF

BEFORE ME, the undersigned authority, duly authorized to administer oaths and take acknowledgments, personally appeared this day, **Chris Underwood, Managing Member of Dream Street Equity LLC, a Florida limited liability company** who, after being duly sworn, deposes and says as follows:

That Affiant(s) is/are the _____ of the following legally described property:
The Southwest 1/4 of the Northwest 1/4 of Section 27, Township 18 South, Range 24 East, Lake County, Florida, Subject to a non-exclusive easement for roadway purposes over and across the South 30 feet.

AND

The North 1/2 of the Northwest 1/4 of the Southwest 1/4 of Section 27, Township 18 South, Range 24 East, Lake County, Florida, less the West 500 feet thereof. Subject to a non-exclusive easement for roadway purposes over and across the North 30 feet thereof.

Dream Street Equity, LLC is organized in the state of Florida

the LLC is manager-managed Chris Underwood is the Managing Member and the person authorized to execute the deed; and

neither the LLC nor any member signing the deed have filed bankruptcy since the LLC acquired title.

FURTHER AFFIANT SAYETH NAUGHT.

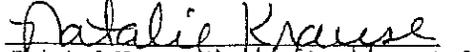
Dream Street Equity LLC, a Florida limited liability company

By: 
Chris Underwood
Managing Member 531 W. Barrymore Dr

Dover Hills, FL 34465

STATE OF ^D Florida
COUNTY OF ^D Citrus

Sworn to and subscribed before me this 11th day of December, 2014 by Chris Underwood, Managing Member of Dream Street Equity LLC, a Florida limited liability company who is personally known to me or who has produced his Florida driver's license as identification.


Printed Name: Natalie Krause
Notary Public
My Commission Expires:



Property Record Card General Information

Owner Name:	SAWMILL HOLDINGS LLC	Alternate Key:	1771358
Mailing Address:	PO BOX 1266 MOUNT PLEASANT, SC 29465-1266 Update Mailing Address	Parcel Number:	27-18-24-000200000800
		Millage Group and City:	00LL (Lady Lake)
		Total Millage Rate:	19.04670
		Trash/Recycling/Water/Info:	My Public Services Map
Property Location:	3105 HARTSOCK SAWMILL RD LADY LAKE FL 32159 Update Property Location	Property Name:	-- Submit Property Name
		School Locator:	School and Bus Map
Property Description:	SW 1/4 OF NW 1/4--LESS S 30 FT--N 1/2 OF NW 1/4 OF SW 1/4--LESS W 500 FT-- ORB 4564 PG 1506		

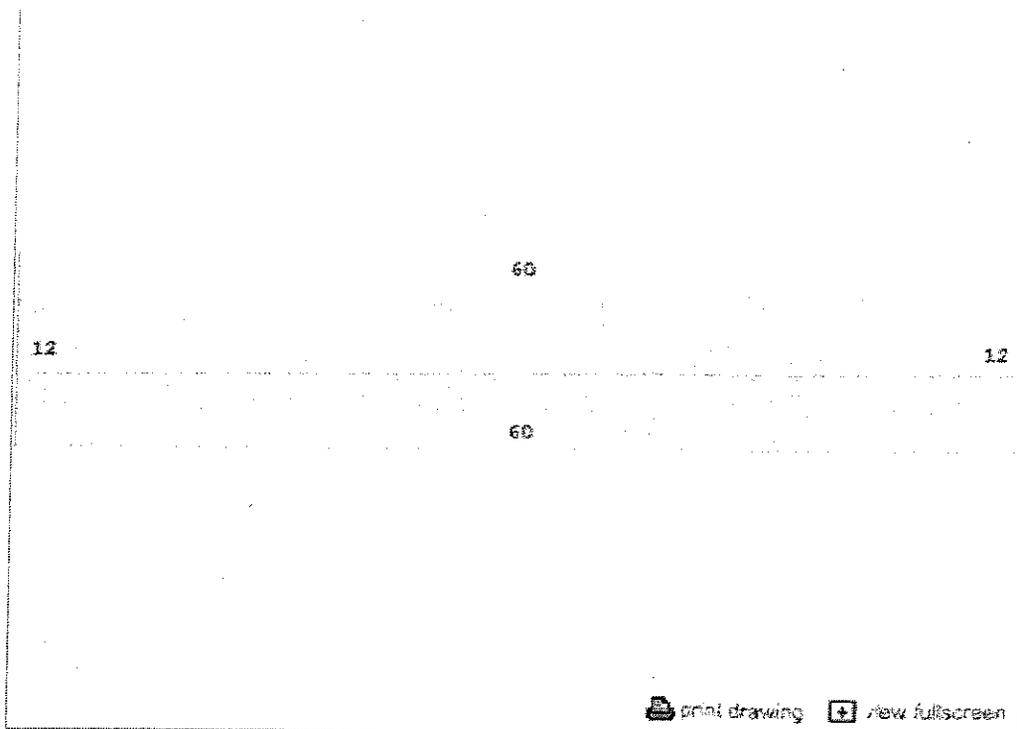
Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	MH ACRE / LT NOT IN PARK (0230)	0	0		1	AC	\$0.00	\$14,350.00
2	NON AGRICULTURAL ACREAGE (9900)	0	0		22	AC	\$0.00	\$168,300.00
3	WASTELANDS (9600)	0	0		28	AC	\$0.00	\$1,260.00

Residential Building(s)

Building 001

Residential	Mobile Home	Building Value: \$8,864.00						
Summary								
Year Built: 1971	Total Living Area: 720	Central A/C: Yes	Attached Garage: No					
Bedrooms: 0	Full Bathrooms: 1	Half Bathrooms: 0	Fireplaces: 0					
<i>Incorrect Bedroom, Bath, or other information? Click here to Update My Information.</i>								
Section(s)								
Section No.	Section Type	Ext. Wall Type	No. Stories	Floor Area	Finished Attic	Basement	Basement Finished	Map Color
1	FINISHED LIVING AREA (FLA)	Wood (001)	1	720	N	0%	0%	<input type="checkbox"/>



Miscellaneous Improvements

No.	Type	No. Units	Unit Type	Year	Depreciated Value
0001	BOATHOUSE (BHS)	252	SF	1966	\$1,397.00

Sales History

O.R. Book / Page	Sale Date	Instrument	Q/U	Vac./Imp.	Sale Price
2795 / 981	3/30/2005	WD	Q	I	\$416,000.00
3150 / 2295	4/28/2006	WD	Q	I	\$1,100,000.00
4379 / 1336	8/20/2013	CT	U	I	\$97,900.00
4564 / 1506	12/12/2014	WD	Q	I	\$132,000.00

Values and Estimated Taxes

Tax Authority	Just Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC	\$194,171	\$194,171	\$194,171	5.38560	\$1,045.73
LAKE COUNTY MSTU AMBULANCE	\$194,171	\$194,171	\$194,171	0.46290	\$89.88
LAKE COUNTY MSTU FIRE	\$194,171	\$194,171	\$194,171	0.47040	\$91.34
SCHOOL BOARD STATE	\$194,171	\$194,171	\$194,171	5.74600	\$1,115.71
SCHOOL BOARD LOCAL	\$194,171	\$194,171	\$194,171	1.50000	\$291.26
TOWN OF LADY LAKE	\$194,171	\$194,171	\$194,171	3.75000	\$728.14
ST JOHNS RIVER FL WATER MGMT DIST	\$194,171	\$194,171	\$194,171	0.31640	\$61.44
LAKE COUNTY VOTED DEBT SERVICE	\$194,171	\$194,171	\$194,171	0.16000	\$31.07
LAKE COUNTY WATER AUTHORITY	\$194,171	\$194,171	\$194,171	0.25540	\$49.59
NORTH LAKE HOSPITAL DIST	\$194,171	\$194,171	\$194,171	1.00000	\$194.17
			Total:	Total:	
			19.0467	\$3,698.33	

The values displayed above may NOT reflect certified values and therefore are subject to change before being finalized for ad valorem assessment purposes. The estimated tax totals are based on prior year adopted millage rates until each taxing authority certifies proposed rates (annually in mid-August) and adopts final millage rates (late September) of each year. Estimated tax totals do not reflect non-ad valorem assessments. (Fire Fees, Solid Waste, etc.) Please consult the Tax Collector for actual taxation amounts.

Copyright © 2014 Lake County Property Appraiser. All rights reserved.
Property data last updated on 12 January 2015.

**Electronic Articles of Organization
For
Florida Limited Liability Company**

L14000188822
FILED 8:00 AM
December 10, 2014
Sec. Of State
nculligan

Article I

The name of the Limited Liability Company is:

SAWMILL HOLDINGS LLC

Article II

The street address of the principal office of the Limited Liability Company is:

303 E PAR STREET
ORLANDO, FL. 32804

The mailing address of the Limited Liability Company is:

PO BOX 1266
MT PLEASANT, SC. US 29465

Article III

The name and Florida street address of the registered agent is:

PETER A LEERDAM
303 E PAR STREET
ORLANDO, FL. 32804

Having been named as registered agent and to accept service of process for the above stated limited liability company at the place designated in this certificate, I hereby accept the appointment as registered agent and agree to act in this capacity. I further agree to comply with the provisions of all statutes relating to the proper and complete performance of my duties, and I am familiar with and accept the obligations of my position as registered agent.

Registered Agent Signature: PETER LEERDAM

**FLORIDA DEPARTMENT OF STATE
DIVISION OF CORPORATIONS****Detail by Entity Name****Florida Limited Liability Company**

SAWMILL HOLDINGS LLC

Filing Information

Document Number	L14000188822
FEI/EIN Number	NONE
Date Filed	12/10/2014
State	FL
Status	ACTIVE
Effective Date	12/10/2014

Principal Address303 E PAR STREET
ORLANDO, FL 32804**Mailing Address**PO BOX 1266
MT PLEASANT, SC 29465**Registered Agent Name & Address**LEERDAM, PETER A
303 E PAR STREET
ORLANDO, FL 32804**Authorized Person(s) Detail****Name & Address**

Title MGR

BATES, RANDY J
PO BOX 1266
MT PLEASANT, SC 29465

Title AMBR

BATES, RANDY J, II
PO BOX 1266
MT PLEASANT, SC 29465**Annual Reports**

No Annual Reports Filed

Sawmill Holdings, LLC, a Florida RV Resort

The RV lifestyle is one that has shown a steady increase in popularity as America takes to the wheel in search of popular destinations including National Parks and locations within the Sunbelt States. Most of the RV community is comprised of retirees, like the swelling Baby Boomer generation, and, therefore, our site selection process was focused on locations that are welcoming to retirees and offer the types of amenities that they seek such as golf, boating, and shopping conveniences. Of course, the proximity to the major tourism in Orlando and access to the coastal Florida beaches and cities was part of the site selection process as well. After searching for prospective locations, we determined that the Town of Lady Lake was a location that fit the parameters of our search.

The specific site attracted us in that it offers natural features such as lake views, beautiful trees, and gentle topography, as well as its close proximity to the highway network. These are the same characteristics that have made some of the other RV resorts successful in the area.

Our analysis revealed the RV communities' patrons have increasing discretionary income for their leisure and amenities associated with the leisure. In order to cater to that market, we intend to have exceptional amenities.

We found that the Town of Lady Lake and the surrounding areas had very little vacancy for a product that contained relatively small pads. Further, our research showed the site would provide another complimentary alternative to the Villages for our target market. Plus, with the advent of new technologies, this site would provide exceptional connectivity for the ever-increasingly tech-savvy traveler / RVer.

Aside from our market evaluation, we performed our preliminary due diligence of the site for over a year prior to purchasing and held a preliminary application meeting with the Town staff.

After completing our investigations, it is our conclusion that the market demand for this project is strong, and this type of development shall serve as a good fit for the community of Lady Lake.

Please see the recent market report from the RVIA on the sales.

Market Report

February 2015

RV wholesale shipments to retailers continued to improve in February reaching 32,045 units during the second month this year, a 12.5% increase over last month and a 4% increase over this same month one year ago. Reacting to an improved economic climate and rising consumer sentiment wholesale shipments responded with the highest February total since 2006.

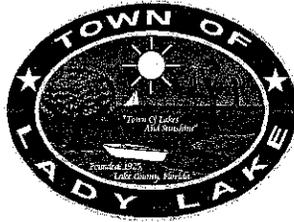
In spite of winter's disruptive patterns RV shipments have consistently outperform recent history and continue to set new records. Through the first two months this year shipments have reached 60,539 units, a gain of 7.5% compared to the same period last year. On a seasonally adjusted basis, shipments through February were at an annual rate of more than 395,000 units, more than 10% ahead of the actual 2014 total.

EXHIBIT A
LEGAL DESCRIPTION
SAWMILL HOLDINGS, LLC

The Southwest $\frac{1}{4}$ of the Northwest $\frac{1}{4}$, Section 27, Township 18 South, Range 24 East, Lake County, Florida, subject to a Non-Exclusive Easement for Roadway Purposes over and across the South 30 feet.

AND

The North $\frac{1}{2}$ of the Northwest $\frac{1}{4}$ of Southwest $\frac{1}{4}$ of Section 27, Township 18 South, Range 24 East, Lake County, Florida, Less the West 500 feet thereof. Subject to a Non-Exclusive Easement for Roadway Purposes across the North 30 feet thereof.



TECHNICAL REVIEW COMMITTEE COMMENTS FINAL REVIEW 05/28/2015

Project: Sawmill Holdings, LLC

Proposal:

Ordinance 2015-05- Large Scale Future Land Use Amendment Application to change Future Land Use from Single Family Medium Density (SF-MD) to Commercial Tourist (CT) to establish an RV Park Facility at 3105 Hartsock Sawmill Road, approximately 1,500 feet east of Highway 27/441, in Lady Lake, FL (Alternate Key 1771358).

Ordinance 2015-06- Rezoning Application to change Future Land Use from Single Family Medium Density (RS-6) to Commercial Tourist (CT) to establish an RV Park Facility at 3105 Hartsock Sawmill Road, approximately 1,500 feet east of Highway 27/441, in Lady Lake, FL (Alternate Key 1771358).

Ordinance 2015-07- Special Exception Use Application to incorporate terms and conditions for the development and operation of a 185-unit RV Park Facility with a 4,500-square-foot clubhouse, bathhouse, registration building and park at 3105 Hartsock Sawmill Road, approximately 1,500 feet east of Highway 27/441, in Lady Lake, FL (Alternate Key 1771358).

Description:

On 04/28/2015, Town Staff received applications proposing a 185-Unit RV Site for property located at 3105 Hartsock Sawmill Road, approximately 1,500 feet east of South Highway 27/441, identified by alternate key number 1771358. The conceptual bubble plan dated April 28, 2015 submitted by LPG Urban and Regional Planners, Inc., highlights a complete facility to include clubhouse, bath house, registration/office building, and park with a Frame Vernacular Architectural Style. The projected density for the plan is 3.56 units/acre with a typical RV lot size of 3,600 (40' x90') square feet. The lots will be individually sold for fee-simple ownership.

The applications were reviewed and determine to be in compliance with the Land Development Regulations (LDRs) and the Comprehensive Plan.

The property is currently zoned "RS-6" Single Family Medium Density, and the rezoning proposal seeks to establish the Commercial Tourist (CT) zoning designation to allow the RV Park Facility. The current Future Land Use Map designation for the site is Single Family Medium Density (SF-MD), and the large scale seeks to amend to Commercial Tourist (CT).

GENERAL INFORMATION

Below are staff comments from the Town of Lady Lake regarding your development. A hard copy via hand delivery and an electronic copy via e-mail are provided to the applicant. Comments are organized by department and must be sufficiently addressed before the proposal may proceed. If a re-submittal is

warranted, the applicant shall provide written responses to each individual staff comment contained within this transmittal. **Re-submittals will not be accepted without bulleted written responses.**

Following submittal of any required revisions and responses, correspondence will be forwarded indicating the proposal's status, either: (1) requiring additional revision or documentations; or (2) ready for approval. Site plans are subject to public hearing, as well as plats, annexation requests, zoning requests, and comprehensive plan requests. When applicable, you will receive written notification that the item is scheduled for review by the Planning and Zoning Board or Town Commission. For additional information, contact Thad Carroll at (352) 751-1521.

GROWTH MANAGEMENT

Questions may be directed to Wendy Then, at wthen@ladylake.org

1. All comments are addressed under the Growth Management Dept. as of 05-28-2015.
-

POLICE

Questions may be directed to Chief Chris McKinstry at cmckinstry@ladylake.org

1. No comments at this time from the Police Dept. regarding this project as of 05-27-2015.
-

FIRE

Questions may be directed to Kerry Barnett at k-l5122@peoplepc.com or via phone 813-778-4981

1. No comments required from Fire Inspector at the Large Scale and Rezoning stage.
-

BUILDING

Questions may be directed to Dallas Foss, Building Official at dfoss@usanova.com.

1. No comments at this time -05-27-2015.
-

PUBLIC WORKS

Questions may be directed to Butch Goodman, Utilities Supervisor at bgoodman@ladylakepw.org

1. No comments at this time from the Lady Lake Public Works Dept.-5-27-2015.
-

LAKE-SUMTER MPO

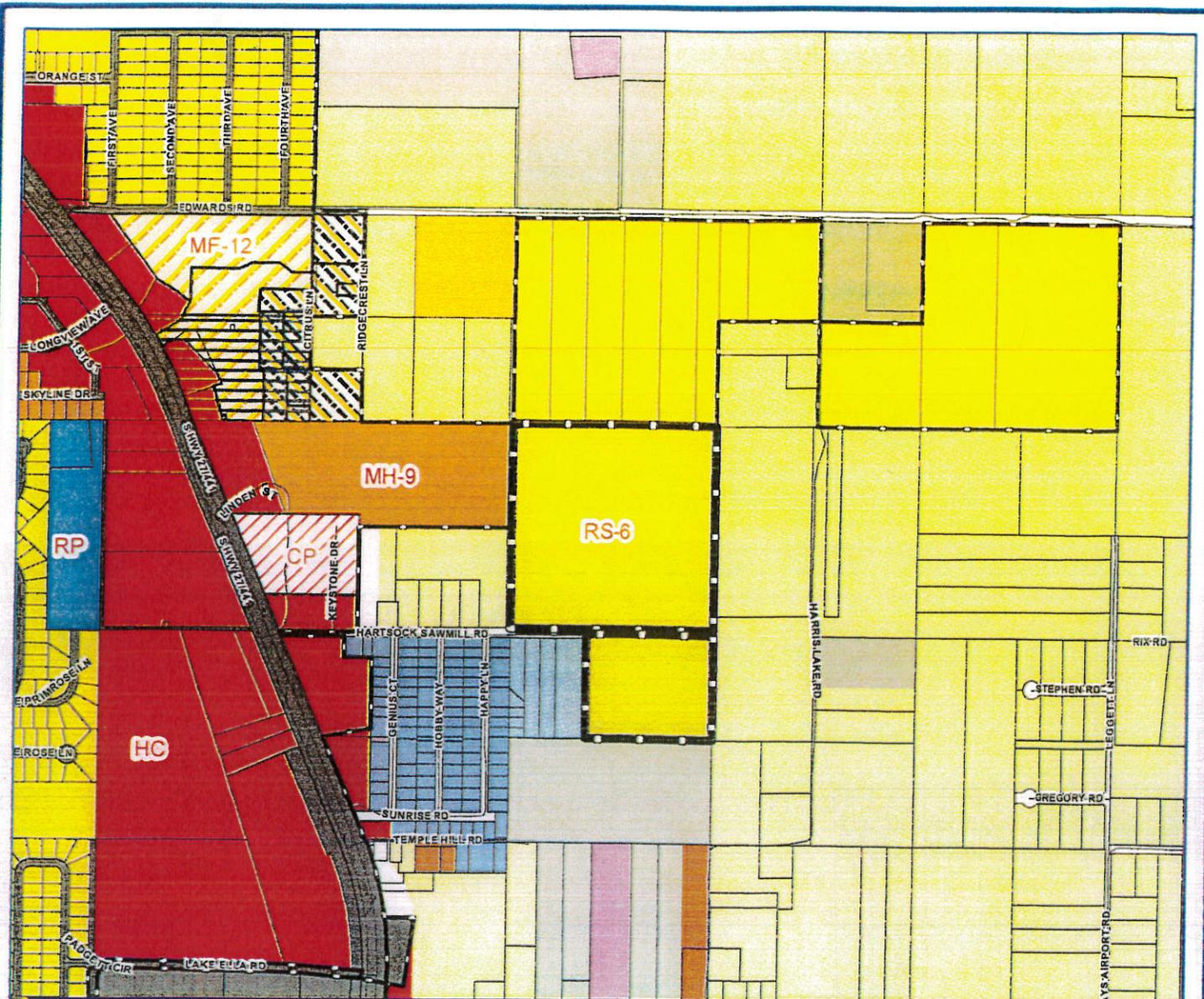
Questions may be directed to Pam Richmond at PRichmond@LakeSumterMPO.com or at 352-315-0170

1. Review Pending by MPO as of 05-28-2015.

Town of Lady Lake
Sawmill Holdings, LLC

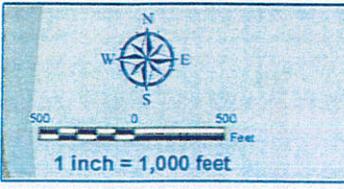
Surrounding Property Owners within 150'

