

REGULAR MEETING OF THE LADY LAKE TOWN COMMISSION

DATE: Monday, February 3, 2014
TIME: 6:00 p.m.
PLACE: Town Hall Commission Chambers
409 Fennell Blvd., Lady Lake, Florida

ALL INTERESTED PERSONS ARE CORDIALLY INVITED TO ATTEND THIS PUBLIC MEETING

AGENDA*

- A. **CALL TO ORDER:** Mayor Ruth Kussard
- B. **PROCEDURAL:** *Citizens are encouraged to participate in the Town of Lady Lake meetings. Speakers will be limited to three (3) minutes. Additional time may be granted by the Mayor. Citizen groups are asked to name a spokesperson and the Mayor, at his/her discretion, may allow longer than three minutes. Upon being recognized by the Mayor, please approach the dais, state your name and address, and speak into the microphone. The order of agenda items may be changed if deemed appropriate by the Town Commission. Please be respectful of others and put your cell phone on silent mode.*
- C. **PLEDGE OF ALLEGIANCE:** Mayor Ruth Kussard
- D. **INVOCATION¹:**
- E. **ROLL CALL**
- F. **PUBLIC COMMENTS²**
- G. **CONSENT³:**
 - 1. Minutes – January 6, 2014 – Regular Commission Meeting
 - 2. Consideration of Budget Amendment to Increase Parks & Recreation Capital Outlay Equipment (Jeannine Michaud)
 - 3. Consideration of Request from Lake County Supervisor of Elections to Utilize the Lady Lake Public Library for an Early Voting Site for the 2014 Primary and General Elections (Kris Kollgaard)
 - 4. Consideration for the Parks and Recreation Department to Invest \$400.00 to Install Irrigation at the Driving Range to Assist in Controlling Dust at Their Parking Lot (Mike Burske)

5. Consideration to Host the Annual Lady Lake Easter Egg Hunt at the Junior Field at the Guava Street Athletic Complex on April 12, 2014 (Mike Burske)

H. OLD BUSINESS:

I. NEW BUSINESS:

6. Consideration to Construct a Sun Shade at Town Hall Utilizing Up to \$500.00 in Contingency Funds and Using Parts from Several Storm Damaged Shades to Build one Shade (Mike Burske)
7. Consideration of Mattress Firm-Major Site Plan 12/13-001 – Proposal for Construction of a Single-Use Development Consisting of 4,020 Sq. Ft. of Furniture Retail Sales Area – Located at 867 N. Hwy 27/441 Within the Home Depot Subdivision (Thad Carroll)
8. Consideration to Reschedule the Second Commission Meeting in February to February 19, 2014 Due to the President’s Day Holiday on February 17, 2014 (Kris Kollgaard)
9. Review of Draft Resolution for Establishing a Restricted Fund to Pay for Future Land Purchases, Building and Facility Improvements/Expansions, and Large Capital Equipment (Kris Kollgaard)

J. TOWN ATTORNEY’S REPORT:

10. Ordinance No. 2014-01 – Second/Final Reading – Regarding Reduction of Supplemental Educational Impact Fees (Kris Kollgaard)
11. Ordinance No. 2014-02 – First Reading – An Ordinance Requiring the Commission to Discuss Postponing Voting on Matters Until There Are Three Votes to Deny or Approve (Kris Kollgaard)

K. TOWN MANAGER’S REPORT:

12. Consideration of Two Appointments/Reappointments to the Planning & Zoning Board (Kris Kollgaard)

L. MAYOR/COMMISSIONER’S REPORT:

M. PUBLIC COMMENTS⁴

N. ADJOURN

***Back up for agenda items is available on the Town’s website at www.ladylake.org or contact the Town Clerk at (352) 751-1571.**

This public hearing is being conducted in a handicapped accessible location. Any handicapped person requiring an interpreter for the hearing impaired or the visually impaired should contact the Clerk's Office at least two (2) days prior to the meeting and an interpreter will be provided. To access a Telecommunication Device for Deaf Persons (TDD), please call (352) 751-1565. Any handicapped person requiring special accommodations at this meeting should contact the Clerk's Office at least two (2) days prior to the meeting.

