
Town of Lady Lake
Building Department
409 Fennell Boulevard
Lady Lake, FL 32159
(352) 751-1511

Mobile Home Permit Requirements

A mobile home permit is required prior to pulling a mobile home upon a piece of property. The following conditions apply to mobile home permits:

1. Building Permit Application. (Completed, signed, & notarized)
2. Alternate Key or Parcel Identification Number.
3. Copy of the contract.
4. A site plan is required showing where the mobile home will be located at on the property.
5. Two (2) floor plans
6. Two (2) copies of the piers, blocking, and tie downs.
7. Driveway apron application
8. Sewer and water clearance letter or receipt of payment from Public Works Department.
9. If sewer is not available then you need a septic permit from the health department.
10. If the mobile home is used then it has to be inspected and certified that it is habitable.
11. Notice of Commencement. (Recorded)

OWNER BUILDER STATEMENT/AFFIDAVIT

Astatula, Clermont, Eustis, Fruitland Park, Howey in the Hills,
Groveland, Lady Lake, Lake County, Leesburg, Mascotte,
Minneola, Montverde, Mount Dora, Tavares, Umatilla

OWNERS MUST PERSONALLY APPEAR AT THE BUILDING DEPARTMENT TO SIGN THIS DOCUMENT. A POWER OF ATTORNEY CANNOT BE ACCEPTED.

Building, Plumbing and/or Mechanical Installation
Disclosure Statement required by Florida Statute 489.103(7)
(Initial to the left of each statement)

_____ I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

_____ I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

_____ I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my name. I also understand that a contractor is required by law to be licensed in Florida, and to list his or her license numbers on all permit applications and contracts.

_____ I understand that I may build or improve a one or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or improved it for sale or lease, which is a violation of this exemption.

_____ I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

_____ I understand that I may not hire an unlicensed individual to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

_____ I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on the property. My homeowners insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

_____ I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being permitted. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA), and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

_____ I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

_____ I am aware of construction practices and I have access to the Florida Building Codes.

_____ I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 1-850-487-1395, or at www.myflorida.com/dbpr/pro/cilb for more information about licensed contractors.

_____ I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the address listed below.

_____ I agree to notify the Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure or in the permit application package.

_____ Licensed contractors are regulated by laws designed to protect the public. If I contract with a person who does not have a license, the Construction Industry Licensing Board, the Department of Business and Professional Regulation and the Building Department may be unable to assist me with any financial loss that I sustain as a result of a complaint. My only remedy against an unlicensed contractor may be in civil court. It is also important for me to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on my property, I may be held liable for damages. If I obtain an owner-builder permit and wish to hire a licensed contractor, I will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

Electrical Installation

Disclosure Statement required by Florida Statute 489.503(6)

State law requires electrical contracting to be done by licensed electrical contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own electrical contractor even though you do not have a license. You may install electrical wiring for a farm outbuilding or a single-family or duplex residence. You may install electrical wiring in a commercial building the aggregate costs of which are under \$75,000. The home or building must be for your own use and occupancy. It may not be built for sale or lease. If you sell or lease more than one building you have wired yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your electrical contractor. Your construction shall be done according to building codes and zoning regulations. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal ordinances.

_____ *Initial*

Property Address: _____

I, _____, do hereby state that I am qualified and capable of performing the requested construction involved with the permit application filed and agree to the conditions specified above.

Signature of Owner-Builder _____ Date

Form of Identification: _____
(Must be photo ID)

The foregoing instrument was acknowledged before me this _____ day of _____ 20____ by _____, who is personally known to me or has produced _____ as identification.

A violation of this exemption is a misdemeanor of the 1st degree punishable by a term of imprisonment not exceeding 1 year, and a \$1,000 fine in addition to any civil penalties. In addition, the local permitting jurisdiction shall withhold final approval, revoke the permit, or pursue any action or remedy for unlicensed activity against the owner and any person performing work that requires licensure under the permit issued.