DUNLAP BERNARD E	3006 HARTSOCK SAWMILL RD	LADY LAKE	FL	32159
BULL FRED & BARBARA LIFE ESTATE	79 HUDSON ST S	GLENS FALLS	NY	12803
PATEL RAJESH & KRISHNA	2115 NICOLETTE WAY	LEESBURG	FL	34748
MOYE KENNETH & JANET	14201 LEANING PINE DR	MIAMI LAKES	FL	33014
VAN NESS RUSSELL R & LORETTA	15469 CAMP DUBOIS CRES	WINTER GARDEN	FL	34787
SHADOW OAK FARMS LLC	PO BOX 214866	SOUTH DAYTONA	FL	32121
DUNMIRE RONALD A & ANITA	8014 ROGERS PL	WESLEY CHAPEL	FL	33544
LIGHTY DAVID J & CHERYL A	3026 HARTSOCK SAWMILL RD	LADY LAKE	FL	32159
GIBSON JAMES B	37820 RIDGECREST LN	LADY LAKE	FL	32159
SHADOW OAK FARMS LLC	PO BOX 214866	SOUTH DAYTONA	FL	32121
SHADOW OAK FARMS LLC	PO BOX 214866	SOUTH DAYTONA	FL	32121
SHADOW OAK FARMS LLC	PO BOX 214866	SOUTH DAYTONA	FL	32121
SHADOW OAK FARMS LLC	PO BOX 214866	SOUTH DAYTONA	FL	32121
SHADOW OAK FARMS LLC	PO BOX 214866	SOUTH DAYTONA	FL	32121
HARTSOCK MARIANE	3040 HARTSOCK SAWMILL RD	LADY LAKE	FL	32159
DUNLAP BERNARD E	3006 HARTSOCK SAWMILL RD	LADY LAKE	FL	32159
ENGLISH JUANITA G	178-26 ZOLLER RD	SPRINGFIELD GARDENS	NY	11444
MOYE KENNETH & JANET	14201 LEANING PINE DR	MIAMI LAKES	FL	33014
SOUTH EASTERN TIMBER CORP INC	PO BOX 9289	CORAL SPRINGS	FL	33075
BEAHAN J T IV ET AL	34 CLAYTON LN	SANDY LAKE	PA	18145



Legend

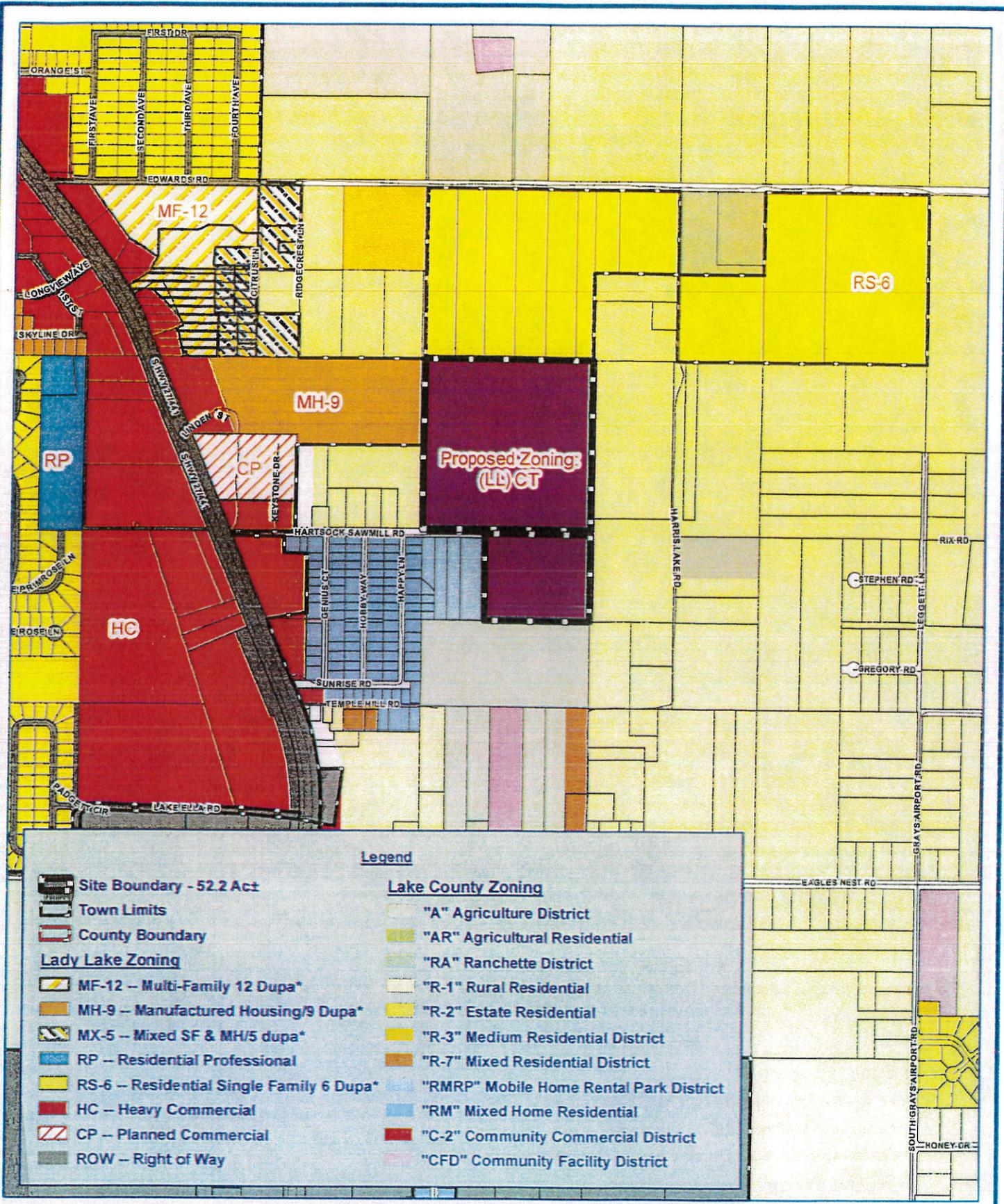
Site Boundary - 52.2 Ac±	Lake County Zoning
Town Limits	"A" Agriculture District
County Boundary	"AR" Agricultural Residential
Lady Lake Zoning	"RA" Ranchette District
MF-12 -- Multi-Family 12 Dupa*	"R-1" Rural Residential
MH-9 -- Manufactured Housing/9 Dupa*	"R-2" Estate Residential
MX-5 -- Mixed SF & MH/5 dupa*	"R-3" Medium Residential District
RP -- Residential Professional	"R-7" Mixed Residential District
RS-6 -- Residential Single Family 6 Dupa*	"RMRP" Mobile Home Rental Park District
HC -- Heavy Commercial	"RM" Mixed Home Residential
CP -- Planned Commercial	"C-2" Community Commercial District
ROW -- Right of Way	"CFD" Community Facility District



Town of Lady Lake
Sawmill Holdings, LLC
 Lake County, Florida
 Existing Zoning

Project: 1615-1
 File: Existing Zoning.mxd
 Name: Sawmill Holdings
 PM: Sherie Lindh
 Date: April 8, 2015
 Created By: J. Wilson





Legend

- Site Boundary - 52.2 Act
- Town Limits
- County Boundary
- Lady Lake Zoning**
- MF-12 -- Multi-Family 12 Dupa*
- MH-9 -- Manufactured Housing/9 Dupa*
- MX-5 -- Mixed SF & MH/5 dupa*
- RP -- Residential Professional
- RS-6 -- Residential Single Family 6 Dupa*
- HC -- Heavy Commercial
- CP -- Planned Commercial
- ROW -- Right of Way
- Lake County Zoning**
- "A" Agriculture District
- "AR" Agricultural Residential
- "RA" Ranchette District
- "R-1" Rural Residential
- "R-2" Estate Residential
- "R-3" Medium Residential District
- "R-7" Mixed Residential District
- "RMRP" Mobile Home Rental Park District
- "RM" Mixed Home Residential
- "C-2" Community Commercial District
- "CFD" Community Facility District

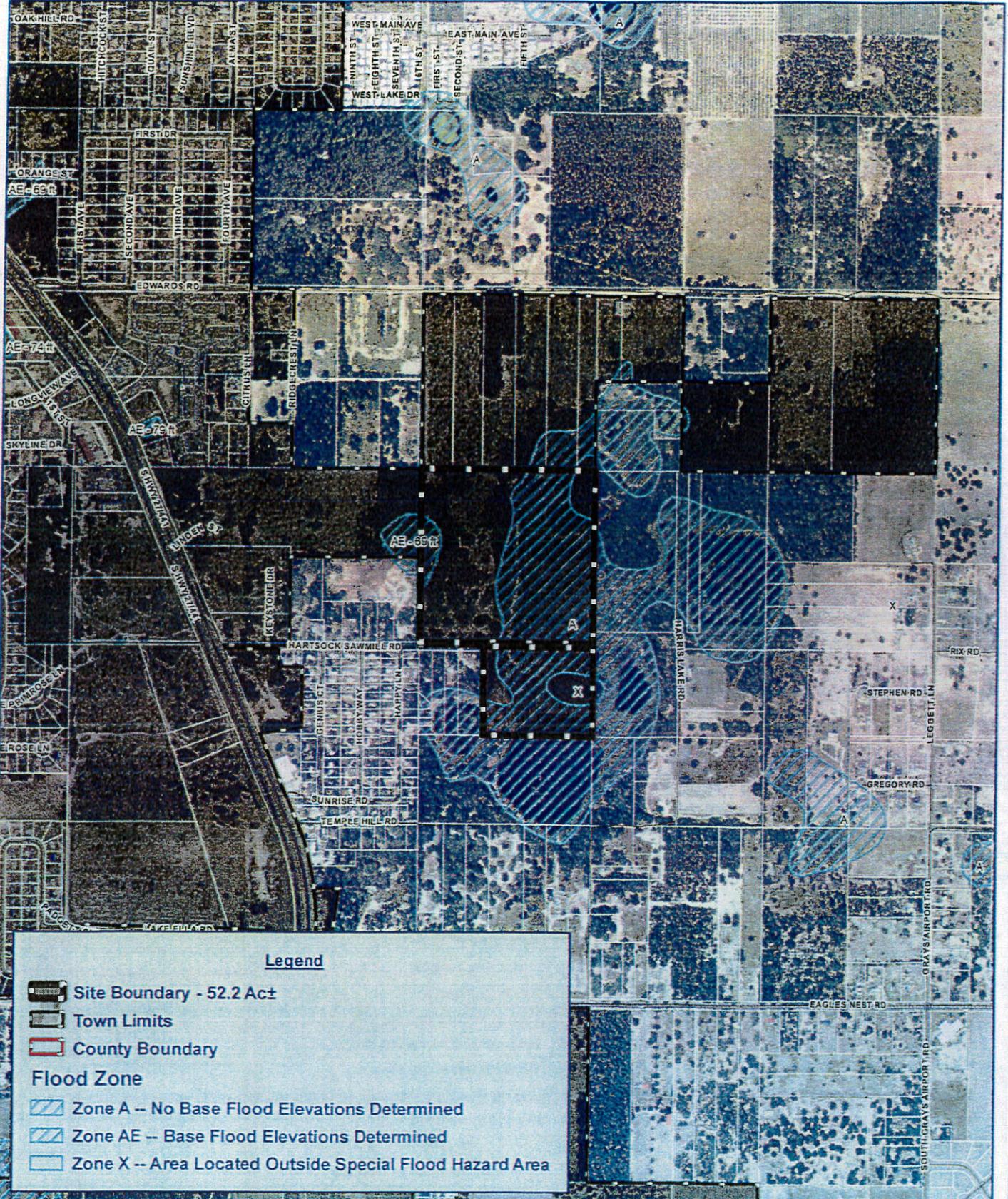


500 0 500
Feet
1 inch = 1,000 feet

Town of Lady Lake
Sawmill Holdings, LLC
Lake County, Florida
Proposed Zoning

Project: 1615-1
File: Proposed Zoning.mxd
Name: Sawmill Holdings
PM: Sherie Lindh
Date: April 8, 2015
Created By: J.Wilson





Legend

-  Site Boundary - 52.2 Act±
-  Town Limits
-  County Boundary
- Flood Zone**
-  Zone A -- No Base Flood Elevations Determined
-  Zone AE -- Base Flood Elevations Determined
-  Zone X -- Area Located Outside Special Flood Hazard Area

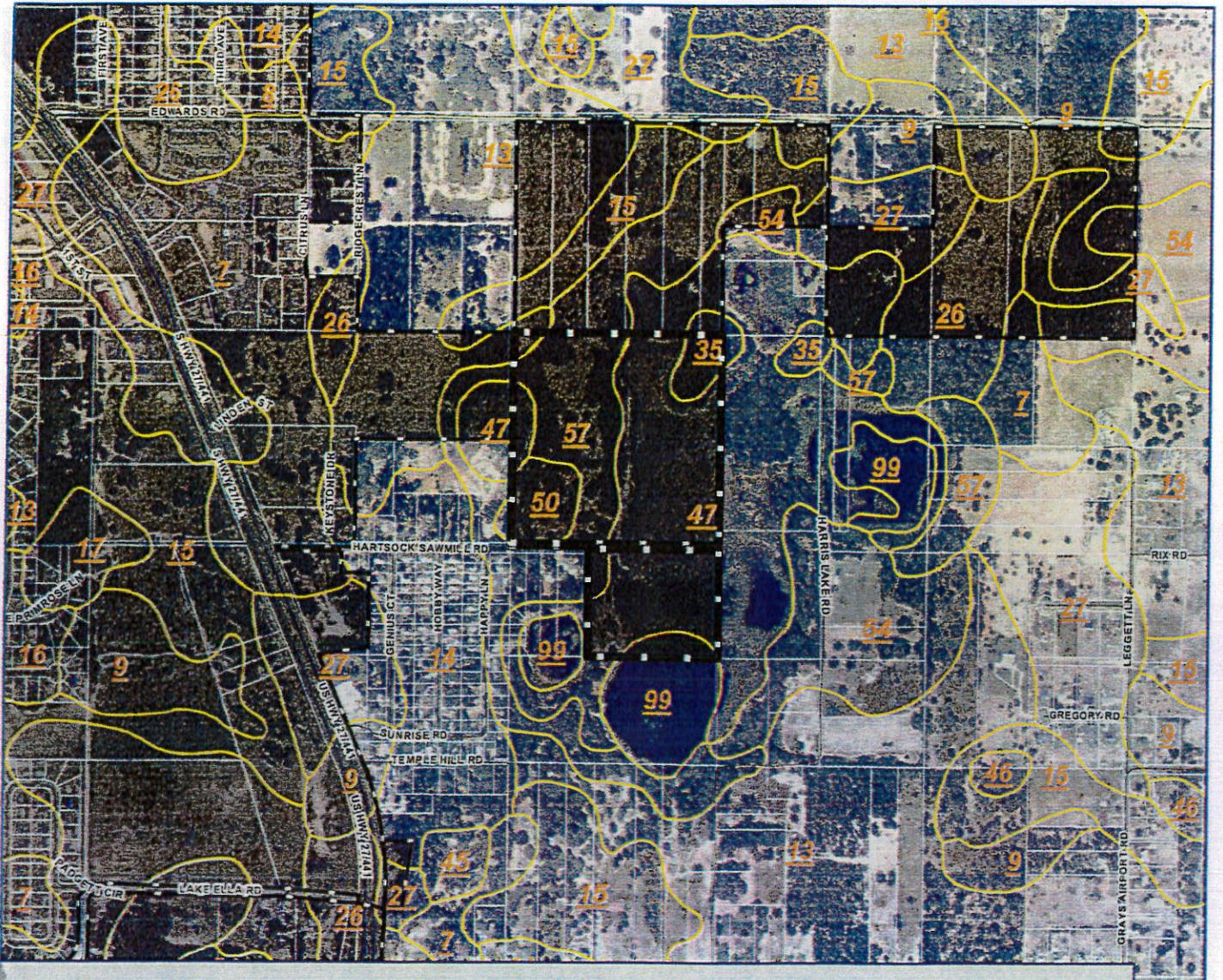


1 inch = 1,000 feet

**Town of Lady Lake
Sawmill Holdings, LLC**
Lake County, Florida
Flood Zone

Project: 1615-1
File: Flood.mxd
Name: Sawmill Holdings
PM: Sherie Lindh
Date: April 8, 2015
Created By: J. Wilson





Legend

- Site Boundary - 52.2 Act
- Town Limits
- County Boundary
- Lake County Soils**
- 7 - Apopka sand, 0 to 5 percent slopes
- 8 - Apopka-Urban land complex, 0 to 5 percent soils
- 9 - Apopka sand 5 to 12 percent slopes
- 13 - Candler sand, 0 to 5 percent slopes
- 14 - Candler-Urban land complex, 0 to 5 percent slopes
- 15 - Candler sand, 5 to 12 percent slopes
- 16 - Candler-Urban land complex, 5 to 12 percent slopes
- 17 - Candler sand, 12 to 25 percent slopes
- 26 - Kendrick sand, 0 to 5 percent slopes
- 27 - Kendrick sand, 5 to 8 percent slopes
- 35 - Myakka sand
- 40 - Orlando fine sand, 0 to 5 percent slopes
- 45 - Pits Water Complex
- 46 - Placid sand, depressional
- 47 - Placid and Myakka sands, depressional
- 50 - Pompano sand
- 54 - Seffner Sand
- 57 - Tavares sand, 0 to 5 percent slopes
- 99 - Water

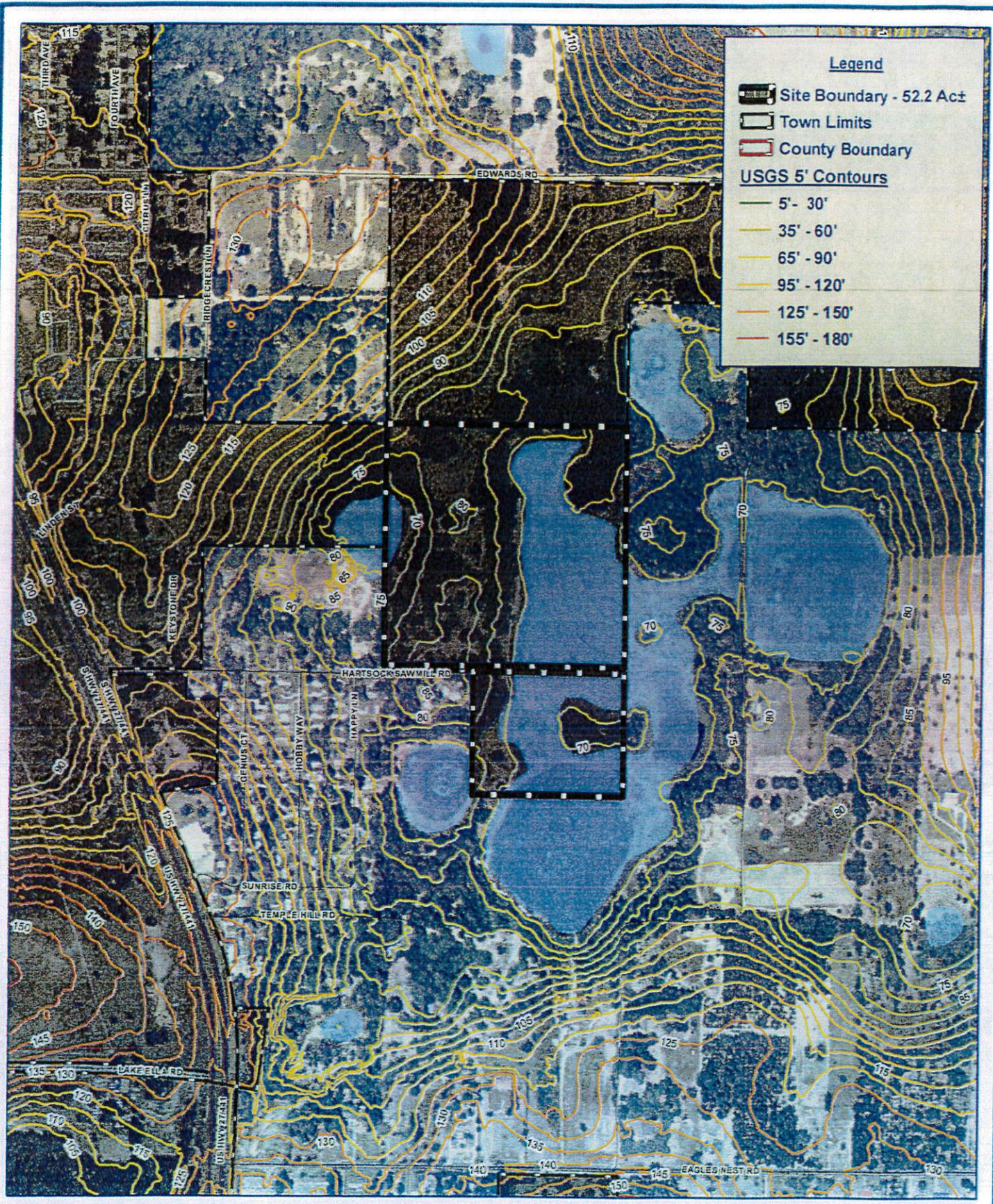


500 0 500 Feet
1 inch = 1,000 feet

**Town of Lady Lake
Sawmill Holdings, LLC**
Lake County, Florida
Soils

Project: 1615-1
File: Soils.mxd
Name: Sawmill Holdings
PM: Sherie Lindh
Date: April 8, 2015
Created By: J.Wilson