Advice to the Public: If a person decides to appeal a decision made with respect to any matter considered at the above meeting or hearing, he may need a verbatim record of the proceedings including the testimony and evidence, a record of which is not provided by the Town of Lady Lake. (F.S. 286-0105)

Please be advised that one or more members of any other Town Board or Committee may be in attendance of this meeting.

NS/Word/Town Clerk/Agendas - Commission Meeting - 02-03-2014

¹ *Any invocation that may be offered before the official start of the Commission meeting shall be the voluntary offering of a private citizen, to and for the benefit of the Commission. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the Commission, and the Commission is not allowed by law to endorse the religious beliefs or views of this, or any other speaker.*

² *This section is reserved for members of the public to bring up matters of concern or comments. It is not limited to items on the agenda and it is open to any concern or comments that the public may have.*

³ *All items listed under consent are considered routine by the Town Commission and will be enacted by one motion. There will be no separate discussion of these items unless a Town Commissioner so requests, in which event the item will be removed from the consent agenda and considered in its normal sequence.*

⁴ *This section is reserved for members of the public to bring up matters of concern or comments. It is not limited to items on the agenda and it is open to any concern or comments that the public may have.*

**MINUTES OF THE REGULAR MEETING
OF THE LADY LAKE TOWN COMMISSION
LADY LAKE, FLORIDA
January 6, 2014**

The Regular Meeting of the Lady Lake Town Commission was held in the Commission Chambers at Lady Lake Town Hall, 409 Fennell Blvd., Lady Lake, Florida with Mayor Ruth Kussard presiding. The meeting convened at 6:00 p.m.

A. CALL TO ORDER: Mayor Ruth Kussard

B. PROCEDURAL: *Citizens are encouraged to participate in the Town of Lady Lake meetings. Speakers will be limited to three (3) minutes. Additional time may be granted by the Mayor. Citizen groups are asked to name a spokesperson and the Mayor, at his/her discretion, may allow longer than three minutes. Upon being recognized by the Mayor, please approach the dais, state your name and address, and speak into the microphone. The order of agenda items may be changed if deemed appropriate by the Town Commission. Please be respectful of others and put your cell phone on silent mode.*

C. PLEDGE OF ALLEGIANCE: Mayor Ruth Kussard

D. INVOCATIONⁱ: Pastor Jim Divine, New Covenant United Methodist Church

E. ROLL CALL: Tony Holden, Commissioner Ward 2
Dan Vincent, Commissioner Ward 3
Paul Hannan, Commissioner Ward 4
Jim Richards, Commissioner Ward 5
Ruth Kussard, Mayor/Commissioner Ward 1

STAFF MEMBERS PRESENT: Kris Kollgaard, Town Manager; Derek Schroth, Town Attorney; Thad Carroll, Growth Management Director; C.T. Eagle, Public Works Director; Chief Chris McKinstry and Lt. Jason Brough, Police Department; Jeannine Michaud, Finance Director; Cindy Diemer, Senior Code Enforcement Officer; and Nancy Slaton, Deputy Town Clerk

F. PUBLIC COMMENTSⁱⁱ

Mayor Kussard asked if anyone in the audience would like to speak on any item. There were no comments.

G. CONSENTⁱⁱⁱ:

Mayor Kussard asked if the Commissioners wanted to pull any consent item for discussion, and Commissioner Hannan asked that the abatement item, #G-3, be pulled for discussion.

1. Minutes – December 16, 2013 – Regular Commission Meeting

2. Consideration of Contract Renewal of PropertyRoom.com’s Disposition Services Agreement (Chris McKinstry)

The background summary for this agenda item is on file in the Town Clerk’s office. It states that on July 16, 2012, the Town Commission approved entering into an agreement with PropertyRoom.com to

1 provide property disposition services to the Town. That contract expires January 30, 2014.
2 PropertyRoom.com has provided effective service to the Town by selling surplus property resulting in
3 net proceeds of \$7,726.00 to the Town. Staff recommends that the Town extend the contract term as
4 outlined on page one of the renewal contract, for a period of one year. This contract has been reviewed
5 and approved by Town Attorney Derek Schroth.