DRIVEWAY PERMIT APPLICATION

Date: _____ Name of Applicant: _____

Job Address: _____

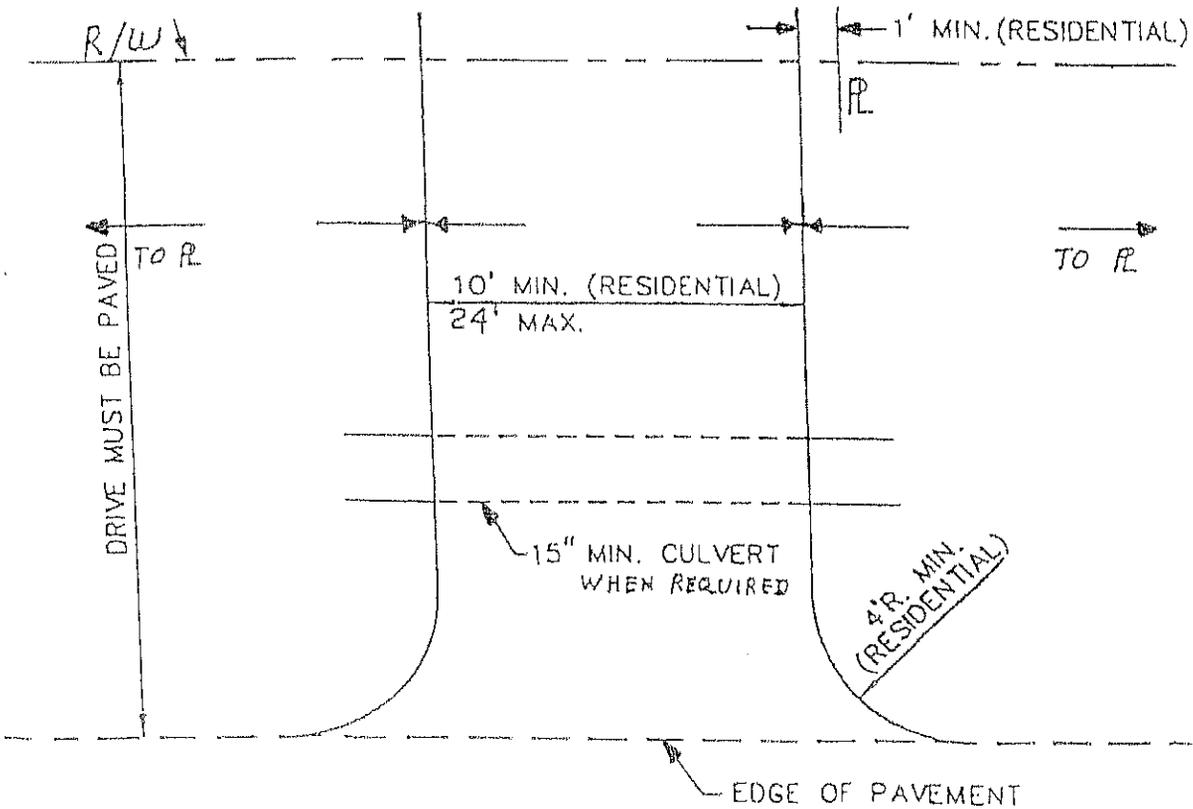
Subdivision: _____ Lot #: _____

APPLICANT WILL CONSTRUCT DRIVEWAY IN ACCORDANCE WITH THE TOWN OF LADY LAKE REGULATIONS AND BY THE REQUIREMENTS SHOWN ON THE SKETCH BELOW BEFORE FINAL INSPECTION BY THE BUILDING INSPECTOR. APPLICANT WILL HOLD THE TOWN OF LADY LAKE HARMLESS FROM ALL DAMAGES, CLAIMS OR INJURIES WHICH MAY RESULT FROM SUCH WORK.

WARNING: CONTRACTOR MUST CALL FOR FOOTING INSPECTION PRIOR TO POURING CONCRETE

RESIDENTIAL DRIVEWAY APRON

6" LIMEROCK BASE, 98% COMPACTED WITH 1" ASPHALT TYPE III OR 6" - 2500 PSI CONCRETE REINFORCED WITH 6 X 6 WIRE MESH OR FIBER MESH TO EXTEND FROM PROPERTY LINE TO EDGE OF ROAD. DEPENDING UPON ROADSIDE DRAINAGE, A CULVERT MAY BE REQUIRED. CIRCULAR DRIVEWAY MUST BE 18' WIDE AND 1' 6" PAST PROPERTY LINE.