Legend

-  Site Boundary - 52.2 Acre
-  Town Limits
-  County Boundary

USGS 5' Contours

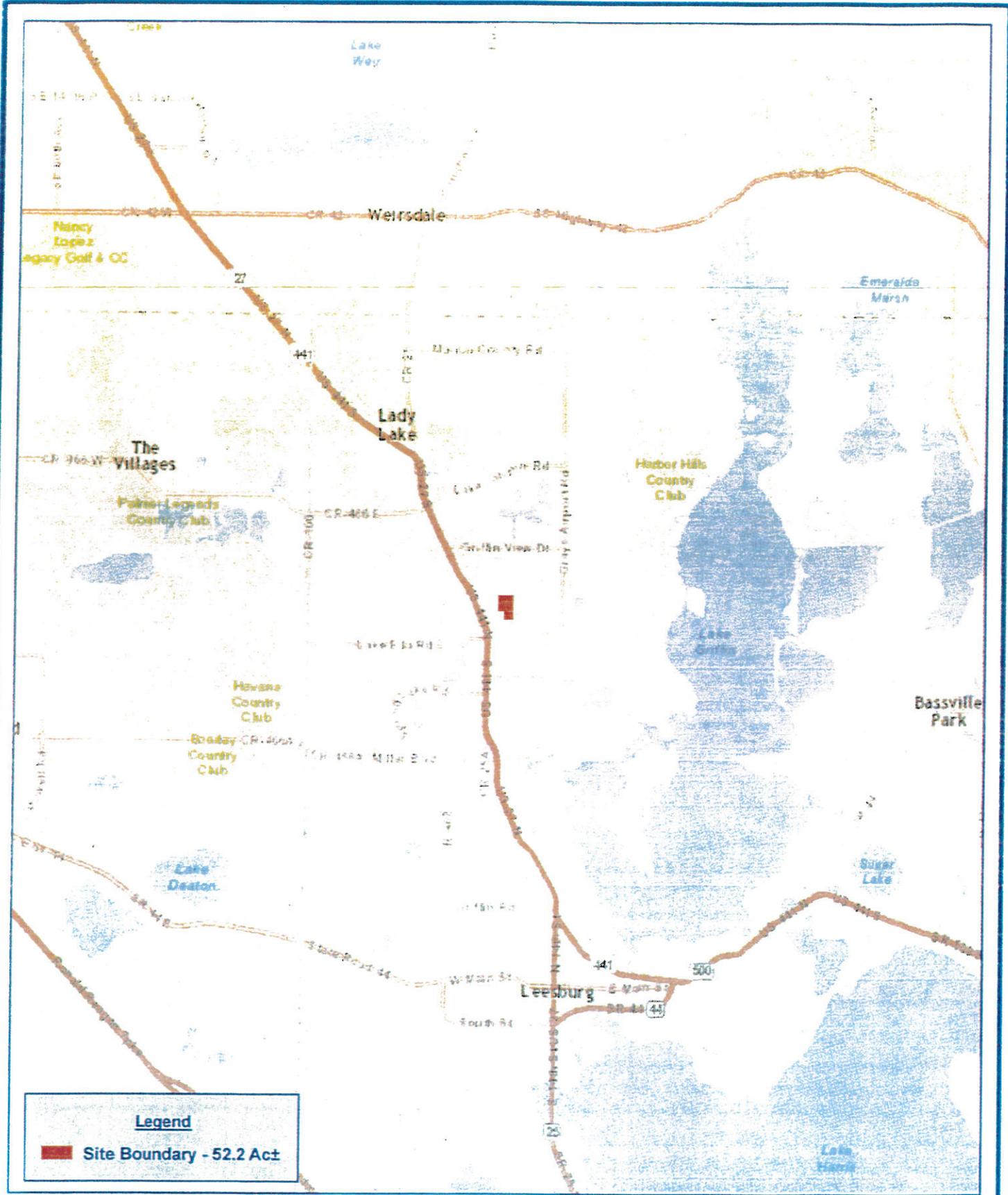
-  5' - 30'
-  35' - 60'
-  65' - 90'
-  95' - 120'
-  125' - 150'
-  155' - 180'

1 inch = 700 feet

**Town of Lady Lake
Sawmill Holdings, LLC**
Lake County, Florida
Topography

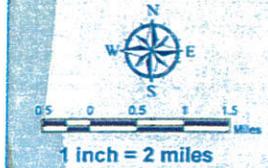
Project: 1615-1
File: Topo.mxd
Name: Sawmill Holdings
PM: Sherie Lindh
Date: April 8, 2015
Created By: J.Wilson

**LPG Urban &
Regional Planners, Inc.**
1162 Camp Avenue, Mount Dora, Florida 32757
Office: (352) 385-1900 Fax: (352) 385-4824



Legend

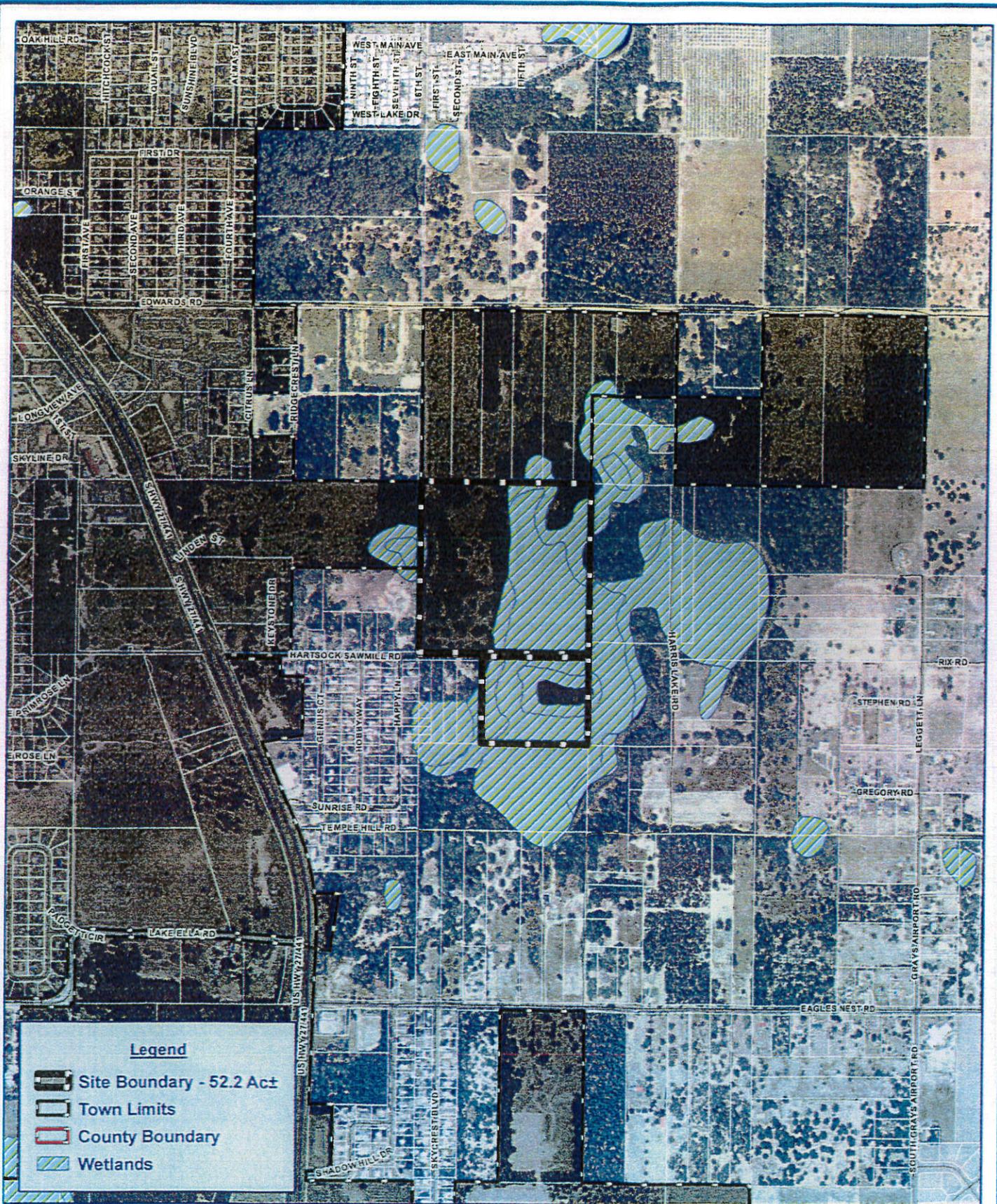
Site Boundary - 52.2 Act



Town of Lady Lake
Sawmill Holdings, LLC
 Lake County, Florida
 Location

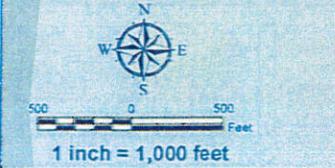
Project: 1615-1
 File: Location.mxd
 Name: Sawmill Holdings
 PM: Sherie Lindh
 Date: April 8, 2015
 Created By: J.Wilson

LPG Urban & Regional Planners, Inc.
 1162 Camp Avenue, Mount Dora, Florida 32757
 Office: (352) 385-1498 • Fax: (352) 282-6824



Legend

-  Site Boundary - 52.2 Ac±
-  Town Limits
-  County Boundary
-  Wetlands



1 inch = 1,000 feet

Town of Lady Lake
 Sawmill Holdings, LLC
 Lake County, Florida
 Wetlands

Project: 1615-1
 File: Wetlands.mxd
 Name: Sawmill Holdings
 PM: Sherie Lindh
 Date: April 8, 2015
 Created By: J. Wilson



LPG Urban & Regional Planners, Inc.
 1162 Camo Avenue, Mount Dora, Florida 32757
 Office: (352) 283-1409 / Fax: (352) 283-4824

~~Mr. Carroll stated that Martin Dzuro as applicant is present, as is Jeff Head as engineer, if there are any questions.~~

~~Commissioner Holden commented that he is not enthused about this project and thinks there could be a better location for it. He stated the residents are not happy about losing some of the green space in this area.~~

~~—Ken Kincaid of 1402 Plantation Dr. asked how many parking spaces will be lost. He stated he is concerned about parking in the area and suggested adding more drive through lanes to the other bank site down the street instead.~~

~~Mr. Carroll replied that three parking spaces will be lost and that parking is spread out in a variety of areas for the commercial center and is considered adequate as per the requirements of the town center.~~

~~Marty Dzuro of The Villages Operating Company commented that the whole town center of Spanish Springs is an aggregate parking area and they keep close tabs on the required number and provided number of parking with each plan submitted. He stated there is an excess of parking spaces at this time for the aggregate parking, and that many people consider there is not enough parking because it is not as close to the door they want to go to. Mr. Dzuro stated they believe that the drive-through will alleviate the need for some parking at this bank site.~~

~~Mr. Dzuro also commented on the green space, stating that the trees they are removing are diseased and they will be planting even more, and will be saving the large historic tree. He also stated that this is a commercial building area and was always proposed as such, and although it was nice that folks could use this as open space in the interim, it was always proposed for development and will continue to have green space around it.~~

~~Mr. Dzuro stated that the Commission expressed concerns regarding the traffic entering near the intersection on Caballero on the first submittal of plans for this drive through facility. He stated it was suggested at that time that the entrance be moved and have it come through the parking lot off of Caballero, and this worked out well using two drive-through lanes. Mr. Dzuro stated there have been no variances requested and all codes have been met with this re-submittal.~~

~~*It was the consensus of the Commission that they were in favor of advancement of the conceptual presentation of the Citizen's First Bank Drive Through Facility Major Site Plan—MJSP 01/15-004—A Development Consisting of a 330 Sq. Ft. Financial Institution Building with the Provision of a Two Service Lane Drive Through Facility as presented by a vote of 3-1 (Kussard).*~~

~~Mayor Kussard stated that she has heard from so many residents who are opposed to this, and as a result, is opposed to this plan.~~

6. Conceptual Presentation for the Sawmill Holdings, LLC Site – Proposing an RV Park Consisting of 185 Units – Located off of Hartsock Sawmill Road; Approximately 1,490 Lineal Feet East of the Intersection of S. Hwy 27/441 (Thad Carroll)

Growth Management Director Thad Carroll gave the background summary from the agenda item cover sheet which is on file in the Town Clerk's office. He stated that the applicant, Greg Beliveau with LPG Urban & Regional Planners, on behalf of property owner, Sawmill Holdings, LLC, would

like to present a conceptual development plan on a 52-acre parcel located at 3105 Hartsock Sawmill Road, approximately 1,500 feet east of S. Highway 27/441 (Alternate Key #1771358). The property was annexed into the town in April of 2006 and adopted a zoning designation of Lady Lake Single Family Medium Density "RS-6" under Ordinance No. 2006-44 as part of a project known as Lady Lake Landing, LLC.

Mr. Carroll stated that at this time, the applicant has been retained by Randy Bates, Manager of Sawmill Holdings, LLC, to receive input and comments from the Town Commission to direct and advise the applicant on the next step regarding changing the land use from Single Family Medium Density "RS-6" to Commercial Tourist "CT" to allow for a 185-unit RV park. He stated comparable zoning in the town is Recreation Plantation. The conceptual plan highlights a complete facility to include clubhouse, bath house, registration/office building, and park. The projected density for the plan is 3.56 units/acre with a typical RV lot size of 3,600 sq. ft. The lots will be individually sold for fee-simple ownership.

Mr. Carroll reviewed aerial photos and drawings of the property. He stated that even though parts of the parcel are within designated wetlands and special flood hazard areas, the development layout takes into account these environmentally sensitive areas and offers compensating storage accordingly. Following the rezoning, during the site plan process, all environmental regulations are to be reviewed for adherence to the Town's Code and applicable County, State, and Federal regulations.

Prior to submitting for large scale comprehensive plan amendment and rezoning applications, the applicant would like to seek community input and support with the understanding that the conceptual workshop only offers non-binding guidance. The following items were included in the packet:

- Introduction letter
- Conceptual Plan
- Aerial elevation

Mr. Carroll stated that Greg Beliveau with LPG is present to review the plans.

Mr. Beliveau introduced himself and reviewed the proposed plans and commented that the present zoning use is residential to include six units per acre, and the property is approximately 52 acres. He stated there are over 20 acres of wetlands within this site, mostly on the northeastern portion of the property. Mr. Beliveau stated that the proposed zoning change to an RV park would result in less density per acre, or three units per acre. He stated that they are proposing an upscale RV resort and would utilize the Town's water and sewer services and would utilize Hartsock Sawmill Road as the entranceway. Mr. Beliveau stated they believe this would be an improvement to the area and would include amenities such as a clubhouse that takes advantage of the wetland system. He stated that the RV park use for the property would be a less intense development than the current proposed use for residential development, and would be a positive impact to the area.

Commissioner Richards asked how the applicant plans to contend with the fact that approximately one third of the proposed RV lots are in the 100 year flood plain.

Mr. Beliveau replied that these lots are not for permanent structures and would be evacuated if the need arose.

Commissioner Holden asked what type of RVs will be allowed in the park and if there will be permanent structures allowed.

Mr. Beliveau replied that they will allow only Class A type units, or high-end RVs, and there will be no permanent structures.

Commissioner Vincent asked if there will be full-time residents. He confirmed that they are planning to utilize Town utilities. He asked about the distance and green areas between the lots.

Mr. Beliveau stated that it is too early in the planning stages to answer regarding full-time residents, but that there will be landscaping between the lots and other amenities to attract return stays from visitors.

Mayor Kussard asked if there will be a manager on site seven days per week.

Mr. Beliveau confirmed that there would be.

- Mariane Hartsock-Patten of 3040 Hartsock Sawmill Rd. expressed her concern about the use of this property which abuts her property. She stated this property was annexed into the Lady Lake town limits and zoned RS-6. She stated that she thought that you could not build within so many feet of wetlands.

Mr. Carroll replied that the Town's code provides for a 25' building setback from wetlands.

- Ms. Hartsock-Patten also expressed other concerns such as traffic would be going through her property to access the RV park, and noise from generators, etc. that would disturb the peacefulness of her property. She stated her property is already zoned for RVs. She also stated that Hartsock Sawmill Road is very narrow. She asked if the developers have planned for fire hydrants, more police and fire protection, and school impacts. Ms. Hartsock Patten asked why the property owners in the area were not notified of this proposed development.

Mr. Carroll replied that property owners were not notified because this is just a conceptual plan and the first step in the process. If this is approved and the applicant proceeds with the rezoning request, property owners within 150' feet of the site will be notified and the site will be posted as required.

Mr. Beliveau commented that the RVs would be plugging into electricity and there would be no generators. He stated that Ms. Hartsock-Patten's concerns would be magnified if the developer was proposing to build the allowable number of residential homes on this tract, between 200 to 300 units, under current zoning. He stated that the developer will be complying with all the required aspects such as fire hydrants and will be required to do a traffic study, which he estimates will be less with an RV park than with a standard subdivision. Mr. Beliveau stated they will do improvements to Hartsock Sawmill Road if required by the County regardless of what development option is picked, and there are no school impacts with this option.

Town Manager Kris Kollgaard suggested that the applicant/developer set up a meeting with the residents in the area to discuss their concerns.

- Ms. Hartsock-Patten spoke from the audience expressing more concerns regarding easements and access.

Mr. Carroll explained that the applicant will address these issues if the application is formally submitted, but that this is just a conceptual presentation for the proposed type of use.

Commissioner Holden asked how close the lots are to be from the property line and if the developer has proposed a buffer between the properties.

Mr. Beliveau replied they will have a buffer there, but the width of it has not been determined yet, but will comply with the Town's LDRs if they move forward with this project.

- Daniel Patten of 3040 Hartsock Sawmill Rd. stated that he and his neighbor maintain a portion of Hartsock Sawmill Road because it was just a dirt road, and they put down millings. He stated he was told by code enforcement that he was not allowed to bring his tractor trailer truck home because the road does not allow vehicles over 12,000 lbs. for parking. He asked how they would allow RVs in there to park.

Mr. Carroll confirmed that Mr. Patten's property is in the county, not within Town limits. As such, he stated the code enforcement issue is with the county, and if any improvements are required to be made to the road to allow RVs to use the road, the applicant would have to address them as part of their application if they move forward with the project.

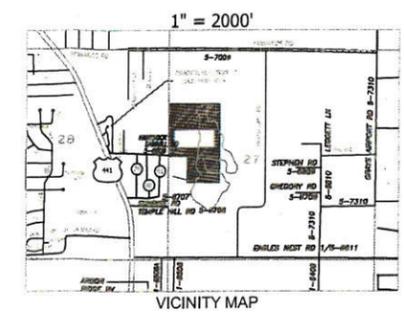
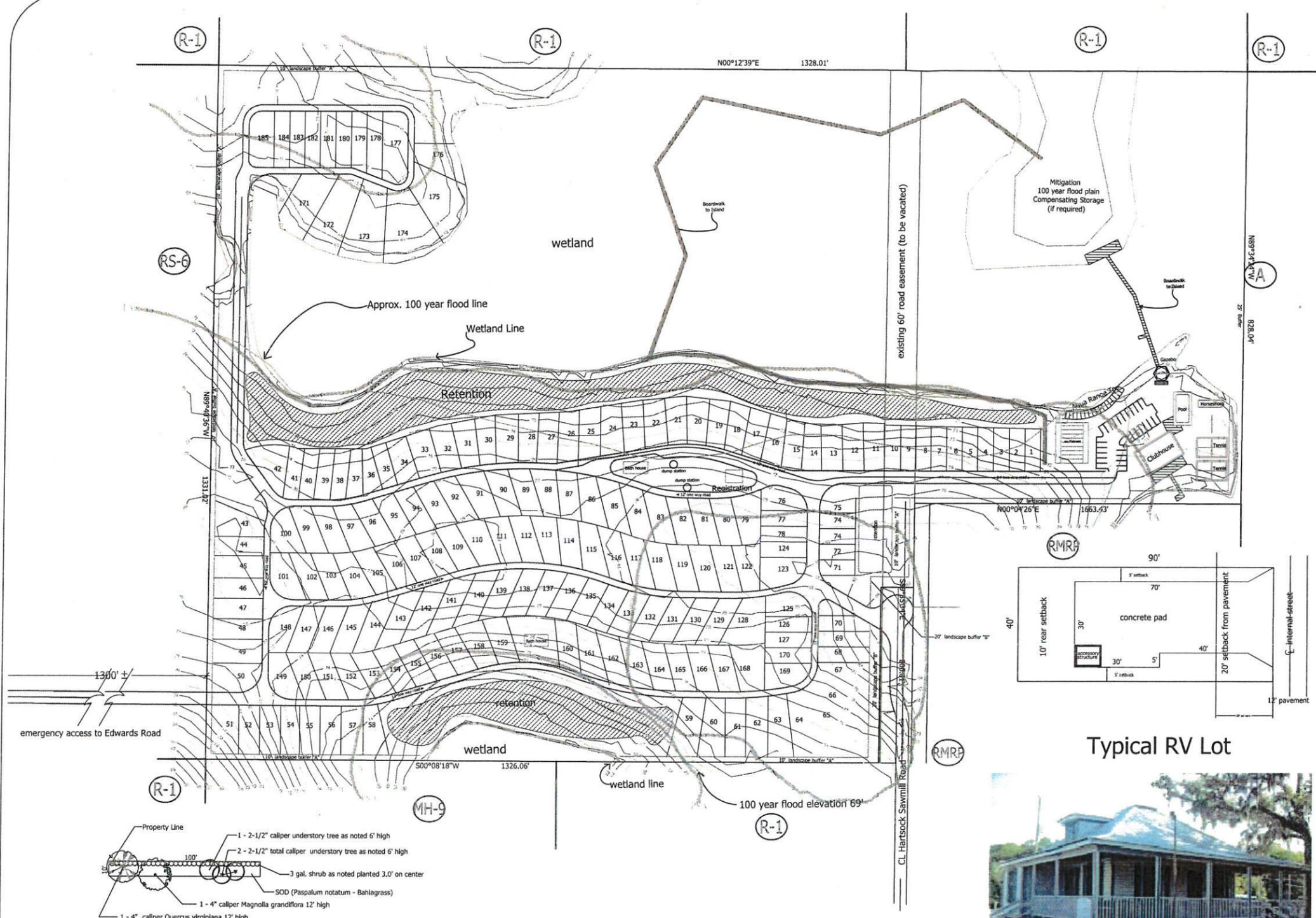
Mr. Beliveau stated that they will have a meeting with the residents prior to submitting the application to the Town.