6
7 **4. Budget Amendment to Increase Police General Operating Expense and Sales of Surplus**
8 **(Jeannine Michaud)**

9
10 The background summary for this agenda item is on file in the Town Clerk's office. It states that the
11 Police Department purchased four Glock Model 17 Gen III handguns for \$1,636, and traded in four
12 Glock Model 19 handguns and 11 Trace Lasers for \$1,760, for a total credit of \$124. This amendment
13 will increase the operating budget for purchase of the handguns and increase sales of surplus budget for
14 the trade-in credit. This was approved by the Commission on September 4, 2013. This amendment
15 requires Commission approval because it involves increasing revenue and expenditures, and increases
16 the bottom line budget.

17
18 *Upon a motion by Commissioner Richards and seconded by Commissioner Vincent, the Commission*
19 *approved Consent Items #G-1, G-2 and G-4 by a vote of 5 to 0.*

20
21 The following item was taken out of order for discussion:

22
23 **3. Abatement Order Recommendation – Case No. 11-3176 – Michael & Cherrie Salay – 907**
24 **April Hills Blvd. – Violation of the Town of Lady Lake Code of Ordinances Ch. 7-67 for High**
25 **Grass (Cindy Diemer)**

26
27 The background summary for this agenda item is on file in the Town Clerk's office. It states that Case
28 No.11-3176 represents a violation of Town of Lady Lake Code of Ordinances Ch. 7-67, which was
29 brought before the Special Magistrate on October 24, 2011. The Order of Enforcement was issued and
30 required compliance within ten days or a daily fine of \$100 per day would begin to accrue. The Order
31 also required the payment of an \$87 administrative fee. A compliance date of May 23, 2012 was
32 documented, and the accrued lien for the period of November 3, 2011 to May 23, 2012 totaled \$20,287
33 including the \$87 administrative fee, representing 202 days at \$100/day.

34
35 The initial inspection on August 29, 2011 revealed the violation of high grass and a Courtesy Notice was
36 issued for compliance. A subsequent inspection on September 5, 2011 and non-compliance resulted in a
37 Notice of Violation/Notice of Hearing for October 24, 2011.

38
39 In September 2013, a lien search request detailed the liens on the property from the Town and it was
40 advised that if there was an earlier compliance date than the date it was documented by the Town with
41 regard to the code enforcement lien, it should be presented for consideration of the accrual. To date, no
42 evidence has been presented.

43
44 The property is also under active foreclosure under Circuit Court Case 2012 CA 001752, and according
45 to Realtor Addie Owens, it is a cooperative foreclosure and she will be representing the property owners
46 in the lien reduction proceedings. The lien was recorded on November 28, 2011 ORB 4097, pgs. 2087-
47 2089.

48
49 The Special Magistrate heard the request for a lien reduction on December 18, 2013 and her
50 recommendation to reduce the amount to \$500.00 is attached. The minutes of the Special Magistrate
51 meeting have been provided, documenting the property owner's testimony stating that mailing address

1 changes resulted in the delay to repair the driveway. The Town Commission reserves the right to
2 approve, deny or modify the recommended Abatement Order.

3
4 Commissioner Hannan stated that for the past ten years he has been on the Commission, the Town has
5 not followed the rules of collecting the fines of \$100 per day, and the Special Magistrate makes
6 recommendations for abatements of a fraction of these fines. He stated that the Town may want to come
7 up with a better way to do this, and at this time, he would recommend collecting the full fine of \$20,287
8 for this case.

9
10 Commissioner Richards stated he disagreed with that, but that he would like a better solution than fining
11 \$100.00 per day and perhaps put a limit on the accrual in direct relationship to the violation. He stated
12 perhaps this could be discussed further at the workshop, and that he is currently inclined to vote for the
13 recommended amount of \$500.

14
15 Town Manager Kris Kollgaard reminded the Commission that a Commission workshop meeting is
16 scheduled for Monday, January 13, 2014, and this could be added to the agenda. She stated that the
17 fines that accrue for the code enforcement violations are not actually monies that the Town has put out,
18 but are an incentive. Ms. Kollgaard stated this was discussed in the past as well.