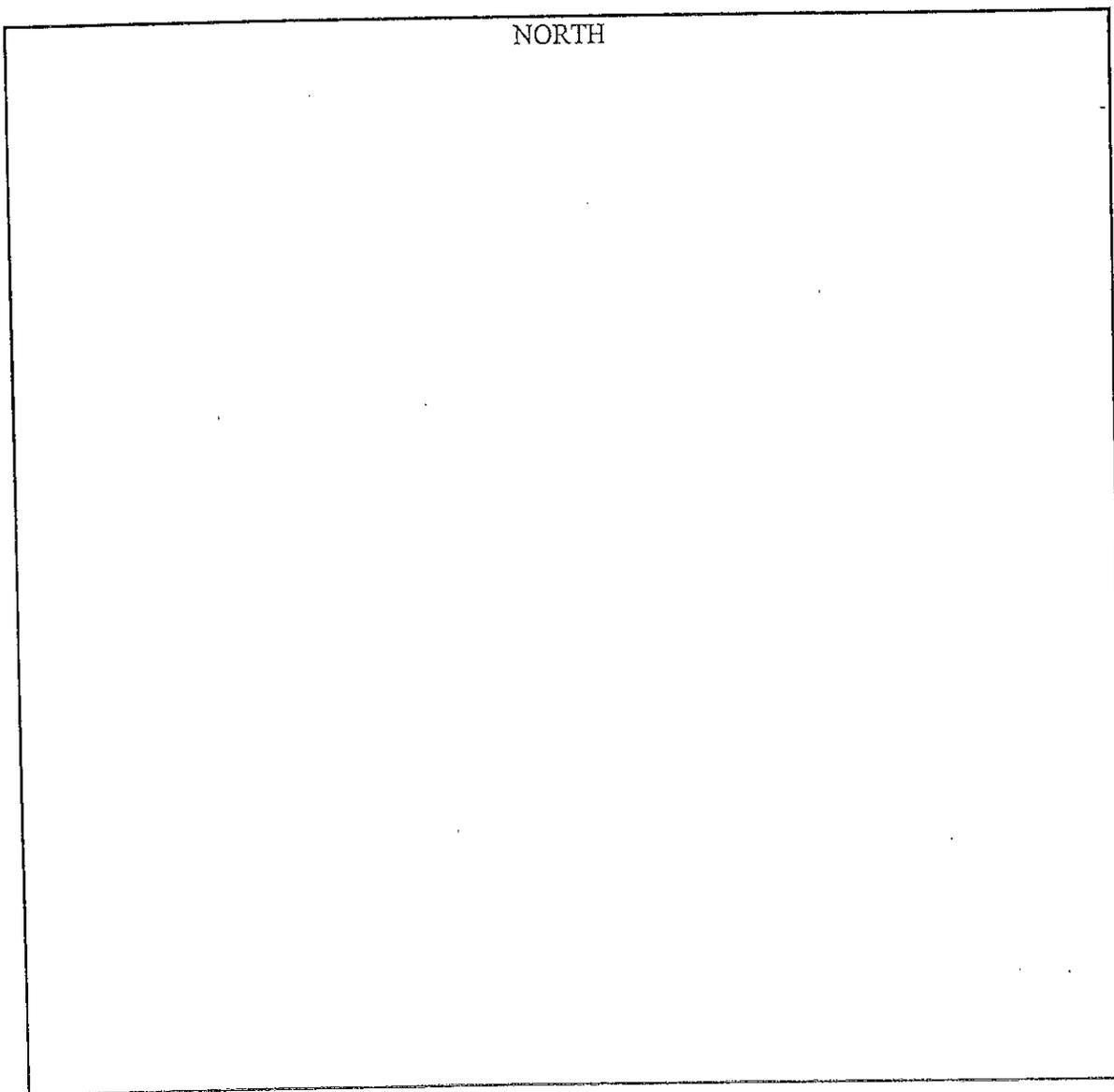


(OWNER OR APPLICANT'S SIGNATURE)