Commissioner Richards stated the issue at hand is the idea for an RV park in this area, and he is receptive to it. He stated that if there is no public easement, the applicant will need to do his homework regarding easements and public access, as the county may make them rebuild all of Hartsock Sawmill Road.

It was the consensus of the Commission that they were in favor of the Conceptual Presentation for the Sawmill Holdings, LLC Site – Proposing an RV Park Consisting of 185 Units – Located off of Hartsock Sawmill Road; Approximately 1,490 Lineal Feet East of the Intersection of S. Hwy 27/441 as presented.

7. ~~Conceptual Presentation of Village Veranda at Lady Lake – Proposing a Facility to be Developed in Three Phases Including Three (3) Outparcels with Office and Clinic for a Total of 22,000 Sq. Ft. of Commercial Spaces, and a Proposed Multi-Story Building with 90 Assisted Living Units and 40 Memory Care Facility Units – Located on S. Hwy 27/441, Just North of the Too Your Health Spa (V) Project (Thad Carroll)~~

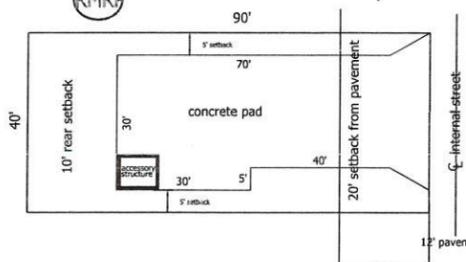
~~Growth Management Director Thad Carroll gave the background summary from the agenda item cover sheet which is on file in the Town Clerk's office. He stated that on October 20, 2014, applicant Gregory A. Beliveau with LPG Urban & Regional Planners, on behalf of Village Veranda at Lady Lake, LLC, submitted an application for a Major Site Plan proposing a facility including three outparcels with office and clinic space, and a proposed multi-story building for an assisted living and memory care facility to be erected along S. Highway 27/441 (Alternate Key #1699100). The site plan was reviewed to determine if it is in compliance with the Land Development Regulations (LDRs) including parking, setbacks, landscaping, engineering, environmental protection and commercial design standards.~~



Owner -
 Sawmill Holdings, LLC
 Randy Bates
 P.O. Box 1266
 Mt Pleasant, SC 29465

Applicant -
 LPG Urban and Regional Planners
 1162 Camp Avenue
 Mount Dora, Florida 32757
 (352) 385-1940

Legal Description
 SW 1/4 of NW 1/4 less South 30 feet, and N 1/2 of NW 1/4 of SW 1/4, less West 500 feet thereof, Section 27, Township 18S, Range 24E, Lake County, Florida, Containing 52 acres more or less.



Typical RV Lot



Vernacular Architectural Style



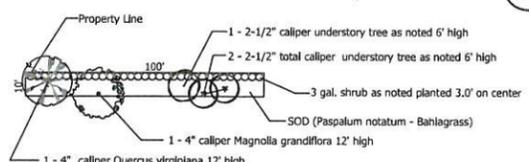
Vernacular Architectural Style

Notes:

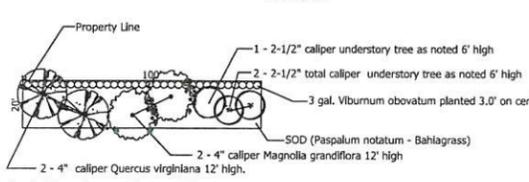
Total acreage:	53.14 acres (2,314,778 square feet)
Zoning of parcel:	RS-6
Proposed zoning:	CT
Adjacent Zoning:	North - RS-6 South - A, RMRF East - R-1 West - R-1, MH-9
Future land use:	SFMD
Proposed FLU:	Commercial Tourist (CT)
Proposed Use:	Recreational vehicle park with recreation amenities. Lots to be privately owned.
Flood Zone:	As noted
Wetland acreage:	21 acres
Open Space:	24 acres - 40%

Notes:

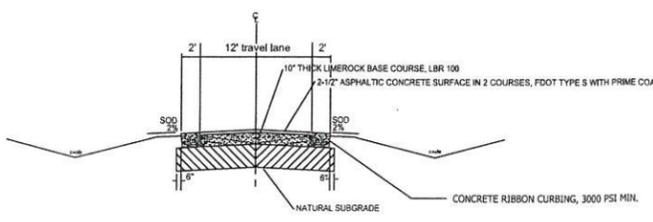
- This plan is conceptual in nature and is subject to change due to engineering and other influences.
- Maximum impervious surface ratio of .8
- Maximum allowable building height 35.'
- Building setbacks:**
 - Front setback from pavement - 20'
 - Setback from Hartsock Sawmill Road - 25'
 - Rear - 10'
 - Side - 5'
 - Side setback corner lot - 20'
- Buffers:**
 - North 10' class "A"
 - South 10' class "A"
 - East 10' class "A"
 - West 10' class "A"
 - Hartsock Sawmill Road 20' class "B"
- Utilities, water, sewer and fire protection will be provided by the Town of Lady Lake.
- Stormwater management will be through a system of swales and dry retention ponds.
- Existing vegetation to be preserved wherever possible in buffer and green areas.
- Gross density 3.56 units per acre
- 185 RV sites total.
- Project to be constructed in a single phase.
- 1.2 acres of parks and active recreation as shown.
- Club house, bath house, and registration building will be conventional masonry or frame construction.



100 Feet of Typical 10' Landscape Buffer A not to scale



100 Feet of Typical 20' Landscape Buffer B not to scale

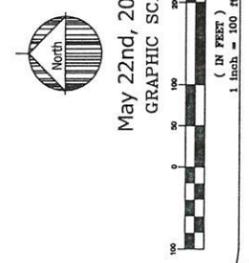


Typical 12' One-Way Road Section

Sawmill Holdings, LLC

Concept Plan

Lady Lake, Florida



May 22nd, 2015



PLANNING & ZONING BOARD AGENDA ITEM

REQUESTED BOARD MEETING DATE: June 8, 2015

SUBJECT: Green Key Subdivision – Phase II Replat Preliminary Plat Subdivision Recreation Center for the Green Key Village Single Family Residence Subdivision proposing a 1,800 square-foot Pickle Ball Court, a 7,200 square-foot Tennis Court, a 2,350 square-foot Half Basketball Court, an 8,906 square-foot area for a subdivision community pool with concrete deck and two (2) pavilions consisting on 480 Sq. Ft. each addressed as 1257 Fiesta Key Circle (Alternate Key 1771463).

DEPARTMENT: GROWTH MANAGEMENT

RECOMMENDED MOTION:

1. Motion to forward the Preliminary Plat of Green Key Subdivision – Phase II Replat to the Town Commission with the Recommendation of Approval.
2. Motion to forward the Preliminary Plat of Green Key Subdivision – Phase II Replat to the Town Commission with the Recommendation of Denial.

Staff is in support of Motion # 1.

SUMMARY:

Applicant and owner, Greg Thomas of Mainsail Solutions, Inc., has submitted plans for Preliminary Plat Approval of a subdivision which proposes a Recreation Center for the Green Key Village Single Family Residence Subdivision proposing a 1,800 square-foot Pickle Ball Court, a 7,200 square-foot Tennis Court, a 2,350 square-foot Half Basketball Court, an 8,906 square-foot area for a subdivision community pool with concrete deck and two (2) pavilions consisting on 480 Sq. Ft. each.

The Preliminary Plat was reviewed to determine if it is in compliance with the Land Development Regulations (LDRs). Attached are the following items in the packet:

1. Preliminary Plan Review completed by Public Works dated May 27, 2015.

2. Fire Review No. 2 for the Preliminary Plat completed by Kerry Barnett dated May 14, 2015 (Satisfied).
3. Review No. 3 for Preliminary Plat completed by Neel-Schaffer Engineering, dated June 2, 2015.
4. Lady Lake Building Official comments dated June 2, 2015.

The property Future Land Use designation is Single Family Medium Density (SF-MD). The Zoning designation is Single Family Medium Density allowing up to six (6) dwelling units per acre.

The Preliminary Plan meets the design requirements of the Town of Lady Lake Land Development Regulations, Chapter 8 – Subdivision and Plats, and adheres to the requirements of the Comprehensive Plan of the Town of Lady Lake. The preliminary plat plans, consisting of nine (9) sheets, are drawn in 24"x36" pages and have been certified by Charles Cecil Hiott, Professional Engineer with Booth Ern Straughan Hiott, Inc. dated June 2, 2015.

All comments have been satisfied for the Preliminary Plat application.

To be submitted at the Time of Improvement Plans Submittal:

- 1) In accordance with the provisions of Chapter 8, Section 8-6).e).1, the applicant shall submit copies of all jurisdictional agency approved permits and/or Exemption Letters (when applicable), including:
 - Florida Department of Environmental Protection Water Main Extensions permit and/or exemption.
 - Florida Department of Environmental Protection Wastewater Collection/ Transmission System and/or exemption.
 - St. John's River Water Management District ER Permit
- 2) The applicant will be required to submit the Street Lighting Plan for that portion of the recreation center at the time of Improvement Plans submittal.
- 3) All utilities (gas, water, sewer, electric, telephone, cable) for new construction shall be underground as per Chapter 9, Section 9-6).a).1).

Note:

Preliminary Plat Approval does not permit the construction of any improvements. All permits from other agencies with jurisdiction must be completed before a development order may be issued.

Past Action(s):

The **Technical Review Committee** members individually reviewed the application on Monday, June 1, 2015, and provided comments regarding the Preliminary Plat Plan application, those comments have been satisfied.

The **Town Commission** is scheduled to consider the Preliminary Plat for final consideration at their regular Meeting on Monday, July 6, 2015.

FISCAL IMPACT: \$ 0

- Capital Budget
 Operating
 Other

ATTACHMENTS: Ordinance(s) Resolution Budget Resolution

Other – Preliminary Plat

Support Documents/Contracts Available for Review in Manager's Office

(62)

6-2-15

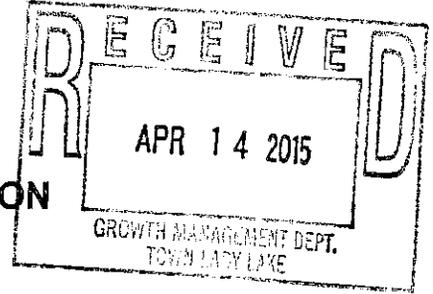
DEPARTMENT HEAD		Submitted 6/2/15	Date
FINANCE DEPARTMENT		Approved as to Budget Requirements	Date
TOWN ATTORNEY		Approved as to Form and Legality	Date
TOWN MANAGER		Approved Agenda Item for: 6/8/15	Date

BOARD ACTION: Approved as Recommended Disapproved

Tabled Indefinitely Continued to Date Certain

Approved with Modification

TOWN OF LADY LAKE
PRELIMINARY PLAT APPLICATION



Alternate Key Number_1771463_____

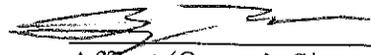
1. Owner's Name: Gregory O. Thomas_____
- Mailing Address: P. O. Box 939, Fruitland Park, FL 34731__
- Telephone #: 352-314-0059_____
- Email Address: greg@mainsailsolutions.com_____
2. Applicant's Name: same as Owner_____
- Mailing Address: _____
- Telephone #: _____
- Email Address: _____
3. Applicant is: Owner Agent___ Purchaser___ Lessee___ Optionee___
4. Property Address/Location: none 12571 Fiesta Key Circle
5. Name of Subdivision for Preliminary Platting Green Key Village Recreation Center
6. Area of Property: 66,932_____ Square feet 1.54_____ Acres
7. Utilities: Central Water Central Sewer Well___ Septic Tank___
8. Zoning of property: PUD_____
9. Proposed number of lots/parcels:
1_____
10. Proposed use of the property: recreation area with pool, tennis courts, pickleball Court, basketball court
11. Have any land use applications been filed within the last year in connection with this property? ___Yes No. If yes, briefly describe the nature of the request and date when this was done:

OWNER'S AFFIDAVIT

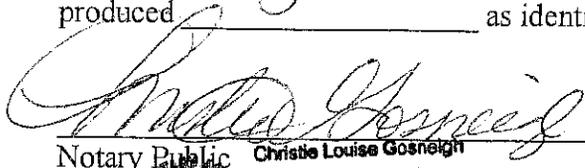
**STATE OF FLORIDA
COUNTY OF LAKE**

Before me, the undersigned authority personally appeared Gregory O. Thomas, who being by me first duly sworn on oath, deposes and says:

- (1) That he is the fee-simple owner of the property legally described on page one of this application.
- (2) That he desires approval for:
Green Key Village Recreation Center
- (3) That he has appointed Charles C. Hiott to act as agent in his behalf to accomplish the above. The Owner is required to complete the APPLICANT'S AFFIDAVIT of this application if no agent is appointed to act in his stead.


Affiant (Owner's Signature)

The foregoing instrument was acknowledged before me this 13 day of April, 2015, by Greg Thomas, who is personally known to me or who has produced _____ as identification and who did (did not) take an oath.



Notary Public

Christie Louise Gosneigh

NOTARY PUBLIC

STATE OF FLORIDA

Comm# FF146804

Expires 8/9/2018



NOTE

All applications shall be signed by the owner of the property, or some person duly authorized by the owner to sign. This authority authorizing a person other than the owner to sign must be attached.

Applications shall include a legal description of the property, proof of ownership and authorization from the owner if represented by an agent or contract purchaser.

Application fee for Preliminary Plat \$1,900.00

I certify that the statements in this application are true to the best of my knowledge.



Signature of Applicant
(Gregory O. Thomas)

PLEASE SUBMIT THE APPLICATION, ACCOMPANIED BY THE APPROPRIATE REVIEW FEES AND FORTY-FIVE (45) COPIES OF ALL APPLICABLE INFORMATION DOCUMENTATION AS REQUIRED BY THE LADY LAKE LAND DEVELOPMENT REGULATION, ADOPTED AUGUST 15, 1994 TO THE GROWTH MANAGEMENT DEPARTMENT. ADDITIONAL COPIES OF APPLICATION AND PLANS WILL BE REQUIRED PRIOR TO CONSIDERATION AT THE PLANNING AND ZONING BOARD AND TOWN COMMISSION MEETINGS.

Office Use:

Date Application Received: 04-14-2015 Received By: W. Thomas

Fees Paid: \$1900⁰⁰

APPLICANT'S AFFIDAVIT

**STATE OF FLORIDA
COUNTY OF LAKE**

Before me, the undersigned authority personally appeared Charles C. Hiott, who being by me first duly sworn on oath, deposes and says:

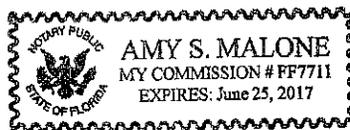
- (1) That he affirms and certifies that he understands and will comply with all ordinances, regulations, and provisions of the Town of Lady Lake, Florida, and that all statements and diagrams submitted herewith are true and accurate to the best of his knowledge and belief, and further, that this application and attachments shall become part of the Official Records of the Town of Lady Lake, Florida, and are not returnable.
- (2) That he desires approval for:
Green Key Village Recreation Center
- (3) That the submittal requirements for the application have been completed and attached hereto as part of this application.

CC

Affiant (Applicant's Signature)

The foregoing instrument was acknowledged before me this 13 day of April, 2015, by Charles C. Hiott, who is personally known to me or who has produced _____ as identification and who did (did not) take an oath.

Amy S. Malone
Notary Public



PRELIMINARY PLAT REQUIREMENTS

Growth Management Department

A subdivision plan shall receive its first official consideration as a "preliminary plat/plan." No plat of any subdivision shall have any validity until it has been approved in the manner prescribed by the Town of Lady Lake Land Development Regulations, Chapter 8. To cover the direct administrative costs of reviewing the plan, the developer shall pay an application fee at the time of submittal. All plans for new subdivisions and road rights-of-way must be submitted and processed through the following general procedures:

- 1) It is recommended that a pre-application conference be held with Town Staff by the developer or the developer's representatives, in order to verify the steps necessary for application and review and discuss potential issues regarding the proposed subdivision.
- 2) Submission and approval of preliminary plat/plan.
- 3) Concurrency Management.
- 4) Submission and approval of Improvement Plans and issuance of a development order.
- 5) Submission, approval and recording of final plat.
- 6) Issuance of certificate of completion.

The following information is required with the preliminary plat application submittal:

- 1) Ten (10) copies of the preliminary plat/plan and any required supplemental material and one (1) 11" x 17" copy of the plan shall be submitted to the Town at least thirty (30) days prior to the TRC meeting.
- 2) The preliminary plat/plan shall be at a minimum scale of one hundred (100) feet to the inch.
- 3) Proposed subdivision name or identifying title preceded by the words "Preliminary Plat/Plan of _____."
- 4) The section, township and range in which the property is located and legal description of the boundary survey.
- 5) The complete name and mailing address of the property owner, developer, engineer and other persons directly involved in the proposed subdivision.
- 6) Tract boundaries, with dimensions.
- 7) North arrow (with north being at the top of the map, when practical), date of preparation and any other pertinent legend data.

- 8) A sketch of "key map" at scale of not larger than twelve hundred (1200) feet to the inch showing the position of the subdivision with relation to surrounding streets and properties; also showing other important features such as zoning, railroads and corporate limits, etc.
- 9) Zoning, plat book and page number, typical lot size, streets and easements of adjacent land and subdivisions.
- 10) Topographic mapping of the tract based on NGVD elevations, in not less than one (1) foot intervals.
- 11) Conditions on tract, including all existing watercourses, drainage ditches, bodies of water, marshes, flood prone elevations and area, surrounding physical features affecting the site, isolated preservable trees and other significant features.
- 12) Existing property lines, buildings, transmission lines, sewers, bridges, culverts and drain pipes, water mains, town limit lines and utility easements on or adjacent to the tract.
- 13) Location, name and width of all proposed streets, alleys, rights-of-way, easements, lot lines with dimensions, lot numbers and block designations.
- 14) Typical section showing street type and width, storm drainage and designs of any proposed fences and entrance structures.
- 15) Statements concerning stormwater disposition and method of water supply and waste disposal, all conforming to town specifications.
- 16) Proposed public improvements, such as highways or other major improvements planned by public authorities for future construction on or near the tract to eliminate gridlock.
- 17) If the proposed subdivision is to be constructed in phases, the nature and extent of such phases shall be clearly delineated and shall meet the criteria specified below in a later section.
- 18) Sites and/or improvements to be dedicated or deeded for public use.
- 19) A delineation of the soils existing on the site to be developed.
- 20) A geological reference point on all plans.
- 21) A summary list containing the total acres, number of lots, minimum lot area, lineal feet in streets, zoning and a list of street names.

- 22) Drafts of protective covenants whereby the developer proposes to regulate land use in the subdivision and otherwise protect the proposed development.
- 23) Requirements of the following sections shall be adequately addressed and satisfied. The Technical Review Committee (TRC) may require information deemed necessary to demonstrate compliance with the regulations concerning:
 - a) Zoning
 - b) Buffering
 - c) Environmentally Sensitive Areas
 - d) Upland Habitat
 - e) Floodplain/Stormwater Management
 - f) Wellfield/Aquifer Protection
 - g) Historic and Archeological Preservation
 - h) Traffic
 - i) Concurrency Management

The preliminary plat/plan shall be reviewed initially by the TRC. Reasonable notice of that meeting shall be given to the applicant and his agent or any other interested person shall be entitled to attend the meeting. The TRC shall review the preliminary plat/plan for technical compliance with Chapter 8 of the Town's Land Development Regulations and with all other Town ordinances, zoning regulations and for compliance with the land use element of the Town's Comprehensive Plan. The TRC shall recommend in writing preliminary approval, conditional approval, postponement or disapproval. The Town Clerk shall furnish copies of its recommendations to the Commission, the applicant and the Planning and Zoning Board.