19
20 Commissioner Holden remarked that banks are not always able to get to work on these foreclosed
21 properties until they are in their name, and perhaps some of the fines for certain violations such as high
22 grass and weeds could be reduced to \$25.00 per day.

23
24 Commissioner Vincent agreed and stated that the Special Magistrate's abatement recommendations
25 could be limited to a minimum such as 25% of the total fine accrual.

26
27 Ms. Kollgaard stated that the Commission cannot tell the Special Magistrate what to recommend, but the
28 Commission makes the final decision on the amount.

29
30 Commissioner Richards stated that he does not want to arbitrarily pick a figure; it must be related to
31 something.

32
33 Senior Code Enforcement Officer Cindy Diemer stated that every situation is different. She stated there
34 are some violations that do not create much of a negative impact. Ms. Diemer stated that in this
35 particular case, the grass had been mowed at some point, but staff was not informed of the date and
36 could not factor that in for reducing the figure. She stated that staff feels the abatement recommendation
37 of \$500 is reasonable in this case. Ms. Diemer stated the daily fine amounts are an incentive to
38 encourage people to come into compliance, and many cases do come into compliance and do not go
39 before the Special Magistrate. She stated that perhaps staff could find examples of what other counties
40 and cities are trying and what they look at for ratios in these cases and bring it to the workshop.

41
42 Ms. Kollgaard stated that the Town's main goal is to get compliance and to insure that the Town is
43 getting the time and money staff has put into the case paid back so the taxpayers are not paying for it.

44
45 Commissioner Vincent stated he does not believe fines should be negotiable. He asked the Town
46 Attorney if traffic fines are negotiable and if there is any difference between them and code enforcement
47 fines.

48
49 Town Attorney Derek Schroth stated there is a difference; code enforcement fines are governed by
50 Florida Statute 161, which is a different statutory criteria than traffic citations. He stated the Special

1 Magistrate has total discretion to set the fine, but the Commission has the discretion to accept or reject
2 the recommendation.

3
4 *Commissioner Hannan made a motion that the full fine of \$20,287.00 stand for Case No. 11-3176.*
5 *This motion died for lack of a second.*

6
7 *Upon a motion by Commissioner Holden and seconded by Commissioner Richards, the Commission*
8 *approved Consent Item #G-3, the Special Magistrate's Abatement Recommendation of \$500.00 on*
9 *Case No. 11-3176, by a vote of 4 to 1 (Hannan).*

10
11 Ms. Kollgaard confirmed that it was the consensus of the Commission that code enforcement fines and
12 abatements would be further discussed at the January 13, 2014 workshop meeting.

13
14 **H. OLD BUSINESS:**

15
16 **I. NEW BUSINESS:**

17
18 **5. Consideration of the Reallocation of Existing Resources within the Police Department to**
19 **More Efficiently Discharge Police Services and Creating A New Job Description Titled**
20 **Evidence/Property Custodian (Chris McKinstry)**

21
22 Police Chief Chris McKinstry gave the background summary for this agenda item (on file in the Clerk's
23 office). He stated that as the Police Department continues the Commission for Florida Law
24 Enforcement Accreditation process, needs assessments are being conducted within the organization to
25 identify strategic priorities and to pursue continual improvement of activities within the agency with the
26 intent to provide quality services in accordance with recognized and accepted standards.

27
28 Chief McKinstry stated the effective exercise of law enforcement responsibility in the investigation of
29 crime and the prosecution of offenders requires that information be obtained through the application of
30 scientific knowledge and methods. He stated the Commission for Florida Accreditation includes
31 standards addressing procedures for the proper identification, collection and preservation of evidence
32 that comes under the agency's control.

33
34 Chief McKinstry stated that evidence and property control are specialty functions which require
35 continuous monitoring and evaluation to establish and maintain standards that represent current
36 professional law enforcement practices; to increase effectiveness and efficiency in the delivery of law
37 enforcement services; adherence to established standards that address and reduce liability for the agency
38 and its members; and to operate within established standards that make an agency and its personnel
39 accountable to the constituency we serve.