SITE PLAN DRAWING FOR BUILDING PERMIT

Note: Please accurately show and locate the following:

1. Size of property
2. All streets bounding your property
3. All proposed and/or existing improvements
(building and/or structures)
4. Setbacks for the proposed improvement
5. All wells and septic tanks



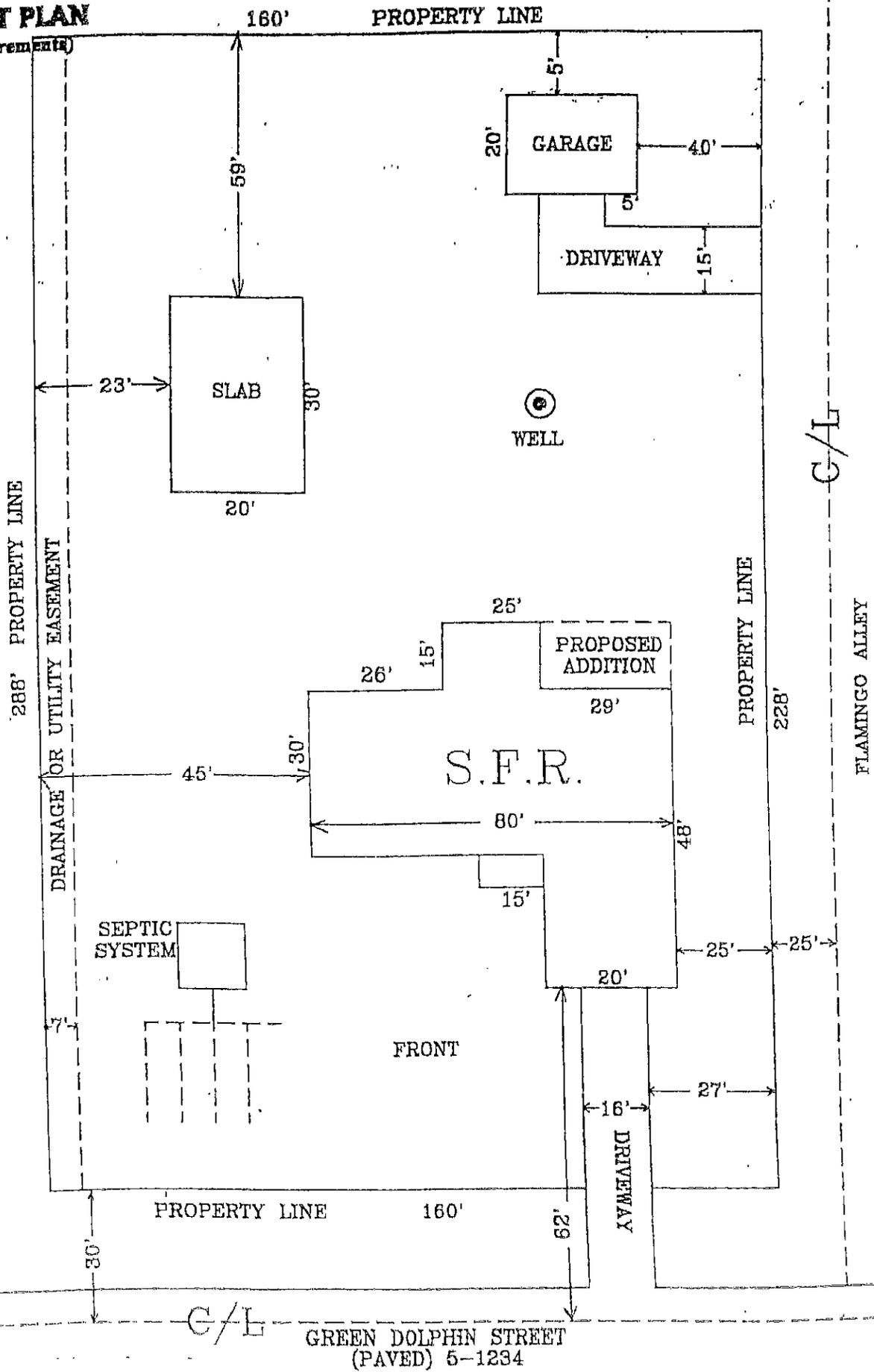
(EXAMPLE)

TYPICAL PLOT PLAN

(Minimum Requirements)



N.T.S.