The Planning and Zoning Board shall review the preliminary plat/plan and the recommendations of the TRC at its next regular meeting. The owner or owner's agent shall be present at every public hearing. The Planning and Zoning Board shall recommend to the Commission preliminary approval, conditional approval, postponement or disapproval.

Final review of the preliminary plat/plan shall be made by the Town Commission at its next regular meeting. The owner or owner's agent shall be present at every public hearing. At that meeting the Commission shall consider the recommendations of the TRC and the Planning and Zoning Board. The Commission shall act on the plan for approval, conditional approval, postponement or disapproval.

The above requirements are intended to provide only a general overview of the preliminary plat/plan process. Preliminary Plat requirements are specified in

Lady Lake Ordinance 94-08 Land Development Regulations, adopted August 15, 1994, and are available at Town Hall.

For further information and assistance, contact the Growth Management Department at 751-1582.

PROPERTY RECORD CARD

General Information

Owner Name:	GREEN KEY VILLAGE LLC	Alternate Key:	1771463
Mailing Address:	4207 BAIR AVE FRUITLAND PARK, FL 34731 Update Mailing Address	Parcel Number:	29-18-24-000400002700
		Millage Group and City:	00LL (Lady Lake)
		Total Millage Rate:	19.04670
		Trash/Recycling /Water/Info:	My Public Services Map
Property Location:	1635 LAKE ELLA RD FRUITLAND PARK FL 34731 Update Property Location	Property Name:	-- Submit Property Name
Property Description:	School Locator: School and Bus Map NW 1/4 OF SE 1/4--LESS N 700 FT OF E 640 FT--SW 1/4 OF SE 1/4--LESS BEG SE COR OF SW 1/4 OF SE 1/4 RUN W 240 FT, N 402 FT, E 155 FT, N 0-18-20 W 128 FT, N 89-53-58 E 85.51 FT TO E LINE OF SW 1/4 OF SE 1/4, S 0-23-11 E 530.01 FT TO POB & LESS BEG AT S 1/4 COR OF SEC, RUN N 0-14-41 E 40 FT, S 89-38-58 E 207.59 FT, N 0-21-02 E 2.25 FT, S 89-38-58 E 188.46 FT, N 0-21-02 E 11 FT, S 89-38-58 E 369.03 FT, S 0-21-02 E 13.25 FT, S 89-38-58 E 387.02 FT, S 0-05-24 W 40 FT TO S LINE OF SEC, N 89-38-58 W 1152.20 FT FOR RD R/W-- ORB 4211 PG 906		

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	NON AGRICULTURAL ACREAGE (9900)	0	0		41.99	AC	\$0.00	\$419,900.00

Miscellaneous Improvements

There is no improvement information to display.

Sales History

O.R. Book / Page	Sale Date	Instrument	Q/U	Vac./Imp.	Sale Price
<u>847 / 1125</u>	6/1/1985	QC	U	I	\$1.00
<u>861 / 359</u>	12/1/1985	QC	U	I	\$1.00
<u>864 / 2</u>	11/1/1985	QC	U	I	\$1.00
<u>893 / 15</u>	10/1/1986	WD	Q	I	\$136,000.00
<u>1399 / 934</u>	10/1/1995	WD	Q	V	\$221,000.00
<u>2824 / 818</u>	4/27/2005	WD	Q	V	\$1,700,000.00
<u>3008 / 1889</u>	11/9/2005	WD	M	V	\$5,100,000.00
<u>3008 / 1893</u>	11/9/2005	QC	M	V	\$1.00
<u>4141 / 1475</u>	2/17/2012	WD	M	V	\$540,000.00
<u>4211 / 906</u>	9/6/2012	WD	M	V	\$750,000.00

Values and Estimated Ad Valorem Taxes

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes

LAKE COUNTY BCC GENERAL FUND	\$419,900	\$419,900	\$419,900	\$419,900	5.38560	\$2,261.41
LAKE COUNTY MSTU AMBULANCE	\$419,900	\$419,900	\$419,900	\$419,900	0.46290	\$194.37
LAKE COUNTY MSTU FIRE	\$419,900	\$419,900	\$419,900	\$419,900	0.47040	\$197.52
SCHOOL BOARD STATE	\$419,900	\$419,900	\$419,900	\$419,900	5.74600	\$2,412.75
SCHOOL BOARD LOCAL	\$419,900	\$419,900	\$419,900	\$419,900	1.50000	\$629.85
TOWN OF LADY LAKE	\$419,900	\$419,900	\$419,900	\$419,900	3.75000	\$1,574.63
ST JOHNS RIVER FL WATER MGMT DIST	\$419,900	\$419,900	\$419,900	\$419,900	0.31640	\$132.86
LAKE COUNTY VOTED DEBT SERVICE	\$419,900	\$419,900	\$419,900	\$419,900	0.16000	\$67.18
LAKE COUNTY WATER AUTHORITY	\$419,900	\$419,900	\$419,900	\$419,900	0.25540	\$107.24
NORTH LAKE HOSPITAL DIST	\$419,900	\$419,900	\$419,900	\$419,900	1.00000	\$419.90
Total:	19.0467	\$7,997.71				

Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

First Homestead Exemption (up to \$25,000)	Learn More	View the Law
Additional Homestead Exemption (up to an additional \$25,000)	Learn More	View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	Learn More	View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	Learn More	View the Law

Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	Learn More View the Law
Widow / Widower Exemption (up to \$500)	Learn More View the Law
Blind Exemption (up to \$500)	Learn More View the Law
Disability Exemption (up to \$500)	Learn More View the Law
Total Disability Exemption (amount varies)	Learn More View the Law
Veteran's Disability Exemption (\$5000)	Learn More View the Law
Veteran's Total Disability Exemption (amount varies)	Learn More View the Law
Veteran's Combat Related Disability Exemption (amount varies)	Learn More View the Law
Deployed Servicemember Exemption (amount varies)	Learn More View the Law
Surviving Spouse of First Responder Exemption (amount varies)	Learn More View the Law
Conservation Exemption (amount varies)	Learn More View the Law
Tangible Personal Property Exemption (up to \$25,000)	Learn More View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	Learn More View the Law
Government Exemption (amount varies)	Learn More View the Law

Exemption Savings

The exemptions marked with a above are providing a tax dollar savings of: **\$0.00**

Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark

Save Our Homes Assessment Limitation (3% assessed value cap) [Learn More](#) [View the Law](#)

Save Our Homes Assessment Transfer (Portability) [Learn More](#) [View the Law](#)

Non-Homestead Assessment Limitation (10% assessed value cap) [Learn More](#) [View the Law](#)

Conservation Classification Assessment Limitation [Learn More](#) [View the Law](#)

Agricultural Classification [Learn More](#) [View the Law](#)

Assessment Reduction Savings

The assessment reductions marked with a above are providing a tax dollar savings of: **\$0.00**

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Property data last updated on 25 May 2015.

Kerry Barnett Fire Safety Consulting

43951 CR 54E, Kathleen, FL 33849

Fire Safety Inspector
Kerry Barnett

Cell (813) 778-4981
E-mail: k-15122@peoplepc.com

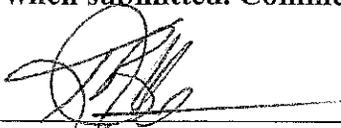
Plan Review #: 15-035A
Project: Site Plan (Green Key Village Rec Ctr)
Location: Lady Lake
Address of Job: Fiesta Key Circle & Bahia Honda Key Dr
Pages: 9

Review For: BESH
Email: chiott@besandh.com
Telephone: 352-343-8481
Contact: Charles Hiott

May 14, 2015

I have received and reviewed the plans (Preliminary Plat) for the recreational center (Green Key Village) site within a residential area. The plans were reviewed for compliance with the Florida Fire Prevention Code, Lady Lake Land Development Code and any other applicable codes, standards, rules, and statutes. At this time, plans are approved for the Preliminary Plat, however comments below shall be addressed at time site construction plans are submitted. Should anyone feel comments are not enforceable, he or she shall contact this authority to resolve.

1. Based on Chapter 18 of the Florida Fire Prevention Code, the minimum fire flow for this project shall be 1000 gpm's at 20 psi for 1 hour, providing homes in this area are under 5000 sq ft. A flow test shall be conducted at a hydrant closest to this area and provided to this authority. **This was acknowledged. This shall be provided at time site construction plans are submitted.**
2. No other hydrants were noted on the plans other than the proposed hydrant to be installed. Hydrants shall be installed every 800 feet (as a vehicle would drive) in residential areas. Additional hydrants may be required to meet the required distance. Show all existing hydrants in this area or install if it is determined no additional hydrants needed. Lady Lake LDC: Chapter 14.9 – 2 (B) **Advised by engineer no other hydrants will be needed. Comment satisfied at this time.**
3. Hydrant that is being installed on 6' main is assumed correct, providing this subdivision is low density. Verification needed. **Engineer advised that it would be verified with construction plans. In checking with the Town, this is a medium density subdivision, therefore water main with new hydrant shall be on n 8" main. The last 20' may be 6" as allowed by LDC. Chapter 14.9 – 2 (B)**
4. Asphalt shall be striped, and signage shall be in place indicating "NO PARKING – FIRE LANE" for designated fire lane locations and hydrant location(s). Provide details on plans. See Chapter 18 of NFPA 1 Handbook for examples. **This was acknowledged by engineer and will be noted on site construction plans when submitted. Comment satisfied at this time.**
5. Fire hydrants shall be color coded based on the flow tests obtained. Blue roadway reflectors shall also be installed indicating hydrant location. **Acknowledged by engineer. Show on site construction plans when submitted. Comment satisfied.**



KERRY BARNETT, Fire Safety Inspector & Plans Examiner

***Please be advised this review of plans submitted is a cursory review to assist the contractor in compliance with applicable fire safety codes. This review is not intended to be a final approval of the submitted plans. It is the contractor's sole responsibility to ensure that the plans are in complete compliance with all applicable NFPA codes State Statutes and local ordinances. In the event that further examination or site inspection reveals areas of non-compliance, it shall be the contractor's sole responsibility, at their sole expense to bring those areas in compliance. Kerry Barnett Fire Safety Consulting assumes no responsibility for the contractor's failure to be in compliance with all applicable NFPA codes, State Statutes and local ordinances.

June 2, 2015

Mrs. Wendy Then
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159

**REFERENCE: GREEN KEY VILLAGE PHASE II PARTIAL RE-PLAT - RECREATION CENTER
PRELIMINARY PLAT REVIEW NO. 3**

Dear Wendy;

Pursuant to your request, Neel-Schaffer, Inc. (NSI) has reviewed the revised development plans submitted by BESH, Inc received by the Town, for the above referenced project. Our efforts in reviewing the development documents focused on General plan details, Buildings & Structures, Environmental Protection and Drainage and Stormwater based on the standards provided in the Land Development Code Regulations (LDCR) of the Town of Lady Lake.

Based on our review of the updated plans provided by your office, NSI has found the development plans satisfactory and in compliance with the Lady Lake LDRs. If you have questions or comments, please do not hesitate to contact me at 407-647-6623.

Sincerely,



Marcela Longshore signing for Steven R. Cockerham, P.E.
Senior Project Manager

Wendy Then

From: Butch Goodman <bgoodman@LadyLakePW.org>
Sent: Wednesday, May 27, 2015 4:59 PM
To: Wendy Then
Cc: Robert Barnes
Subject: Revised comments 5/27/15 Green Key Village Recreation Center

Do they need D.E.P to construct permits for the New Utility Lines that will be installed and serve this project?
See below: Comments 5/04/15

Thank you

Thomas " Butch" Goodman
Town of Lady Lake
Utilities Supervisor
136 Skyline Dr.
Lady Lake, Fl 32159
Phone: 352-751-1513
Fax: 352-751-1594
bgoodman@ladylakepw.org

ATTENTION: The new operating hours for the Public Works Department as of October 7th, 2013 will be Monday- Thursday, 7:00AM - 6:00PM. Offices will be closed on Friday's.

Please note: Under Florida law (Fla.Stat. 668.6076 - effect. 07-01-06), e-mail addresses are public records. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing.

From: Butch Goodman
Sent: Monday, May 04, 2015 5:06 PM
To: 'Wendy Then'
Cc: C.T. Eagle; Robert Barnes
Subject: Green Key Village Recreation Center

Utility Dept Comments

We will need to Verify the Water, Sewer and Reuse Projected Usage in Gallon Per Day with the Engineers? This will allow for the correct E.R.U allocation per the L.D.Rs for the project?

Note all Water Sewer and Reuse Lines and Valves as well as Meters, Meter boxes ,Lockable curb stops and Backflows to be installed by the Contractor/Developer.

R.P.Z Backflows and Neptune Radio Read R900I meters.

Note the Reuse meter needs to have a purple head and reuse does not require a Backflow device.

Thank you

Thomas " Butch" Goodman

Town of Lady Lake

Utilities Supervisor

136 Skyline Dr.

Lady Lake, Fl 32159

Phone: 352-751-1513

Fax: 352-751-1594

bgoodman@ladylakepw.org

ATTENTION: The new operating hours for the Public Works Department as of October 7th, 2013 will be Monday- Thursday, 7:00AM - 6:00PM. Offices will be closed on Friday's.

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Thad Carroll

From: Dallas Foss <dfoss@usanova.com>
Sent: Tuesday, June 02, 2015 2:35 PM
To: Wendy Then; Thad Carroll
Subject: Green Key Subdivision

I have reviewed the changes to the plan and have no comments at this time.

Dallas Foss
Building Official
Town of Lady Lake
Nova Engineering and Environmental

Sent from my Verizon Wireless 4G LTE smartphone

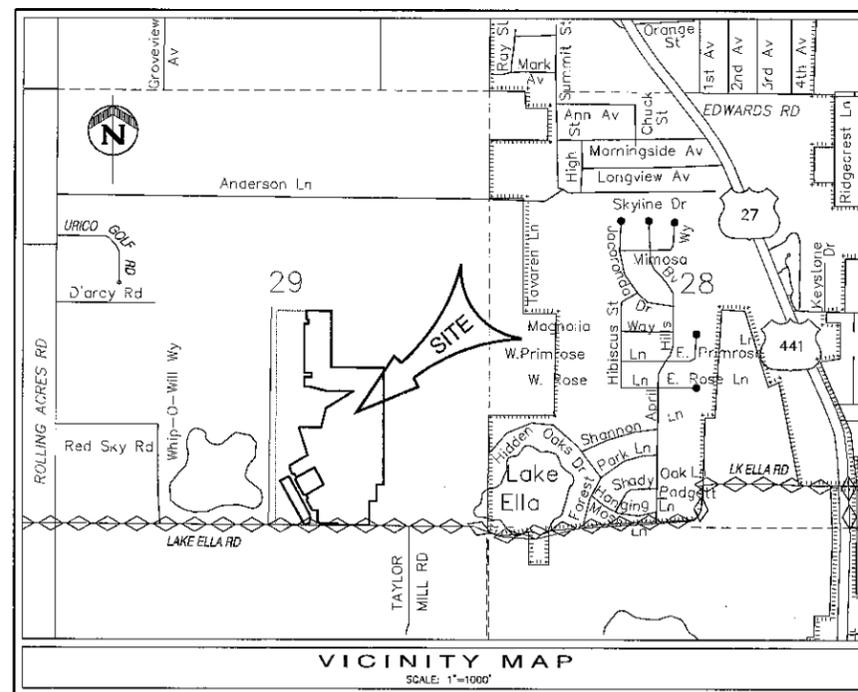
PRELIMINARY PLAT FOR GREEN KEY VILLAGE PHASE II PARTIAL RE PLAT OF GREEN KEY VILLAGE AND CHETWYND LAND CO.

SECTION 29, TOWNSHIP 18 SOUTH, RANGE 24 EAST
TOWN OF LADY LAKE
LAKE COUNTY, FLORIDA

OWNER/DEVELOPER:
GREEN KEY VILLAGE, LLC
4207 BAIR AVENUE
FRUITLAND PARK, FLORIDA 34731
PHONE: (352) 267-4603
CONTACT: GREG THOMAS

ENGINEER:
BOOTH, ERN, STRAUGHAN & HIOTT, INC.
902 NORTH SINCLAIR AVENUE
TAVARES, FLORIDA 32778
PHONE (352) 343-8481
CONTACT: CHARLES C. HIOTT, P.E.

SURVEYOR:
BOOTH, ERN, STRAUGHAN & HIOTT, INC.
902 NORTH SINCLAIR AVENUE
TAVARES, FLORIDA 32778
PHONE (352) 343-8481
CONTACT: JAMES M. STRAUGHAN, P.S.M.



INDEX OF SHEETS

- 1 COVER SHEET
- 2 PRELIMINARY PLAT
- 3 PRELIMINARY PLAT
- 4 EROSION CONTROL & DEMOLITION PLAN
- 5 SITE PLAN
- 6 GRADING & DRAINAGE PLAN
- 7 UTILITY PLAN
- 8 PAVING & DRAINAGE DETAILS
- 9 WATER & SEWER DETAILS

UTILITY COMPANIES

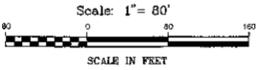
ELECTRIC:
DUKE ENERGY
401 CITRUS TOWER BLVD
CLERMONT, FL 34711
(407) 646-8364
CONTACT: SUE FREYSER

TELEPHONE:
CENTURYLINK
33 N. MAIN ST.
WINTER GARDEN, FL 34787
(407) 814-5379
CONTACT: GARY MAU

CABLE:
BRIGHT HOUSE NETWORKS
602 E. HIGHWAY 50, SUITE A
CLERMONT, FL 34711
(352) 330-2906
CONTACT: AL STALEY

WATER / WASTEWATER:
CITY OF CLERMONT
685 W. MONTROSE STREET
CLERMONT, FL 34711
(352) 241-7320
CONTACT: BRUCE PHILLIPS, PE
(UTILITY DIRECTOR)

CONTRACTOR TO PROVIDE FORTY-EIGHT (48) HOUR ADVANCE NOTIFICATION TO THE UTILITY COMPANY AND THE ENGINEER OF RECORD PRIOR TO ANY REQUIRED TEST OF THE UTILITIES, WATER SYSTEM, ETC.