40
41 Chief McKinstry stated that he is recommending that one of the Department's current budgeted part-
42 time Community Service Aide positions be reclassified to a newly created part-time Evidence and
43 Property Custodian position. He pointed out that the second budgeted part-time Community Service
44 Aide position can be reclassified to a part-time Staff Assistant position to provide administrative support
45 within the Police Department where needed.

46
47 Chief McKinstry stated that secondly, the Police Department enjoys an excellent relationship with the
48 Villages Elementary School and provides traffic direction and security to the school on a daily basis.
49 School officials, teachers, parents and students have all expressed appreciation in the consistent method
50 in which we have provided this service. In order to maintain the continuity in service, Chief McKinstry
51 stated that he proposes that the two part-time Community Service Aide positions be combined into one

1 full-time position, and that it is currently budgeted and available since the resignation of the
2 Department's full-time Victim Advocate/Staff Assistant. He stated these position
3 reallocation/reclassification requests are not for new, unfunded positions, but are requests to realign
4 existing budgeted positions within the Police Department that will better serve the residents and result in
5 a reduction in salary and benefit expenses to the Town of over \$6.00 an hour, or over \$12,000 a year.
6

7 Commissioner Richards asked who would supply the Victim Advocate's functions.

8
9 Chief McKinstry replied that the police officers currently conduct that function to residents if they call
10 in with inquiries for victim advocate sources. He stated that a police chaplain and Sheriff's Office
11 victim advocate chaplain are available as well.
12

13 Town Manager Kris Kollgaard informed the Commissioners for the record that the Town's Victim
14 Advocate position was split into two functions about a year ago to include Staff Assistant duties as there
15 was not enough work for the Victim Advocate.
16

17 *Upon a motion by Commissioner Hannan and seconded by Commissioner Vincent, the Commission*
18 *approved the Reallocation of Existing Resources within the Police Department to More Efficiently*
19 *Discharge Police Services and Creating A New Job Description Titled Evidence/Property Custodian,*
20 *by a vote of 5 to 0.*
21

22 **6. Consideration of the Contract with Makhholm Law Group for the Purpose of Conducting**
23 **Legal Review of Police Policy/Procedure (Chris McKinstry)**
24

25 Police Chief Chris McKinstry gave the background summary for this agenda item (on file in the Clerk's
26 office). He stated that as the Police Department continues with the accreditation process, several new
27 policies must be reviewed for legal sufficiency. He stated the Makhholm Law Group specializes in police
28 policy review and they are affiliated with and referred by Public Risk Management (PRM). Chief
29 McKinstry stated this service is not covered under the Town's existing policy.
30

31 Commissioner Hannan asked if there should be a "not to exceed figure" as the agreement is open ended.
32

33 Chief McKinstry stated that language to that effect could be added to the agreement, and if it was
34 exceeded, it could be brought back to the Commission.
35

36 Town Manager Kris Kollgaard stated that language could be added to the agreement, but it was her
37 understanding that once the cost of the legal review reached \$3,000, if there was still more to do, they
38 would have to ask the Town if they wanted to add more money to it.
39

40 Town Attorney Derek Schroth stated that one sentence could be added to the agreement to state that any
41 fees over and above the \$3,000.00 retainer will need additional written approval.
42

43 Commissioner Richards stated that was his concern about the agreement as well, and he asked why this
44 is necessary.
45

46 Chief McKinstry stated that the policies change over time, and are basically a living document. He
47 stated they need to be continually updated to make sure everything is on solid ground.
48

49 *Upon a motion by Commissioner Richards and seconded by Commissioner Vincent, the Commission*
50 *approved the Contract with Makhholm Law Group for the Purpose of Conducting Legal Review of*
51 *Police Policy/Procedure, limited to a cap of \$3,000.00 for the retainer fee, by a vote of 5 to 0.*

1
2 **7. Consideration of Village Airport Van Campus-Major Site Plan 10/13-001 – A Development**
3 **Consisting of Three Phases with Three Buildings, Including 4,300 Sq. Ft. of Shop Space, 10,300**
4 **Sq. Ft. of Office Space, and 3,600 Sq. Ft. of Owner’s/Caretaker Residence for a Transportation**
5 **Service Business and Ancillary Uses – Located at 121 W. Hermosa Street (Thad Carroll)**
6