(EXAMPLE)



MOBILE/MANUFACTURED HOME SETUP CERTIFICATION

Property Owner: _____

Site Address: _____

Manufacturer: _____ Length: _____ Width: _____

Wind Zone Certification: Zone: _____ MPH: _____

Type: Single-wide Double-wide Triple-wide

SETUP REQUIREMENTS

Per Setup Manual _____ DMV Specifications _____

1. Bearing Capacity _____ lbs. per square foot
2. Frame Blocking Spacing c/c _____ per page # _____
3. Perimeter Blocking Spacing c/c _____ per page # _____
4. Special Blocking Requirements _____ per page # _____
5. Frame Tie Down Spacing c/c _____ per page # _____
6. Over Roof Tie Downs - # Required _____ per page # _____
7. Type and Number of Fasteners to Mate Roof, Walls and Floors:

Roof -	Type _____	Spaced _____
Walls -	Type _____	Spaced _____
Floors -	Type _____	Spaced _____

I HEREBY CERTIFY THIS MOBILE/MANUFACTURED HOME HAS BEEN SET, BLOCKED, TIED DOWN AND JOINED, IF APPLICABLE PER THE MANUFACTURER'S SPECIFICATIONS OR THE DEPARTMENT OF MOTOR VEHICLES SPECIFICATIONS FOR PLACEMENT, AS INDICATED ABOVE FOR THIS GEOGRAPHICAL LOCATION AND THE EXISTING SOIL CONDITIONS.

Signature of Installer/Agent

Print Name of Installer/Agent

Date

THIS FORM MUST BE AT THE JOB SITE WITH THE SETUP MANUAL
PRIOR TO FIRST INSPECTION AND REMAIN UNTIL FINAL INSPECTION

"EXHIBIT C"

A) SECTION 6: USED MANUFACTURED HOME, USED MOBILE HOME AND USED PARK MODEL REGULATIONS

- a) Any used manufactured home, used mobile home or used park model acquired in the Town of Lady Lake or acquired elsewhere and brought into Lady Lake for residential use, shall meet the following requirements prior to being issued a Certificate of Occupancy or being inspected for connection to an electric meter.
 - 1) Any repairs or remodeling shall be certified that all work has been performed in accordance with the pertinent code under which the unit was constructed as listed below.
 - 2) Certification inspections of any repairs or remodeling shall be made by a licensed manufactured home dealer; a licensed inspection agency; a professional engineer or architect.
 - 3) Any fees associated with the certification inspection shall be paid by the owner of the unit.
 - 4) Units built prior to the June 15, 1976 State of Florida imposition of Federal Housing and Urban Development standards shall not be permitted unless a professional engineer or architect certifies that the home meets current codes and standards.
 - 5) The certification of used units shall be in compliance with Chapter 320.8285 FS, Chapter 150-1, FAC. The guidelines for repair and remodeling of used Mobile Homes promulgated by the Bureau of Mobile Home Construction, Florida Department of Motor Vehicles, and verification by a licensed manufactured home dealer or certified Manufactured Home Inspector that items which are listed on the Town's Inspection Standards for used manufactured homes are in satisfactory condition or good working order.
 - 6) Tie-down requirements for used manufactured or mobile homes shall conform to FAC 15C-1.0103-0104.
- b) A manufactured home, mobile home or park model that does not meet the standards as set forth above, shall be removed from the property within (30) thirty days. This shall not include licensed manufactured home dealers whose inventory includes dwelling units which are being refurbished, repaired or remodeled to meet safety standards of the appropriate code.
- c) No person shall park or store an unoccupied mobile home or park model in a residential zone, unless otherwise provided for herein.