LEGAL DESCRIPTION

PARCEL 1
 LOTS 1 THROUGH 6 AS SHOWN ON THE PLAT OF "GREEN KEY VILLAGE" AS RECORDED IN PLAT BOOK 65, PAGES 19 AND 20, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, BEING IN THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 18 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:
 COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 29, THENCE ON A BEARING RELATED TO FLORIDA STATE PLANE COORDINATES, EAST ZONE, RUN N 00°14'41" E ALONG THE WEST LINE OF SAID SOUTHWEST 1/4 A DISTANCE OF 40.00 FEET TO THE SOUTHWEST CORNER OF THE PLAT OF "GREEN KEY VILLAGE" AS RECORDED IN PLAT BOOK 65, PAGES 19 AND 20, SAID POINT ALSO BEING SITUATED ON THE NORTH RIGHT OF WAY LINE OF "LAKE ELLA ROAD" PER OFFICIAL RECORDS BOOK 3702, PAGES 2131 THROUGH 2133, BOTH BEING RECORDED IN THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; THENCE RUN ALONG THE SOUTH LINE OF SAID PLAT OF "GREEN KEY VILLAGE" AND NORTH RIGHT OF WAY LINE THE FOLLOWING THREE (3) COURSES, S 89°38'58" E A DISTANCE OF 207.58 FEET; THENCE RUN N 00°21'02" E A DISTANCE OF 2.25 FEET; THENCE RUN S 89°38'58" E A DISTANCE OF 144.48 FEET TO THE SOUTHWEST CORNER OF TRACT "E" OF SAID PLAT OF "GREEN KEY VILLAGE", THENCE DEPARTING SAID SOUTH LINE OF THE PLAT OF "GREEN KEY VILLAGE" AND NORTH RIGHT OF WAY LINE, RUN N 29°17'33" W ALONG THE WESTERLY LINE OF SAID TRACT "E" A DISTANCE OF 6.75 FEET TO THE SOUTHWEST CORNER OF AFORESAID LOT ONE (1), SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUE N 29°17'33" W ALONG THE WESTERLY LINE OF AFORESAID LOTS 1 THROUGH 6, A DISTANCE OF 596.72 FEET TO THE NORTHWEST CORNER OF SAID LOT SIX (6); THENCE RUN N 60°42'22" E ALONG THE NORTHERLY LINE OF SAID LOT SIX (6) A DISTANCE OF 23.00 FEET TO THE NORTH-EAST CORNER OF SAID LOT SIX (6), SAID POINT ALSO BEING SITUATED ON THE WESTERLY BOUNDARY LINE OF TRACT "G" (FESTA KEY DRG. 2) AS SHOWN ON SAID "GREEN KEY VILLAGE"; THENCE RUN S 29°17'33" E ALONG SAID WESTERLY BOUNDARY LINE AND THE EASTERLY LINE OF SAID LOTS 2 THROUGH 6 A DISTANCE OF 437.84 FEET TO POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 225.00 FEET; THENCE CONTINUE ALONG SAID WESTERLY BOUNDARY LINE AND ALONG THE EASTERLY LINE OF SAID LOTS 1 AND 2, SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 24°41'27" AN ARC DISTANCE OF 98.36 FEET TO THE SOUTHWEST CORNER OF SAID LOT ONE (1), THENCE RUN S 51°11'44" W ALONG THE SOUTHERLY LINE OF SAID LOT ONE (1) A DISTANCE OF 92.30 FEET, THENCE CONTINUE ALONG SAID SOUTHERLY LINE N 89°38'58" W A DISTANCE OF 8.99 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH
 PARCEL 2
 THAT PORTION OF LOT 4 OF BLOCK 2, ALL OF BLOCK 3, THAT PORTION OF LOT 1 AND THAT PORTION OF LOTS 3 THROUGH 5 OF BLOCK 4, THAT PORTION OF LOTS 1 THROUGH 5 OF BLOCK 5, LOTS 1 THROUGH 10 AND THAT PORTION OF LOTS 11 AND 12 OF BLOCK 5, THAT PORTION OF LOT 1 OF BLOCK 7, THAT PORTION OF LOTS 2 THROUGH 5 OF BLOCK 11, THAT PORTION OF LOTS 1 THROUGH 3 OF BLOCK 12, THAT PORTION OF LOTS 7 AND 8 ALONG WITH THAT PORTION OF LOTS 10 THROUGH 12 OF BLOCK 21, THAT PORTION OF LOT 1 AND THAT PORTION OF LOTS 3 THROUGH 5 ALONG WITH THAT PORTION OF LOT 12 TOGETHER WITH ALL OF LOT 2 AND ALL OF LOTS 6 THROUGH 11 OF BLOCK 22, THAT PORTION OF BLOCK 25, THAT PORTION OF BLOCK 26, THAT PORTION OF THE LOT, SITE AND THAT PORTION OF CETHWIND AVENUE, SMALLWOOD AVENUE AND THE UNPAVED ROADS LYING BETWEEN SAID BLOCKS, NOW VACATED PER A RESOLUTION AS RECORDED IN OFFICIAL RECORDS BOOK 85, PAGES 493 THROUGH 497, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, SAID LOTS AND BLOCKS, ALONG WITH SAID ROADS BEING SHOWN ON THE PLAT OF "MAP OF THE LAND OF THE CETHWIND LAND CO." AS RECORDED IN PLAT BOOK 1, PAGE 42, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, AND BEING IN SECTION 29, TOWNSHIP 18 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:
 COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 29, THENCE ON A BEARING RELATED TO FLORIDA STATE PLANE COORDINATES, EAST ZONE, RUN N 00°14'41" E ALONG THE WEST LINE OF SAID SOUTHWEST 1/4 A DISTANCE OF 40.00 FEET TO THE SOUTHWEST CORNER OF THE PLAT OF "GREEN KEY VILLAGE" AS RECORDED IN PLAT BOOK 65, PAGES 19 AND 20, SAID POINT ALSO BEING SITUATED ON THE NORTH RIGHT OF WAY LINE OF "LAKE ELLA ROAD" PER OFFICIAL RECORDS BOOK 3702, PAGES 2131 THROUGH 2133, BOTH BEING RECORDED IN THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; THENCE RUN ALONG THE SOUTH LINE OF SAID PLAT OF "GREEN KEY VILLAGE" AND NORTH RIGHT OF WAY LINE, THE FOLLOWING FIVE (5) COURSES, S 89°38'58" E A DISTANCE OF 207.58 FEET; THENCE RUN N 00°21'02" E A DISTANCE OF 2.25 FEET; THENCE RUN S 89°38'58" E A DISTANCE OF 144.48 FEET; THENCE RUN N 00°21'02" E A DISTANCE OF 1.00 FEET; THENCE RUN S 89°38'58" E A DISTANCE OF 147.30 FEET TO THE SOUTHWEST CORNER OF SAID PLAT OF "GREEN KEY VILLAGE", SAID POINT BEING THE POINT OF BEGINNING; THENCE DEPARTING SAID SOUTH LINE AND NORTH RIGHT OF WAY LINE, RUN ALONG THE EAST LINE OF SAID PLAT OF "GREEN KEY VILLAGE" THE FOLLOWING THIRTY ONE (31) COURSES, N 44°59'54" W A DISTANCE OF 35.52 FEET; THENCE RUN N 00°21'02" E A DISTANCE OF 131.79 FEET; THENCE RUN N 89°38'58" W A DISTANCE OF 51.35 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHEAST AND HAVING A RADIUS OF 25.00 FEET; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 60°21'22" AN ARC DISTANCE OF 26.34 FEET TO THE POINT OF TANGENCY; THENCE RUN N 29°17'33" W A DISTANCE OF 114.85 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 26.00 FEET; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00" AN ARC DISTANCE OF 38.27 FEET; THENCE RUN N 29°17'33" W A DISTANCE OF 50.00 FEET TO A POINT SITUATED ON A NON-TANGENT CURVE CONCAVE TO THE NORTHEAST AND HAVING A RADIUS OF 25.00 FEET, TO WHICH A RADIAL LINE BEARS S 29°17'33" E; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 30°00'00" AN ARC DISTANCE OF 38.27 FEET TO THE POINT OF TANGENCY; THENCE RUN N 29°17'33" W A DISTANCE OF 190.30 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE TO THE SOUTHWEST AND HAVING A RADIUS OF 26.00 FEET; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00" AN ARC DISTANCE OF 39.27 FEET; THENCE RUN N 29°17'33" W A DISTANCE OF 63.00 FEET TO A POINT SITUATED ON A NON-TANGENT CURVE CONCAVE NORTHERLY AND HAVING A RADIUS OF 26.00 FEET, TO WHICH A RADIAL LINE BEARS S 29°17'33" E; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 91°41'34" AN ARC DISTANCE OF 40.01 FEET TO THE POINT OF COMPOUND CURVATURE OF A CURVE CONCAVE EASTERLY AND HAVING A RADIUS OF 175.00 FEET; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 92°58'18" AN ARC DISTANCE OF 00.60 FEET; THENCE RUN N 60°42'22" E A DISTANCE OF 246.29 FEET; THENCE RUN N 18°12'53" W A DISTANCE OF 322.23 FEET; THENCE RUN N 00°14'41" E A DISTANCE OF 33.16 FEET; THENCE RUN N 89°45'19" E A DISTANCE OF 246.23 FEET; THENCE RUN N 14°35'24" W A DISTANCE OF 243.63 FEET; THENCE RUN N 59°25'03" E A DISTANCE OF 393.07 FEET; THENCE RUN N 89°31'01" W A DISTANCE OF 323.25 FEET; THENCE RUN N 78°26'12" W A DISTANCE OF 226.23 FEET; THENCE RUN N 89°50'08" W A DISTANCE OF 61.67 FEET; THENCE RUN N 00°03'52" E A DISTANCE OF 120.00 FEET; THENCE RUN S 89°50'08" E A DISTANCE OF 92.01 FEET; THENCE RUN N 00°03'52" E A DISTANCE OF 60.00 FEET; THENCE RUN N 89°50'08" W A DISTANCE OF 95.00 FEET; THENCE RUN N 00°03'52" E A DISTANCE OF 596.00 FEET; THENCE RUN S 89°50'08" E A DISTANCE OF 50.00 FEET; THENCE RUN N 00°03'52" W; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00" AN ARC DISTANCE OF 39.27 FEET TO THE POINT OF TANGENCY; THENCE RUN N 00°03'52" E A DISTANCE OF 63.11 FEET TO THE NORTHEAST CORNER OF AFORESAID PLAT OF "GREEN KEY VILLAGE"; SAID POINT BEING SITUATED ON THE SOUTH RIGHT OF WAY LINE OF "LAKE ELLA ROAD" AS SHOWN ON SAID PLAT OF "GREEN KEY VILLAGE" AND ALSO BEING THE SOUTH RIGHT OF WAY LINE OF AN UNPAVED ROAD LYING NORTH OF BLOCK 25 AS SHOWN ON THE AFORESAID PLAT OF "MAP OF THE LAND OF THE CETHWIND LAND CO."; THENCE DEPARTING THE EAST LINE OF SAID PLAT OF "GREEN KEY VILLAGE" RUN S 89°31'01" W ALONG SAID SOUTH RIGHT OF WAY LINE A DISTANCE OF 312.50 FEET TO THE WEST LINE OF THE EAST 640.00 FEET OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF AFORESAID SECTION 29, THENCE DEPARTING SAID SOUTH RIGHT OF WAY LINE RUN S 00°03'52" W ALONG SAID WEST LINE A DISTANCE OF 585.02 FEET TO THE SOUTH LINE OF THE NORTH 730.00 FEET OF SAID NORTHWEST 1/4 OF THE SOUTHWEST 1/4; THENCE RUN S 89°31'01" W A DISTANCE OF 643.02 FEET TO THE EAST LINE OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION 29, THENCE RUN S 00°03'52" W ALONG SAID EAST LINE A DISTANCE OF 142.02 FEET TO THE NORTHWEST CORNER OF THE WEST 120.00 FEET OF THE SOUTH 500.00 FEET OF THE SOUTHWEST 1/4 OF SAID SECTION 29, THENCE DEPARTING SAID EAST LINE RUN N 59°38'59" W A DISTANCE OF 85.61 FEET; THENCE RUN S 00°08'43" W A DISTANCE OF 200.00 FEET TO A FOUR (4) INCH OCTAGON SHAPED CONCRETE MONUMENT HAVING NO IDENTIFICATION NUMBER; THENCE RUN N 89°38'59" W A DISTANCE OF 89.67 FEET; THENCE RUN S 00°03'52" W A DISTANCE OF 290.00 FEET TO THE AFORESAID NORTH RIGHT OF WAY LINE OF "LAKE ELLA ROAD"; THENCE RUN ALONG SAID NORTH RIGHT OF WAY LINE THE FOLLOWING THREE (3) COURSES, N 89°38'59" W A DISTANCE OF 387.02 FEET; THENCE RUN N 00°21'02" E A DISTANCE OF 13.25 FEET; THENCE RUN N 89°38'59" W A DISTANCE OF 22.73 FEET TO THE POINT OF BEGINNING.

CONTAINING 1926893.92 SQUARE FEET OR 44.24 ACRES, MORE OR LESS
 SUBJECT TO EASEMENTS, RIGHT OF WAYS AND MATTERS OF RECORD.

SITE DATA
 SITE AREA = 42.87 AC. (1,867,331 S.F.)
 IMPERVIOUS AREA = 0.69 AC. (30,012 S.F.) = 44.84%
 PERVIOUS AREA = 42.18 AC. (36,920 S.F.) = 55.16%
 PARCEL NUMBER = 29-18-24-00040002700
 ALTERNATE KEY NUMBERS = 1771463 & 3838637
 EXISTING USE = VACANT
 EXISTING ZONING = RS-6 SINGLE-FAMILY MEDIUM DENSITY
 PROPOSED ZONING = RS-6 SINGLE-FAMILY MEDIUM DENSITY
 FUTURE LAND USE MAP = SF-MD SINGLE-FAMILY MEDIUM DENSITY
 PROPOSED USE = RECREATION CENTER / FUTURE DEVELOPMENT
 MAXIMUM BUILDING HEIGHT = 35'
 RESTROOM BUILDING = 320 S.F.
 PAVILIONS = 960 S.F.
 FLOOR AREA RATIO = 1.280 S.F./66.932 S.F. = 1.91%
 NO WETLANDS ON SITE

TRACT SUMMARY:
 1. TRACT A IS RESERVED FOR LANDSCAPE, DRAINAGE, RECREATION ROADWAY, AND UTILITIES. TO BE MAINTAINED BY HOME OWNERS ASSOCIATION.
 2. TRACT B IS RESERVED FOR FUTURE LAND DEVELOPMENT AND TO BE OWNED AND MAINTAINED BY DEVELOPER.

SOILS LEGEND
 ApD APOPKA SAND, 5 TO 12 PERCENT SLOPES
 AIB ASTATULA SAND, DARK SURFACE, 0 TO 5 PERCENT SLOPES
 AID ASTATULA SAND, DARK SURFACE, 5 TO 12 PERCENT SLOPES
 LUB LUCY SAND, 0 TO 5 PERCENT SLOPES
 PmA PLAGIO AND MYRKA SANDS, 0 TO 2 PERCENT SLOPES

THIS SITE IS LOCATED IN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 500 YEAR FLOOD PLAIN) ACCORDING TO FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 120890170E, EFFECTIVE DATE: DECEMBER 18, 2012.

ZONED-A (AGRICULTURE)
 FLUM: URBAN LOW DENSITY

ZONED-RS-6
 (SINGLE-FAMILY MEDIUM DENSITY)
 FLUM: SF-MD
 (SINGLE-FAMILY MEDIUM DENSITY)

ZONED-RS-9
 (SINGLE-FAMILY LOW DENSITY)
 FLUM: SF-LD
 (SINGLE-FAMILY LOW DENSITY)

ZONED-RS-9
 (SINGLE-FAMILY LOW DENSITY)
 FLUM: SF-LD
 (SINGLE-FAMILY LOW DENSITY)

ZONED-RS-6
 (SINGLE-FAMILY MEDIUM DENSITY)
 FLUM: SF-MD
 (SINGLE-FAMILY MEDIUM DENSITY)

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 FLUM: URBAN LOW DENSITY

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 (SINGLE-FAMILY MEDIUM DENSITY)
 FLUM: SF-MD
 (SINGLE-FAMILY MEDIUM DENSITY)

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 (SINGLE-FAMILY LOW DENSITY)
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 FLUM: SF-LD
 (SINGLE-FAMILY LOW DENSITY)

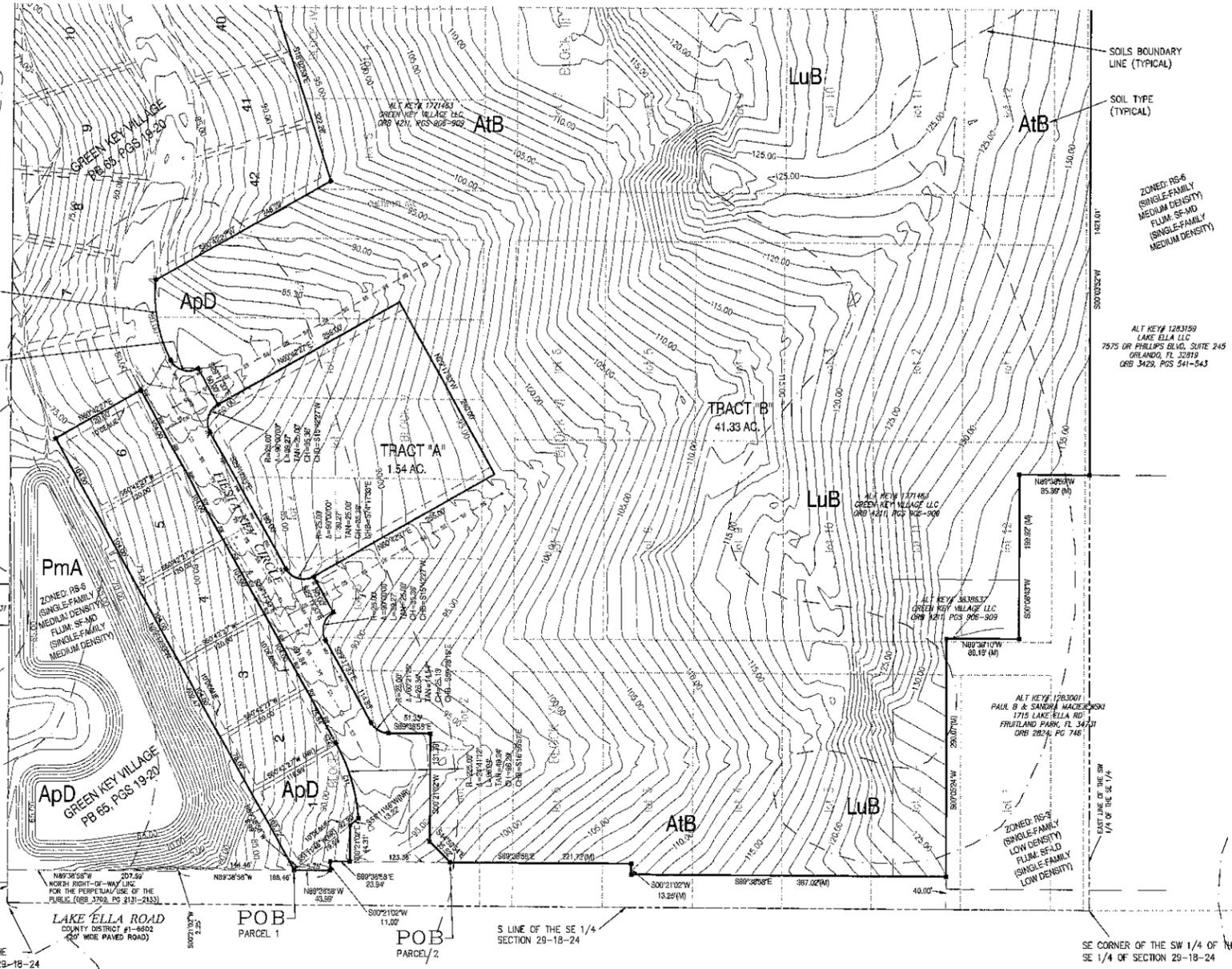
ZONED-RS-9
 (SINGLE-FAMILY LOW DENSITY)
 FLUM: SF-LD
 (SINGLE-FAMILY LOW DENSITY)

ZONED-RS-6
 (SINGLE-FAMILY MEDIUM DENSITY)
 FLUM: SF-MD
 (SINGLE-FAMILY MEDIUM DENSITY)

ZONED-A (AGRICULTURE)
 FLUM: URBAN LOW DENSITY

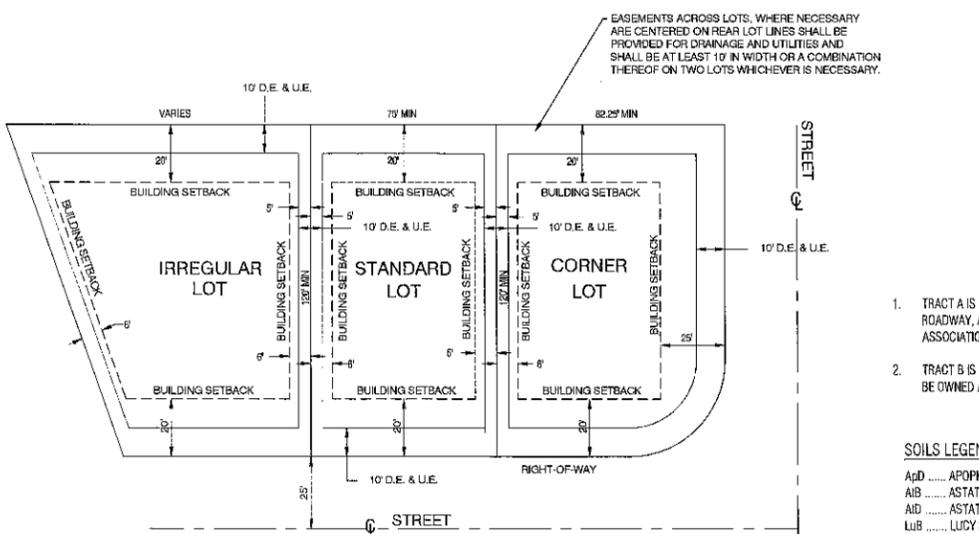
ZONED-RS-6
 (SINGLE-FAMILY MEDIUM DENSITY)
 FLUM: SF-MD
 (SINGLE-FAMILY MEDIUM DENSITY)

ZONED-RS-9
 (SINGLE-FAMILY LOW DENSITY)
 FLUM: SF-LD
 (SINGLE-FAMILY LOW DENSITY)



CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	TANGENT	CHORD	CHORD BEARING
C1	225.00'	24.00°10'	94.79'	18.11'	94.02'	N63°01'27" W
C2	225.00'	02°32'00"	2.16'	1.08'	2.38'	N89°31'01" W