7 Growth Management Director Thad Carroll gave the background summary for this agenda item (on file
8 in the Clerk’s office). He stated that the applicant, Andrew T. Logan with Logan Civil Engineering, on
9 behalf of Hermosa Street LLC, property owner, has submitted a site plan for the construction of a
10 development consisting of three phases with three buildings. It includes 4,300 sq. ft. of shop space,
11 10,300 sq. ft. of office space, and up to 3,600 sq. ft. of owner’s/caretaker residence, for a total of 18,200
12 sq. ft. of commercial development with an 18,000 Liquefied Petroleum Gas (LPG) Tank for a
13 Transportation Service Business and ancillary uses, located on a 4.21 acre parcel at 121 W. Hermosa
14 Street (Alternate Keys 1279518, 2747021 & 2561858). To initiate fleet-fueling operations for this
15 Transportation Service business, the applicant proposes the temporary set up of a 1,000 gallon LPG
16 tank, which will be removed and replaced with the permanent 18,000 gallon LPG tank at a later date.
17 The site plan was reviewed to determine if it is in compliance with the Land Development Regulations
18 (LDRs), including parking, setbacks, landscaping, engineering, environmental protection and
19 commercial design standards.
20

21 Mr. Carroll review the items listed in the Memorandum of Agreement for this property. The property is
22 zoned “CP” Planned Commercial, which permits development and construction of the proposed facility
23 and is in accordance with the Memorandum of Agreement of Ordinance No. 2013-11 adopted for this
24 property. He reviewed the site plan, landscaping plans and bubble plan for the project. The Future Land
25 Use Map designation for the site is RET (Commercial General-Retail Sales & Services). The requested
26 use is consistent with the directives of the Comprehensive Plan and adopted Land Development
27 Regulations.
28

29 Site Engineering plans have been submitted by Andrew T. Logan, Professional Engineer with Logan
30 Civil Engineering. Landscaping Plans have been submitted by L.R. Huffstetler III, Landscape Architect
31 with LPG Urban & Regional Planners, Inc. Structural plans have been submitted by David G. Kittridge,
32 Professional Engineer. Pursuant to the granting of the waivers, the applicant has complied with all
33 requirements of the Land Development Regulations (LDRs) for site plans, including Chapter 7-Site Plan
34 Development Regulations, Chapter 10–Landscaping & Tree Protection, Chapter 14–Water, Reuse Water,
35 and Sewer Standard Specifications, and Chapter 20–Commercial Design Standards of the LDRs.
36 Reviews were completed for the Town of Lady Lake by Town staff, Neel-Schaffer Engineering, and
37 Kerry Barnett for compliance with the Florida Fire Prevention Code. Lake-Sumter MPO conducted
38 review of the Traffic Analysis submitted for this project. The following items were included in the
39 packet:
40

- 41 a. Town Engineer comments for the site plan dated December 12, 2013 (Satisfied).
- 42 b. Fire Review comments dated December 7, 2013 (Satisfied).
- 43 c. Waste Management comments dated October 15, 2013 (Satisfied).
- 44 d. Lady Lake Building Official comments dated October 22, 2013. (Satisfied).
- 45 e. Lake Sumter MPO Traffic Analysis review dated October 28, 2013 (Satisfied).
- 46 f. Lady Lake Public Works Comments dated December 6, 2013 (Satisfied).
- 47 g. St. John’s River Water Management District Permit No. IND-069-135913-1 dated November 14,
48 2013 (Satisfied).
- 49 h. Florida Department of Environmental Protection Wastewater Collection/Transmission System
50 Permit No. 0322602-001 dated November 27, 2013 (Satisfied).

- 1 i. Florida Department of Environmental Protection Water Main Extensions Permit No. 0080514-
2 078-DSGP dated November 19, 2013 (Satisfied).
- 3 j. Florida Department of Agriculture and Consumer Services-LPG Tank approval for 1000-gal tank
4 dated November 21, 2013 (Satisfied).

5
6 Mr. Carroll reviewed the proposed waivers as follows:

7
8 *I) Commercial Design Standards*

9
10 The project exhibits features in accordance with the Frame Vernacular design, one of the four preferred
11 architectural style designs as per Chapter 20 - Commercial Design Standards. Waiver: Not all
12 architectural elements are exhibited on the exterior of the building.