TOWN OF LADY LAKE
USED MANUFACTURED HOMES, USED MOBILE HOMES, AND USED PARK MODELS
INSPECTION STANDARDS

Owner's Name _____

Make and Year _____

Owner's Address _____

Old Seal or Label # _____

Used Mobile Home Seal # _____

ID # _____

Purchaser's Signature _____

Date Inspected _____

Owner's Signature _____

 Licensed Dealer/Certified MH Inspector/
 Reg. Architect or Professional Engineer

 Signature

Category	Item	Application		Cert of Occ.	
		VIOL	OK	VIOL	OK
FIRE SAFETY					
1	Smoke Detector ___ Missing ___ Location _____				
ELECTRICAL					
1	Electrical System Checked ___ Continuity ___ Converter ___ Exposed Wiring				
2	Distribution Panel ___ Missing ___ Loose ___ Main missing ___ Breakers missing ___ Unplugged openings ___ Loose connections ___ Not accessible ___ Raceway missing ___ GFI missing				
3	Electrical Fixtures ___ Missing ___ Installed Improperly ___ Improperly wired ___ Improperly supported ___ Loose Wire				
4	Electrical Ground ___ Chassis ___ Exterior Metal ___ Main Panel ___ Furnace ___ Range ___ Water Heater ___ Water Inlet ___ Gas piping				
5	Face plate covers ___ Missing ___ Broken				
CONSTRUCTION					
1	Exit Doors operable ___ Front ___ Back ___ Other _____				
2	Exit Doors Locks ___ Operable ___ Missing				
3	Egress Windows ___ Missing ___ Inoperable ___				
4	Windows ___ Inoperable ___ Broken				
5	Screens ___ Missing ___ Damaged				
6	Floor System ___ Damaged Location _____				

Category	Item	Application		Cert. of Occ.	
		VIOL	OK	VIOL	OK
7	Interior Paneling __ Missing __ Loose				
8	Rodent Proofing __ Piping __ Duct __ Insulation missing __ Other _____				
9	Leaks (apparent) __ Roof edge __ Middle __ Windows __ Holes exterior metal __ Doors __ Ceiling __ Floors				
10	Tie Downs-Over roof __ Missing __ Too Short __ Kit required				
11	__ Structural Modifications since manufactured				
PLUMBING					
1	Traps __ Missing __ Not Connected __ S Traps __ Double Trapped __ Other _____				
2	Plumbing Fxtures __ Missing __ Not Installed __ Not Vented				
3	Relief Valve __ Missing __ Inoperable __ Undersize drain pipe __ Drain term below bottom __ Drain pipe missing				
4	Drainage Piping __ Missing __ Not capped __ Not supported __ Road Hazard				
5	Water Piping __ Not capped __ Line kinked __ Damaged				
HEATING & A/C					
1	Heating Appliances __ Missing __ Not anchored __ Not connected				
2	Deleted Heating & A/C System __ Duct not installed __ Dropout not installed				
3	Thermostat __ Missing __ Inoperable				
4	Air Register s __ Missing __ Inoperable				
5	Ducts __ Not sealed __ Collapsed __ Missing				
6	Furnace/Water Heater Vent __ Missing __ Loose __ Crooked				
7	Return Air __ To furnace __ To A/C __ From rooms __ Other _____				
8	Range/Bathroom Ceiling Vent __ Open in Ceiling __ Inoperable __ Stack Missing				
9	Gas Valve __ Not Applicable __ Missing __ Not approved				
10	Gas Piping __ Not capped __ Not supported __ Kinked __ Missing				



MOBILE HOME INSPECTIONS

409 Fennell Blvd. Lady Lake, FL 32159
Tel: (352)751-1511 Fax: (352)751-1514

Preliminary Inspection

- Piers and Blocking – per manual on new units and FAC 15C-1 for used units
- Tie Downs – per manual on new homes and FAC 15C-1 on used homes
- Sewer Lines – extended out from under home
- Water Lines – extended out from under home and in-line check valve in place
- Electrical – extended out from under home
- A/C Duct Installation
- Setbacks and minimum square footage requirements per zoning code