TYPICAL LOT & CORNER LOT LEY LEGEND
 NOT TO SCALE

REVISIONS

NO.	DATE	BY	DESCRIPTION
1	06-01-15	RLG	ADDED ADJACENT ZONING AND SOIL DEMARCATIENS

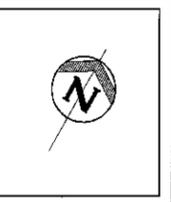
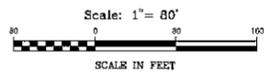
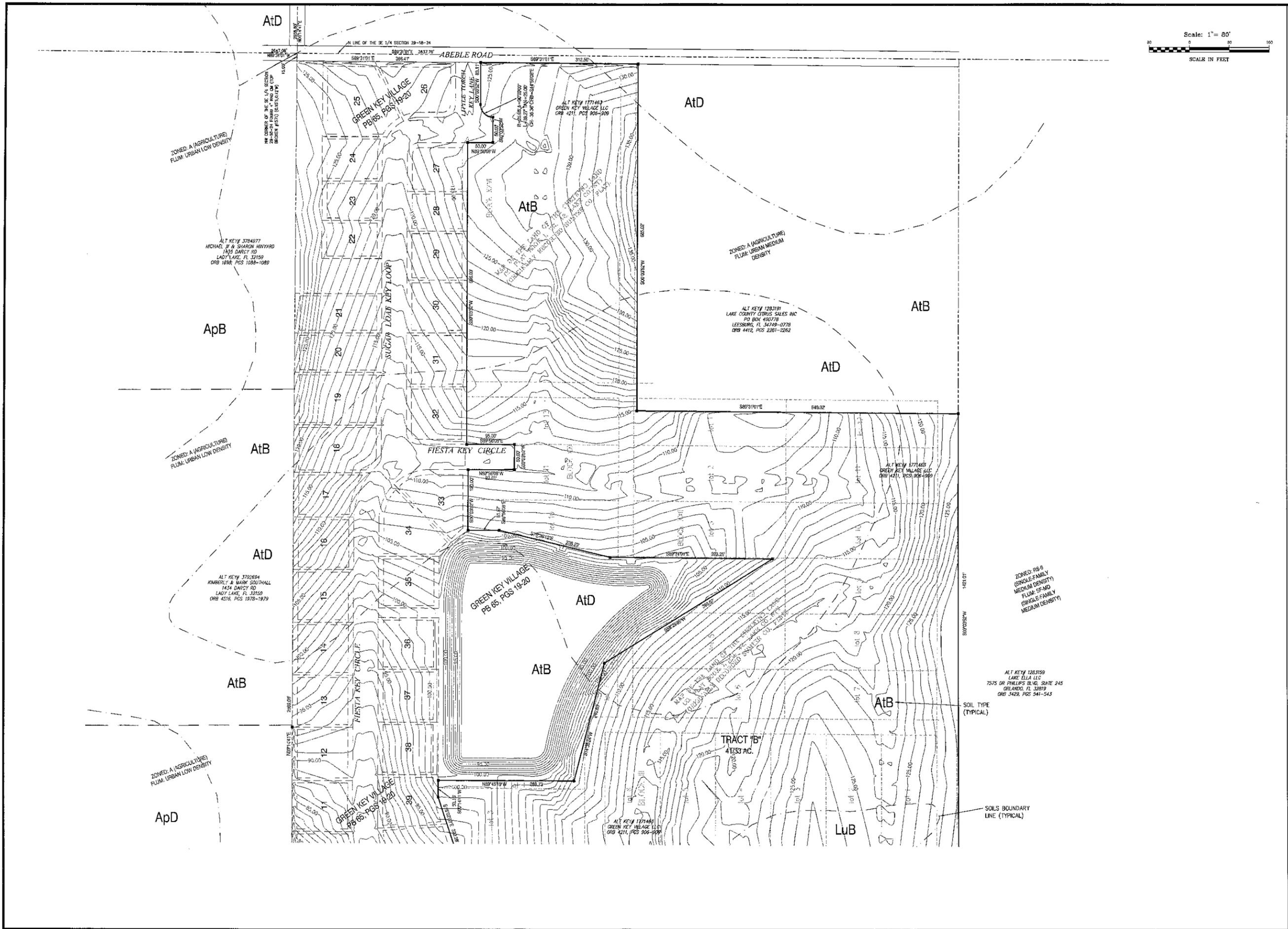
**GREEN KEY VILLAGE
 RECREATION CENTER
 PRELIMINARY PLAT
 TRACTS "A & B"**

BOOTH BEN STRAUGHAN HOTT, P.E.
 ENGINEER & SURVEYOR
 609 South Shady Ave.
 Tallahassee, Florida 32378
 www.basemanning.com
 Office: 352.343.8481
 Fax: 352.343.8489
 Certificate of Authorization Number: 27028

DATE: MARCH 2015
DESIGNED BY: RLG
DRAWN BY: RLG
CHECKED BY: CCH
JOB NO.: 121043.0006
FILE NAME: GRV REC CTR

Sheet 2

CHARLES C. HOTT, P.E.
 PROFESSIONAL ENGINEER NO. 94913



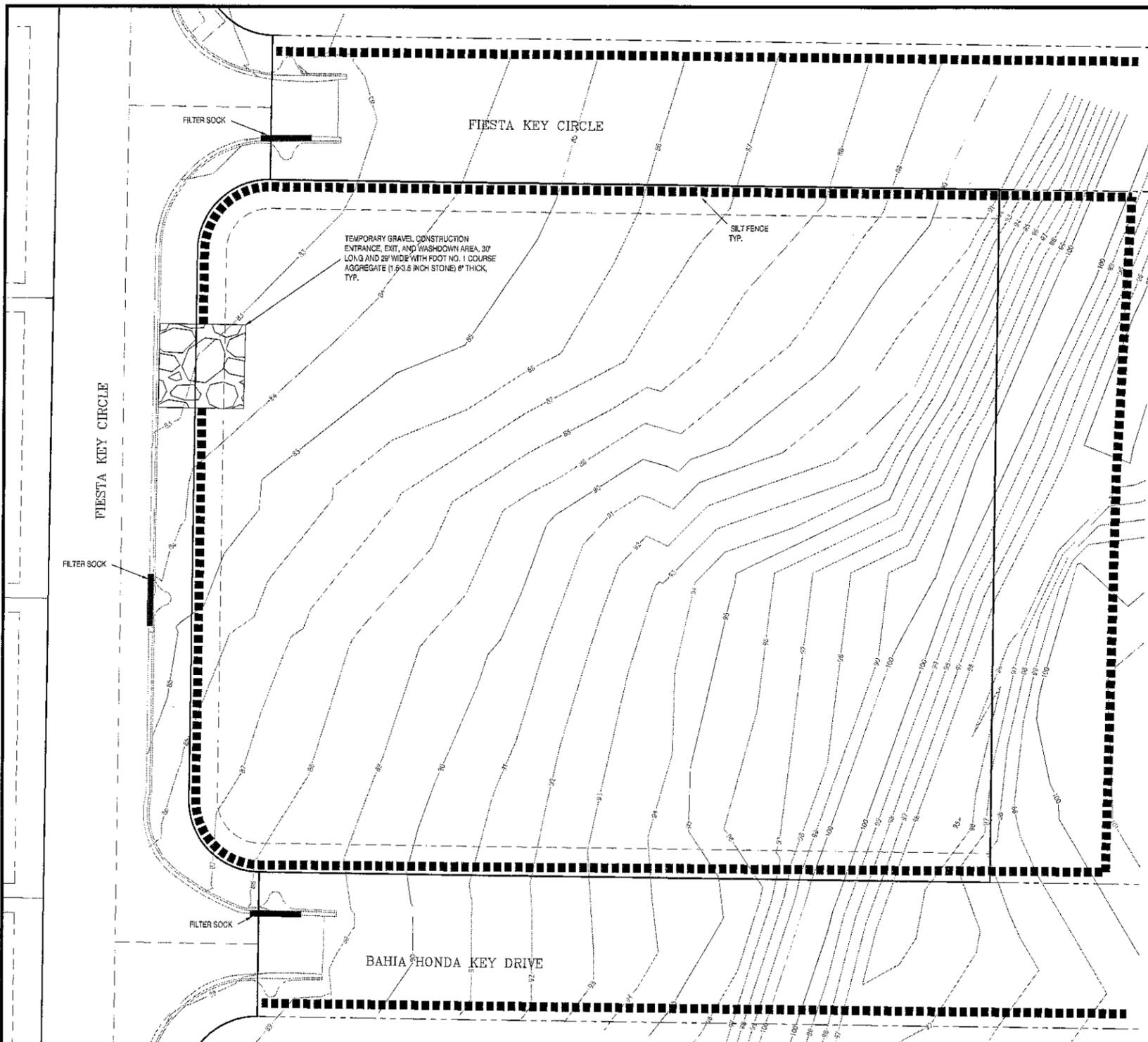
REVISION	DATE	DESCRIPTION
1	06-07-15	ADDED ADJACENT ZONING AND SOIL DELINEATIONS
2		
3		
4		
5		
6		
7		
8		
9		
10		

**GREEN KEY VILLAGE
RECREATION CENTER
PRELIMINARY PLAT
TRACTS 'A & B'**

BOOTH BERN STRAGHAN HOTTEL, INC.
ENGINEERS & LAND PLANNERS
902 North Sinclair Ave.
Tavares, Florida 32778
www.boothbernstraghan.com
Office: 352.343.4841
Fax: 352.343.4842
Certificate of Authorization Number: 27226

DATE:	MARCH 2015
DESIGNED BY:	RLG
DRAWN BY:	RLG
CHECKED BY:	COH
JOB NO.:	121043.0006
FILE NAME:	GNV REC CTR

Sheet 3



LEGEND

■■■■■■■■ SILT FENCE

Scale: 1" = 20'

SCALE IN FEET

EROSION AND SEDIMENT CONTROL NOTES:

THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF-SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.

EROSION AND SEDIMENT CONTROL

A. EROSION CONTROL DURING CONSTRUCTION

1. TEMPORARY EROSION CONTROL STRUCTURES SHALL BE UTILIZED DURING CONSTRUCTION AT AREAS ON-SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL STRUCTURES MAY BE REMOVED AFTER UP-SLOPE AREA HAS BEEN STABILIZED BY SOIL OR COMPACTED AS DETERMINED BY THE CONTRACTOR.
2. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENCY IN LIEU OF PERMANENT MEASURES.
3. PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICABLE TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
4. STORM WATER MANAGEMENT AREAS, STORM SEWER SYSTEM AND CONTROL STRUCTURES SHALL BE EXCAVATED TO ROUGH GRADE PRIOR TO BUILDING CONSTRUCTION OR PLACEMENT OF IMPERVIOUS SURFACES WITHIN THE AREA TO BE SERVED BY THESE FACILITIES. TO PREVENT REDUCTION IN STORAGE VOLUME AND PERCOLATION RATE, ALL ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE STORM WATER FACILITIES PRIOR TO FINAL GRADING, STABILIZATION AND GRASSING.
5. EROSION CONTROL STRUCTURES, SUCH AS SILT FENCE AND BERMS, SHALL BE INSTALLED AROUND INLETS AND IN SWALES TO TRAP ERODED MATERIAL, PREVENT SEDIMENTATION IN DOWN STREAM AREAS AND KEEP RUN-OFF VISIBLE, C.W.
6. THE CONTRACTOR SHALL MINIMIZE THE EXTENT OF AREA EXPOSED AT ANY ONE TIME AND THE DURATION OF EXPOSURE.
7. STABILIZATION MEASURES SHALL BE INITIATED FOR EROSION AND SEDIMENT CONTROL ON DISTURBED AREAS NO MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN ANY PORTION OF THE SITE THAT HAS CEASED.
8. THE CONTRACTOR WILL INSTALL A PERMANENT VEGETATIVE COVER FOR EROSION AND SEDIMENT CONTROL ON ALL LAND SURFACES DISTURBED BY CONSTRUCTION. THIS PROTECTIVE COVER MUST BE INSTALLED WITHIN FOURTEEN (14) DAYS AFTER FINAL GRADING OF THE EFFECTED LAND SURFACES. A PERMANENT VEGETATIVE COVER MUST BE ESTABLISHED WITHIN SIXTY (60) DAYS AFTER PLANTING OR INSTALLATION.
9. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
10. PLACEMENT OF BARRIERS OR NECESSARY REPAIRS TO BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
11. MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCK PILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATER COURSE BY RUNOFF OR HIGH WATER.
12. ANY ACCUMULATED SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED, AND SEED.
13. TO PROVIDE DUST CONTROL, A CONTRACTOR SHALL PROVIDE A WATER TRUCK OR IRRIGATION SYSTEM AS NEEDED TO MAINTAIN SOIL MOISTURE.
14. IF SITE SPECIFIC CONDITIONS REQUIRE ADDITIONAL MEASURES DURING ANY PHASE OF CONSTRUCTION OR OPERATION TO PREVENT EROSION OR CONTROL SEDIMENT, BEYOND THOSE SPECIFIED IN THE EROSION AND SEDIMENT CONTROL PLAN, THE CONTRACTOR MUST IMPLEMENT ADDITIONAL BEST MANAGEMENT PRACTICES AS NECESSARY, IN ACCORDANCE WITH THE SPECIFICATION IN SECTION 6 OF THE FLORIDA LAND DEVELOPMENT MANUAL: A GUIDE TO LAND AND WATER MANAGEMENT (FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION, 1998).

B. PERMANENT STABILIZATION

WHERE CONSTRUCTION IS COMPLETE, PERMANENT VEGETATION SHALL BE INSTALLED AS SPECIFIED ON THE CONSTRUCTION PLANS AND IN ACCORDANCE WITH THE CONSTRUCTION SPECIFICITY DOCUMENTS. PERMANENT VEGETATION WILL INCLUDE SOIL ON SEED AND MULCH.

STORMWATER MANAGEMENT SYSTEM

THE STORMWATER RETENTION PONDS SHALL BE EXCAVATED TO ROUGH GRADE PRIOR TO BUILDING CONSTRUCTION OR PLACEMENT OF IMPERVIOUS SURFACES WITHIN THE DRAINAGE AREA SERVED BY THIS FACILITY. ALL ACCUMULATED SEDIMENT MUST BE REMOVED FROM THE RETENTION POND PRIOR TO FINAL GRADING, STABILIZATION AND GRASSING.

OTHER CONTROLS

A. OFFSITE VEHICLE TRACKING

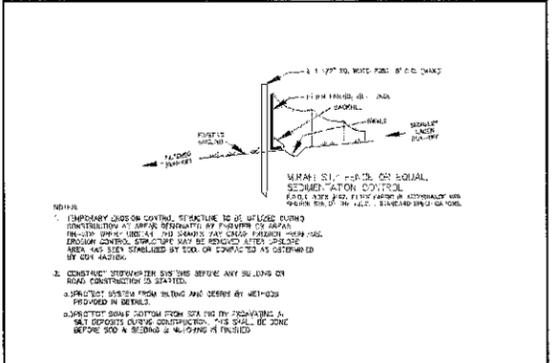
PAVED STREETS ADJACENT TO THE CONSTRUCTION SITE ENTRANCES WILL BE SWEEP AS NEEDED TO PREVENT EXCESS MUD, DIRT OR ROCK FROM LEAVING THE CONSTRUCTION SITE. ALL DRIVE TRUCKS MAINTAIN MATERIAL TO AND FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP. TEMPORARY STABILIZED OR ROCK CONSTRUCTION ENTRANCE MAY BE REQUIRED TO REMOVE EXCESS DIRT AND MUD FROM TIRES BEFORE CONSTRUCTION VEHICLES ENTER ADJACENT PAVED STREETS.

TIMING OF SEDIMENT AND EROSION CONTROL MEASURES

A SILT FENCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY. A RETENTION POND AND STORM WATER CONVEYANCE SYSTEM SHALL BE CONSTRUCTED PRIOR TO THE PLACEMENT OF ANY IMPERVIOUS AREA. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 14-DAYS SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN ANY AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED AND MULCH. AT SOON AS THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WITHIN ANY CATCH BASIN, STORM TRAPS, OR RETENTION PONDS WILL BE REMOVED.

GENERAL NOTES:

1. CONTRACTOR TO DESIG. ALL PIPES PRIOR TO COMPLETION OF CONSTRUCTION OF PROJECT.
2. SILT FENCE SHOWN IS STRICTLY SCHEMATIC, FOR ILLUSTRATION ONLY. ALL FENCE TO BE WITHIN THE PROPERTY LINE OF THE PROJECT SITE.
3. THE CONTRACTOR SHALL APPLY WITH AND OBTAIN NPDES PERMIT FROM THE FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION (FDEP).
4. ALL STORMWATER RULES TO HAVE EROSION CONTROL MEASURES APPLIED UPON THE COMPLETION OF THEIR INSTALLATION. THIS EROSION CONTROL MEASURE CAN BE A 'SOCK' WITH ROCK BAGS THAT WILL NOT ALLOW FOR SEDIMENTS TO ENTER INTO THE INLETS AND ULTIMATELY ENTER INTO THE DRA. OTHER METHODS OF PROTECTION CAN BE OBTAINED FROM FOOT STANDARD INDEX 102. HOWEVER PLEASE NOTE THE USE OF HAY/STRAW BALES IS NOT PERMITTED. A SYNTHETIC BALE MAY BE USED INSTEAD.
5. TEMPORARY EROSION CONTROL STRUCTURE TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY THE ENGINEER OR AREAS ON-SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL STRUCTURE MAY BE REMOVED AFTER UP-SLOPE AREA HAS BEEN STABILIZED BY SOIL, OR COMPACTED AS DETERMINED BY CONTRACTOR.
6. ALTERNATE EROSION CONTROL STRUCTURE: WOVEN FILTER FABRIC SILT FENCE IN ACCORDANCE WITH FOOT INDEX 102. FILTER FABRIC IN ACCORDANCE WITH SECTION 985 OF THE FOOT STANDARD SPECIFICATIONS.
7. TEMPORARY CONSTRUCTION ENTRANCE AREA SHALL BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. A GEOTEXTILE SHOULD BE LAID DOWN TO IMPROVE STABILITY AND SIMPLY MAINTENANCE. THE GRAVEL SHALL THEN BE PLACED OVER THE GEOTEXTILE TO THE SPECIFIED DIMENSIONS.
8. TEMPORARY CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF MUD ONTO PUBLIC ROADS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2-INCH STONE AS CONDITIONS DEMAND. ALL MATERIALS SPILLED, DROPPED, OR TRACKED FROM VEHICLES ONTO ROADWAYS MUST BE REMOVED IMMEDIATELY. LOOK FOR SIGNS OF TRUCKS TRAILERED EQUIPMENT 'CLIPPING CORNERS' WHERE THE GRAVEL MEETS THE ROADWAY. SWEEP THE PAVED ROAD DAILY FOR SEDIMENTS.
9. CONSTRUCTION SITE OPERATORS MUST CONTROL WASTE SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASHOUT, CHEMICALS, LITTER AND SANITARY WASTE AT THE CONSTRUCTION SITE THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY.
10. CONTRACTOR SHALL PROVIDE NPDES PERMIT.



EROSION CONTROL STRUCTURE

NOT TO SCALE

THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF-SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.

PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICABLE TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.

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OTHER CONTROLS

A. OFFSITE VEHICLE TRACKING

PAVED STREETS ADJACENT TO THE CONSTRUCTION SITE ENTRANCES WILL BE SWEEP AS NEEDED TO PREVENT EXCESS MUD, DIRT OR ROCK FROM LEAVING THE CONSTRUCTION SITE. ALL DRIVE TRUCKS MAINTAIN MATERIAL TO AND FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP. TEMPORARY STABILIZED OR ROCK CONSTRUCTION ENTRANCE MAY BE REQUIRED TO REMOVE EXCESS DIRT AND MUD FROM TIRES BEFORE CONSTRUCTION VEHICLES ENTER ADJACENT PAVED STREETS.

TIMING OF SEDIMENT AND EROSION CONTROL MEASURES

A SILT FENCE SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY. A RETENTION POND AND STORM WATER CONVEYANCE SYSTEM SHALL BE CONSTRUCTED PRIOR TO THE PLACEMENT OF ANY IMPERVIOUS AREA. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 14-DAYS SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN ANY AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED AND MULCH. AT SOON AS THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WITHIN ANY CATCH BASIN, STORM TRAPS, OR RETENTION PONDS WILL BE REMOVED.