13
14 Chapter 20, Section 20-3C.4).C) - Building façades shall not exceed 20 horizontal feet and 10 vertical
15 feet without a minimum of three architectural elements. The applicant's justification is included in the
16 packet.

17
18 Town Staff's Position: In favor to grant waiver in that the applicant has attempted to adhere to the
19 Frame Vernacular Architectural Design Style to the best extent practicable on a building that will be
20 primarily used as a shop.

21
22 *II) Landscaping and Tree Protection*

23
24 The applicant is pursuing the following waiver(s) to the Landscaping Requirements:

- 25
26 a) Waiver to LDRs - Chapter 10, Section 10-3, b).B).1) for North Landscaping Buffer Class "A":

27
28 Minimum landscaping requirement (Buffer Class Requirement-Table 10-1): Class "A": 10' Min w/ 2
29 canopy tree, 3 understory trees and a continuous hedge.

30
31 Tree Requirement: 11 canopy, 17 understory, 182 shrubs
32 Existing canopy trees: 8 oak trees
33 Proposal: To waive 3 canopy trees and 14 understory trees.

34
35 The applicant's justification is included in the packet.

36
37 Town Staff's Position: In favor to grant waiver in that the applicant has been able to demonstrate the
38 existence of mature canopy trees on-site and off-site. Additionally, canopy trees shall not be spaced
39 closer than 30 feet on center. Installing the required landscape buffer will cause overcrowding and
40 prevent mature tree canopy growth.

- 41
42 b) Waiver to LDRs - Chapter 10, Section 10-3, b).B).1) for East Landscaping Buffer Class "A":

43
44 Tree Requirement: 15 canopy, 23 understory, 239 shrubs
45 Existing canopy trees: 3 oak trees
46 Proposal: To waive 10 canopy trees and 33 shrubs

47
48 The applicant's justification is included in the packet.

49
50 Town Staff's Position: In favor to grant waiver in that the applicant has been able to demonstrate the
51 existence of mature canopy trees on-site and off-site. Additionally, canopy trees shall not be spaced

1 closer than 30 feet on center. Installing the required landscape buffer will cause overcrowding and
2 prevent mature tree canopy growth.

3
4 c) Waiver to LDRs - Chapter 10, Section 10-3, b).B).2) for South Landscaping Buffer Class "B":

5
6 Minimum landscaping requirement (Buffer Class Requirement-Table 10-1): Class "B": 20' Min w/4
7 canopy trees, 3 understory trees, and a continuous hedge or approved fence or wall.

8
9 Tree Requirement: 5 canopy, 4 understory, 29 shrubs

10 Existing canopy trees: 1 oak tree

11 Proposal: To waive 4 canopy trees

12
13 The applicant's justification is included in the packet.

14
15 Town Staff's Position: In favor to grant waiver to applicant in that there is extensive on-site canopy
16 trees. Additionally there is existent overhead electrical utility on site, which would be affected by new
17 planted canopy trees.

18
19 d) Waiver to LDRs - Chapter 10, Section 10-3, b).B).1) for West Landscaping Buffer Class "A":

20
21 Tree Requirement: 13 canopy, 19 understory, 212 shrubs

22 Existing canopy trees: 2 oak trees

23 Proposal: To waive 6 canopy trees

24
25 The applicant's justification is included in the packet.

26
27 Town Staff's Position: In favor to grant waiver in that the applicant has been able to demonstrate the
28 existence of mature canopy trees on-site and off-site. Additionally, canopy trees shall not be spaced
29 closer than 30 feet on center. Installing the required landscape buffer will cause overcrowding and
30 prevent mature tree canopy growth.

31
32 Photos of the property showing the buffers on all sides of the property were shown, along with
33 renderings of the proposed decorative fencing and elevations of the buildings.

34
35 Note: A Water, Sewer and Reuse agreement will be executed between the property owner and the Town
36 to reserve utility capacity subsequent and contingent upon approval of the site plan.