Final Inspection

- Sewer lines and connection to the septic tank
- Health Department approval of septic tank
- Water lines connected and vacuum breakers fixed
- Electrical service and connection to home
- A/C installation
- Completion of all additions
- Stairs at all doors
- Setbacks and minimum square footage requirements per zoning code
- Skirting completed
- Lawn and trees in place
- Debris removed
- Driveway apron poured
- Site address numbers (visible from road) to be a minimum of 4" high reflective on contrasting background

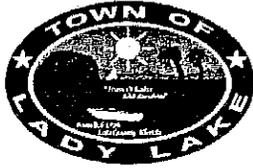
NOTE:

No inspections will be performed without a certified copy of the Notice of Commencement at the job site and a copy received by the Building Department. Inspections are to be called in before 4:00 p.m. prior to the day inspection is needed (352)751-1515.

Re-inspection fees are \$50 each. When the fee is paid the contractor can reschedule the inspection for the following day. We will not perform a same day inspection. All re-inspection fees must be paid prior to Final Inspection.

Certificates of Occupancy shall not be issued until the required departments have given their approval and all fees have been paid.

A solid waste assessment fee will be due upon issuing a C.O.



409 Fennell Blvd. Lady Lake, FL 32159
Tel: (352)751-1511 Fax: (352)751-1514

CONTRACTOR REGISTRATION REQUIREMENTS

Any contractor that submits an application for a permit must provide the following paperwork:

- Copy of State License
- Copy of Lake County Competency Card (required if registered and not State certified)
- Copy of Business Tax Receipt (issued from County the business operates in - if applicable)
- General Liability Certificate (made out to "The Town of Lady Lake")
- Workers Compensation Certificate (made out to "The Town of Lady Lake") or copy of Letter of Exemption
- A \$30 Annual Licensing Maintenance Fee (due by Sept. 30 each year)

The contractor must provide a physical address (no P.O. Boxes) and phone number for our records.

Paperwork can be submitted at time of application or faxed to our office at (352)751-1514.

Insurance certificates must come directly from the insurance company.

The license holder of the company is the only person authorized to pick up a permit unless he/she submits a notarized Power of Attorney for a different person or persons.

To acquire a Lake County Competency card contact the Lake County Licensing Department at (352)343-9653.

ENVIRONMENTAL HEALTH

315 W. Main Street, Tavares, FL 32778

To obtain an onsite disposal system (septic tank permit) a soil/site evaluation must first be completed on the property. In order to apply for the site evaluation please provide to this Department the following:

1. If you do not own the property, you must be legal agent, have **POWER OF ATTORNEY, AUTHORIZATION LETTER** from the owner giving-the Lake County Public health unit permission to perform the evaluation.
2. You have to obtain a zoning clearance from our department and you have to also obtain a letter stating that no sewer is available to the property.
3. A **SCALED SITE PLAN** of the property showing the existing or proposed locations of the following: lot boundaries, location of buildings, swimming pools, easements, existing or proposed onsite sewage disposal systems (septic tanks) , general slope of the land, existing or proposed water within 5 ft. (lakes, ponds, retention ponds), private water wells within 75ft., public water wells 200 ft., neighboring onsite sewage disposal systems and any proposed future additions (additions, swimming pools).
4. **LEGAL DESCRIPTION** of property (tax statement or deed).
5. **SCALED FLOOR PLAN** of residence showing bedrooms and total heated/cooled area.
6. **DIRECTIONS** to property

PLEASE CALL (352) 253-6130 (Tavares) approximately 5 working days from date of application to verify status of paperwork. Refer to the "T" or "C" number on your receipt that was issued at the time of application. If your paper work is complete you may come and purchase your permit.

Distance and Area Requirements

- ❖ 100 or 200 ft. from sewage disposal system to commercial or public water wells.
- ❖ 75 ft. from any sewage disposal system to any private water wells.
- ❖ 75 ft. from the high water line of any lake, canal, stream, or other body of water.
- ❖ 10 ft. from any water main or service line installed below the ground.
- ❖ 5 ft. from property line and building foundations.
- ❖ Septic tank inlet should be within 15 ft. of plumbing stub out unless approved by the Department of Environmental Health.