TOWN OF LADY LAKR
CONSTRUCTION STANDARD DETAILS
DATE: FEB. 2009 EROSION: 01/28

SILT FENCE
DETAIL
DATE: FEB. 2009 EROSION: 01/28

GREEN KEY VILLAGE RECREATION CENTER

EROSION CONTROL & DEMOLITION PLAN

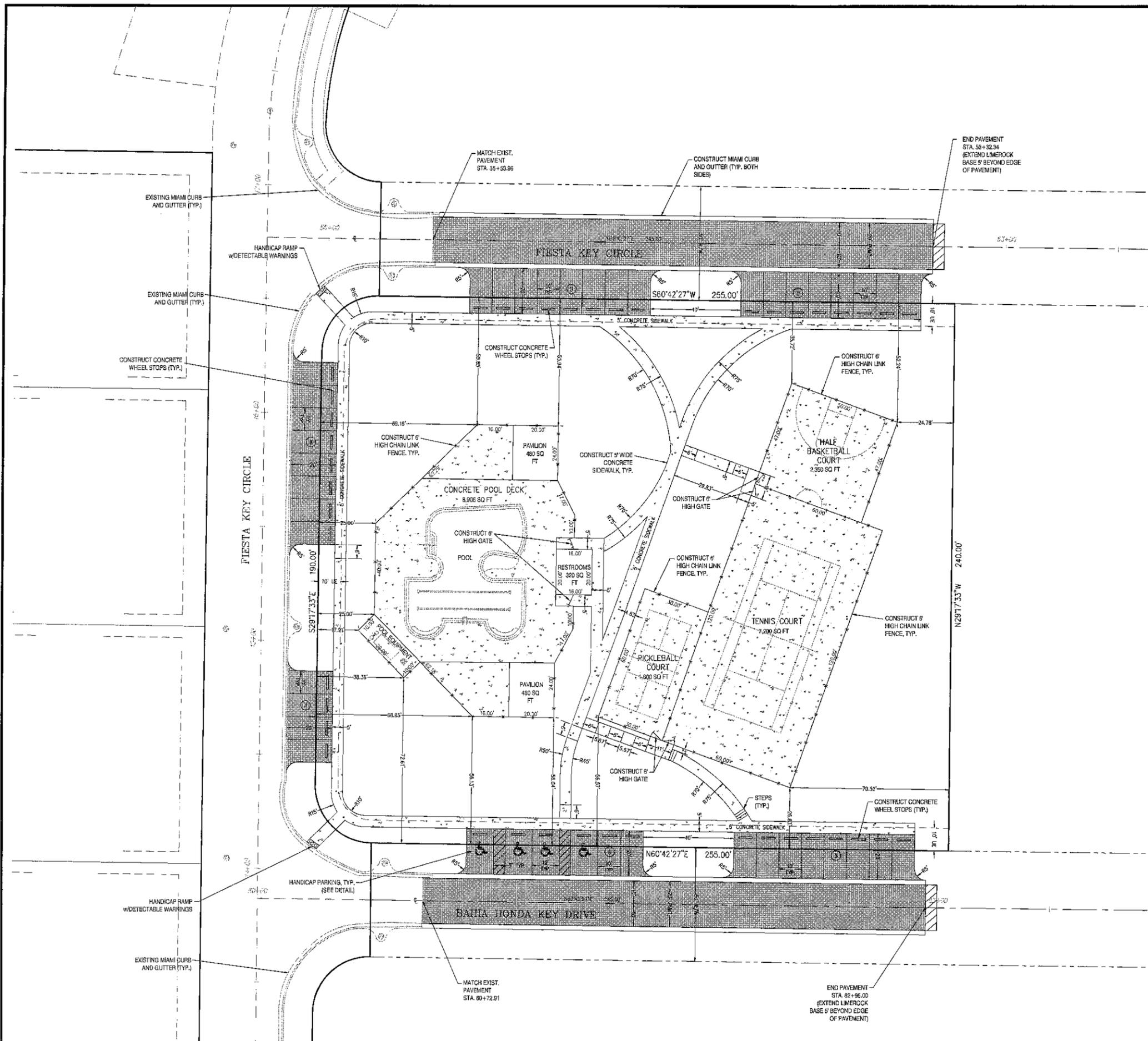
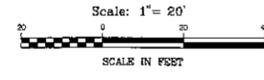
BOOTH ERN STRAUGHAN HOTTING

ENGINEERS & SURVEYORS & LAND PLANNERS

Office: 352.342.6481
Tallahassee, Florida 32376
www.boothern.com
Certificate of Authorization Number: 27029

DATE: MARCH 2015
DESIGNED BY: RLG
DRAWN BY: RLG
CHECKED BY: CCH
JOB NO.: 121043.0006
FILE NAME: GKV REC CTR
Sheet 4

CHARLES C. HOTT, P.E.
PROFESSIONAL ENGINEER NO. 54813



SITE DATA

SITE AREA = 1.54 AC. (66,932 S.F.)
 IMPERVIOUS AREA = 0.69 AC. (30,012 S.F.) = 44.84%
 PERVIOUS AREA = 0.85 AC. (36,920 S.F.) = 55.16%
 PARCEL NUMBER = 29-18-24-000400002700
 ALTERNATE KEY NUMBER = 1771463
 EXISTING USE = VACANT
 EXISTING ZONING = RESIDENTIAL
 PROPOSED ZONING = RESIDENTIAL
 FUTURE LAND USE MAP = RESIDENTIAL
 PROPOSED USE = RECREATION CENTER
 MAXIMUM BUILDING HEIGHT = 35'
 RESTROOM BUILDING = 320 S.F.
 PAVILIONS = 960 S.F.
 FLOOR AREA RATIO = 1,280 S.F./66,932 S.F. = 1.91%
 NO WETLANDS ON SITE

THIS SITE IS LOCATED IN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 500 YEAR FLOOD PLAIN) ACCORDING TO FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 1206900170E, EFFECTIVE DATE: DECEMBER 18, 2012.

PARKING DATA

REQUIRED PARKING SPACES FOR POOL, BASKETBALL, TENNIS, PICKLEBALL AND PAVILIONS
 1 SPACE PER PERSON OF CAPACITY OF POOL = 28 PEOPLE

TOTAL REQUIRED PARKING SPACES = 28 SPACES
 PROVIDED PARKING SPACES = 42 SPACES (INCLUDING 4 HANDICAP SPACES)

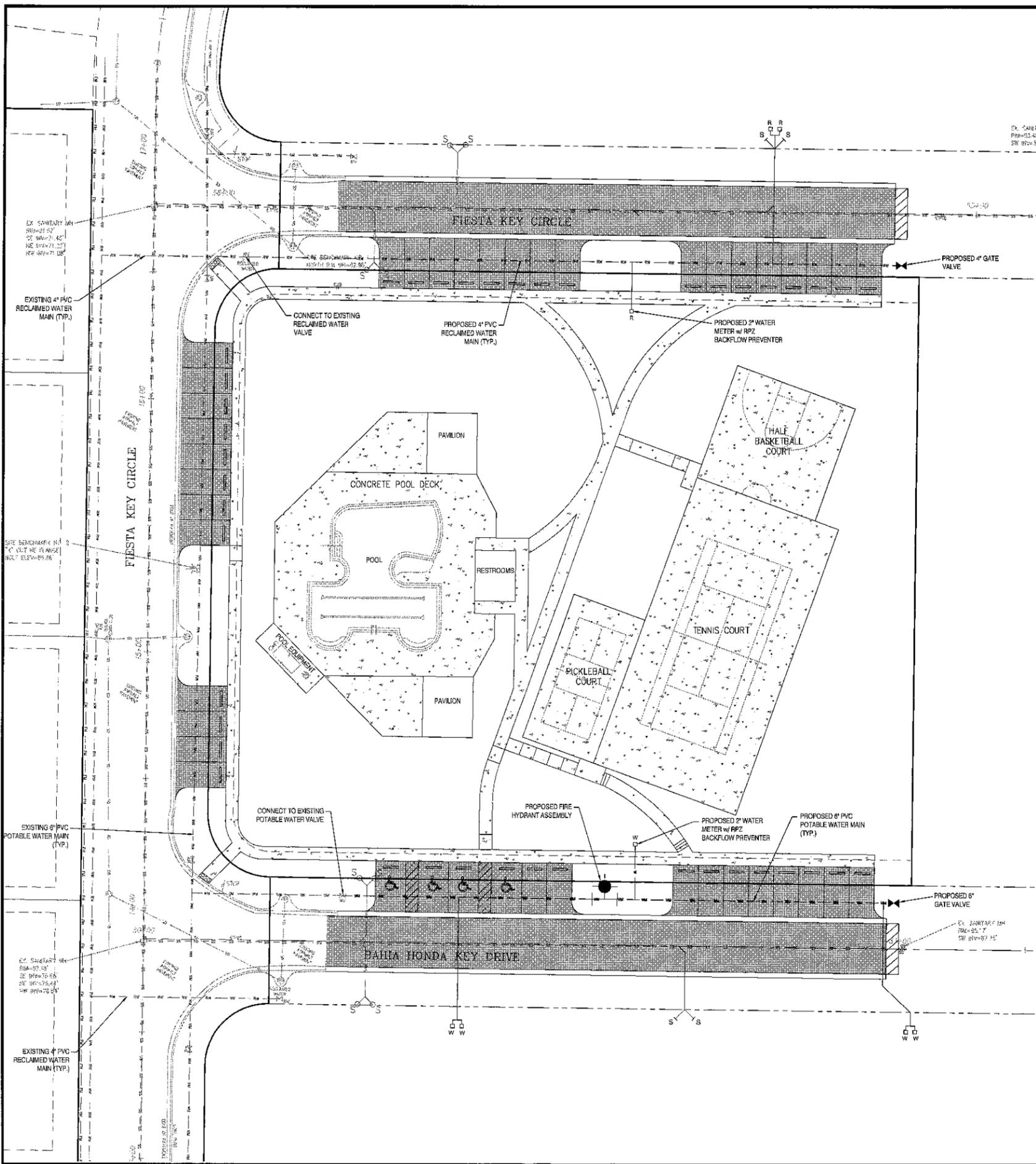
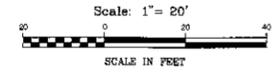
NO.	DATE	REVISION

GREEN KEY VILLAGE RECREATION CENTER
GEOMETRY PLAN
TRACT "A"

GREEN STRALUGHAN HOTTLING
 ENGINEERS & SURVEYORS - LAND PLANNERS
 603 North Biscayne Ave.
 Tequesta, Florida 33478
 www.hseandh.com
 Office: 562.343.6481
 Fax: 562.343.6485
 Certificate of Authorization Number: 27029

DATE:	MARCH 2015
DESIGNED BY:	RLG
DRAWN BY:	RLG
CHECKED BY:	OCH
JOB NO.:	121043.006
FILE NAME:	GKV REC CTR

Sheet 5



- NOTES:**
1. THE PROPERTY WILL BE A GATED COMMUNITY.
 2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UTILITIES PRIOR TO BEGINNING ANY EXCAVATION.
 3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 4. ALL HYDROSTATIC TEST SHALL BE IN ACCORDANCE WITH AWWA C600 FOR DUCTILE IRON PIPE AND AWWA C900 FOR PVC PIPE.
 5. THE DISINFECTANT FOR WATER DISTRIBUTION SYSTEM SHALL BE IN ACCORDANCE WITH AWWA C651 (DISINFECTING WATER MAINS).
 6. ALL POLYETHYLENE MATERIAL SHALL BE PER AWWA C901.
 7. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF LADY LAKE UTILITY CONSTRUCTION SPECIFICATIONS.
 8. WATER AND REUSE EXTENSIONS WITHIN TRACT "A" WILL BE OWNED AND MAINTAINED BY THE TOWN OF LADY LAKE.
 9. WATER AND SEWER SERVICES FOR TRACT "A" WERE INSTALLED WITH PHASE 1 CONSTRUCTION.
 10. PROJECTED WATER, SEWER AND REUSE USAGE: 25 GPD X 28 = 700/350 GPD = 2 ERUS
 11. ALL WATER, SEWER & REUSE LINES AND VALVES AS WELL AS METERS, METER BOXES, LOCKABLE CURB STOPS AND BACKFLOWS TO BE INSTALLED BY THE CONTRACTOR/DEVELOPER.
 12. R.P.Z. BACKFLOWS AND NEPTUNE RADIO HEAD 89001 METERS.
 13. THE REUSE METER SHALL HAVE A PURPLE HEAD AND REUSE DOES NOT REQUIRE A BACKFLOW DEVICE.

Utility Construction Notes (DEP)

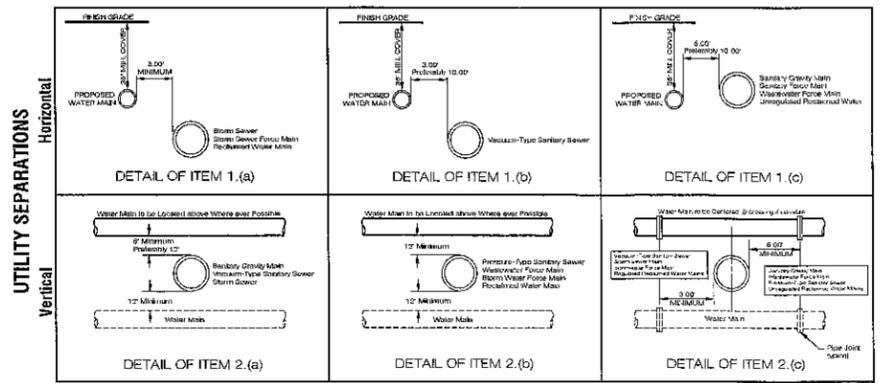
62-555.314 Location of Public Water System Mains:
For the purpose of this section, the phrase "Water Mains" shall mean mains, including treatment plant process piping, conveying either raw, partially treated, or finished drinking water; Fire Hydrant leads; and service lines that are under the control of a Public Water System and that have an inside diameter of three (3") inches or greater.

1. Horizontal Separation Between Underground Water Mains and Sanitary or Storm Sewers, Wastewater or Storm water, Force Mains, Reclaimed Water Pipelines, and On-site Sewage Treatment and Disposal Systems:
 - a. New or relocated, underground WATER MAINS shall be laid to provide a horizontal distance of at least (3) Three Feet between the outside of the WATER MAIN and the outside of any existing or proposed Storm Sewer, Storm water Force Main, or pipeline conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C.
 - b. New or relocated, underground WATER MAINS shall be laid to provide a horizontal distance of at least (3) three feet, and preferably (10) Ten Feet, between the outside of the WATER MAIN and the outside of any existing or proposed vacuum-type Sanitary Sewer.
 - c. New or relocated, underground WATER MAINS shall be laid to provide a horizontal distance of at least (6) Six Feet, and preferably (10) Ten Feet, between the outside of the WATER MAIN and the outside of any existing or proposed Gravity- or Pressure-type Sanitary Sewer, Wastewater Force Main, or pipeline conveying reclaimed water not regulated under Part III of Chapter 62-610 F.A.C. The Minimum Horizontal Separation distance between WATER MAINS and Gravity-type Sanitary Sewers shall be reduced to (3) Three Feet where the BOTTOM of the WATER MAIN is laid at least (6) Six Inches above the Top of the Sewer.
 - d. New or relocated, underground WATER MAINS shall be laid to provide a horizontal distance of at least (10) Ten Feet between the outside of the WATER MAIN and all parts of any existing or proposed "On-site Sewage Treatment and Disposal System" as defined in Section 381.005(2), F.S. and Rule 64E-6.002, F.A.C.
2. Vertical Separation Between Underground WATER MAINS and Sanitary or Storm Sewers, Wastewater or Storm water, Force Mains, and Reclaimed Water Pipelines:
 - a. New or relocated underground WATER MAINS crossing any existing or proposed gravity- or vacuum-type sanitary sewer or storm sewer shall be laid so the outside of the WATER MAIN is at least (8) Six inches, and preferably 12 inches, or at least 12 inches below the outside of the other pipeline. However, it is preferable to lay the WATER MAIN "ABOVE" the other pipeline.
 - b. New or relocated, underground WATER MAINS crossing any existing or proposed pressure-type sanitary sewer, wastewater or stormwater Force Main, or pipeline conveying reclaimed water shall be laid so the outside of the WATER MAIN is at least (12) twelve inches ABOVE or BELOW the outside of the other pipeline. However, it is preferable to lay the WATER MAIN above the other pipeline.
 - c. At the utility crossings described in paragraphs (a) & (b) Above, one full length of Water Main pipe shall be centered above or below the other pipeline so that the WATER MAIN JOINTS will be as far as possible from the other pipeline. Alternatively, at such crossings, the pipes shall be arranged so that all WATER MAIN JOINTS are at least (3) Three feet from all joints in Vacuum-type Sanitary Sewers, Storm Sewers, stormwater Force Mains, or pipelines conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C., and at least (6) Six Feet from all joints in Gravity- or Pressure- type Sanitary Sewers, Wastewater force mains, or pipelines conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.
3. Separation Between WATER MAINS and Sanitary or Storm Sewer Manholes:
 - a. No WATER MAIN shall pass thru, or come into contact with any part of a Sanitary Manhole or a Storm Sewer Manhole.
4. Separation Between Fire Hydrant Drains and Sanitary or Storm Sewers, Wastewater or Stormwater Force Mains, reclaimed Water Pipelines, and On-Site Sewage Treatment and Disposal Systems: New or relocated Fire Hydrants with underground drains shall be located so that the drains are at least (3) Three Feet from any existing or proposed storm sewer, stormwater force main, or pipeline conveying reclaimed water regulated under Part III of Chapter 62-610, F.A.C.; at least (3) Three Feet, and preferably (10) Ten Feet, from any existing or proposed gravity- or Pressure-type Sanitary Sewer, Wastewater force main, or pipeline conveying reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.; and at least (10) Ten Feet from any existing or proposed "on-site sewage treatment and disposal system" as defined in Section 381.005(2), F.S. and Rule 64E-6.002, F.A.C.
5. Exceptions/Mitigation:
Adherence to the above Constraints and Separations in Items 1 through 4 shall be Complied to, "WITHOUT EXCEPTION". If for some reason where it is not technically feasible or economically sensible that Items 1 through 4 cannot be complied with, Contractor will Stop Work and notify the Engineer of record for the appropriate solution, which will be submitted to "The Department of Environmental Protection" for APPROVAL, prior to work commencement.

Color Coding

All water main pipe, including fittings, installed on or after August 28, 2003, except pipe installed under a construction permit for which the Department received a complete application before August 28, 2003, shall be color coded or marked using blue as a predominate color to differentiate drinking water from reclaimed or other water. Under ground plastic blue pipe, shall have a no-extruded blue external skin, or shall be white or black pipe with blue stripes incorporated into, or applied to, the pipe wall; and underground metal or concrete pipe shall have blue stripes applied to the pipe wall. Pipe striped during manufacturing of the pipe shall have continuous stripes that run parallel to the axis of the pipe, that are located at no greater than 90° intervals around the pipe, and will remain intact during and after installation of the pipe. If tape or paint is used to stripe pipe during installation of the pipe, the tape or paint shall be applied in a continuous line that runs parallel to the axis of the pipe and that is located along the top of the pipe; for pipes with an internal diameter of 24 inches or greater, tape or paint shall be applied in continuous lines along each side of the pipe as well as along the top of the pipe. Above ground pipe as drinking water treatment plants shall be color coded and labeled in accordance with subsection 62-555.320(10), F.A.C., and all other above ground pipe shall be painted blue or shall be color coded or marked like underground pipe.

- General Water Notes**
1. WATER SYSTEM COMPONENTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS, CLEANED, DISINFECTED AND BACTERIOLOGICALLY CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND CHAPTER 62-555 FLORIDA ADMINISTRATIVE CODE.
 2. ALL PIPING SHALL BEAR THE "NEP" SEAL FOR POTABLE WATER.
 3. WATER MAINS SHALL BE PVC CONFORMING TO AWWA C-900, DR 19 FOR PIPE SIZES 4"-12". PIPES 14" OR LARGER SHALL BE AWWA C-905, OR 16". ALL COUPLINGS, CLEANING COMPOUNDS, SOLVENTS, LUBRICANTS, AND PIPE PREPARATION, FOR LAYING, SHALL BE IN ACCORDANCE WITH THE PIPE MANUFACTURERS LATEST RECOMMENDATIONS.
 4. DEPTH OF WATER LINES TO BE 36" MINIMUM COVER FROM FINISH GRADE.
 5. WATER MAINS TO BE LOCATED 6.00' FROM BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 6. ALL SLEEVES UNDER PAVEMENT SHALL EXTEND 5' BEYOND THE BACK OF CURB.
 7. DISINFECTING: FOLLOWING THE PRESSURE TESTING, THE CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE WATER DISTRIBUTION SYSTEM. DISINFECTANT SHALL BE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF AWWA STANDARD C651 "DISINFECTING WATER MAINS", AND ALL APPROPRIATE AGENCY APPROVAL.
 8. ALL HYDROSTATIC TEST SHALL BE IN ACCORDANCE WITH AWWA C600 FOR DUCTILE IRON PIPE AND C900/892 FOR PVC PIPE.
 9. TWO INCH (2") WATER MAINS SHALL BE POLYVINYLCHLORIDE (PVC) OR POLYETHYLENE (PE). FOUR INCH (4") TO TWELVE INCH (12") WATER MAINS SHALL BE POLYVINYLCHLORIDE (PVC), HDPE DIRECTIONAL BORE, OR DUCTILE IRON PIPE (DIP). ALL PVC PIPE SHALL BE POTABLE WATER BLUE, HAVE IDENTIFYING TAPE AND LOCATION WIRE ON TOP. PVC PIPE 4" TO 8" IN DIAMETER SHALL MEET REQUIREMENTS OF ANSI/AWWA C-900, DR25. PVC PIPE 10" TO 12" IN DIAMETER SHALL MEET REQUIREMENTS OF ANSI/AWWA C-900, DR18. HDPE PIPE SHALL MEET REQUIREMENTS OF ANSI/AWWA C906, DR-9 AND DR-11.



GREEN KEY VILLAGE RECREATION CENTER UTILITY PLAN TRACT "A"

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DATE: MARCH 2015
 DESIGNED BY: RLG
 DRAWN BY: RLG
 CHECKED BY: CCH
 JOB NO.: 121043.0006
 FILE NAME: GKV REC CTR

Sheet 7

CHARLES C. HOYT, P.E.
 PROFESSIONAL ENGINEER NO. 58813