37
38 Mr. Carroll reported the application was received on Thursday, October 10, 2013. He stated the
39 Technical Review Committee reviewed the application at its regular meeting on November 19, 2013,
40 and then again on December 17, 2013, with a vote 5-0 to move forward to Town Commission. The
41 Special Conceptual Workshop Meeting of the Town Commission reviewed this application at their
42 regular meeting on November 19, 2013 at 3:00 p.m., and it was the consensus of the Commission to
43 move forward with this project pending recommendations from the Tree & Beautification Advisory
44 Committee. The Tree & Beautification Committee reviewed this application at their special meeting on
45 December 3, 2013 at 5:30 p.m., with a 3-0 consensus vote for approval. He noted that the Planning and
46 Zoning Board does not review Site Plan applications.

47
48 Mr. Carroll stated that Tim Hoban and Dan McCarthy, Jr. are both present if there are any questions.
49

1 *Upon a motion by Commissioner Hannan and seconded by Commissioner Richards, the Commission*
2 *approved Major Site Plan 10/13-001 for the Village Airport Van Campus, to include the waivers as*
3 *noted above, by a vote of 5 to 0.*
4

5 **8. Consideration of Sewer and Water Utility Agreement for Village Airport Van Campus-**
6 **MJSP 10/13-001– Located at 121 W. Hermosa Street (Thad Carroll)**
7

8 Growth Management Director Thad Carroll gave the background summary for this agenda item (on file
9 in the Clerk's office). He stated that the Developer, Hermosa Street, LLC, is the fee simple owner of
10 approximately 4.21 +/- acres of real property situated in Lady Lake, Lake County, Florida. Mr. Carroll
11 stated that the Developer has requested connection to Town water facilities and sewer facilities (Utility),
12 and that the Town of Lady Lake allocates and reserves sufficient capacity in these facilities to serve and
13 sustain the operation of seven equivalent residential units (ERUs), or 1,750 gallons per day for sewer
14 and water. He stated that reuse is not available at this located. Mr. Carroll stated the fee amounts to
15 \$32,697.00, and payment will secure those capacities and the system is sufficient to support that demand
16 at this time.
17

18 The proposed facility will be developed in three phases with three buildings, including 4,300 sq. ft. of
19 shop space, 10,300 sq. ft. of office space, and up to 3,600 sq. ft. of owner's/caretaker residence, for a
20 total of 18,200 sq. ft. of commercial development, including an LPG Tank up to 18,000 gallons for a
21 Transportation Service Business. At this time, the applicant would like to proceed with Phase I, which
22 includes erecting a 5,000 sq. ft. Shop Building located in the middle of the lot. The Site Plan application
23 for this facility is being considered concurrently at this meeting.
24

25 The Developer has agreed to connect to certain water distribution and sanitary sewer collection facilities
26 that will benefit Development and to the use of the Water and Sewer facilities on the terms and
27 conditions hereinafter set forth in the attached Agreement, as provided by the Town of Lady Lake. Mr.
28 Carroll stated this is a standard agreement and it was reviewed by Town Attorney Derek Schroth on
29 Thursday, December 12, 2013, and was determined to be correct in form for consideration and approval
30 by the Town Commission.
31

32 *Upon a motion by Commissioner Hannan and seconded by Commissioner Holden, the Commission*
33 *approved the Sewer and Water Utility Agreement for Village Airport Van Campus-MJSP 10/13-001*
34 *by a vote of 5 to 0.*
35

36 **9. Consideration of McDonald's Restaurant-Major Site Plan 10/13-002 – A 4,388 Sq. Ft.**
37 **Restaurant with Drive-Thru Facility – Located at 452 N. Hwy 27/441 in Lady Lake Crossing Plaza**
38 **(Thad Carroll)**
39

40 Growth Management Director Thad Carroll gave the background summary for this agenda item (on file
41 in the Clerk's office). He stated that the applicant, Braulio Grajales with High Point Engineering, on
42 behalf of SRK Lady Lake 43 Associates LLC, property owner, has submitted a site plan for the
43 construction of a development consisting of a 4,388 sq. ft. restaurant with a drive-thru facility on a 1.19-
44 acre parcel located within the Lady Lake Crossing Plaza at 452 N. Hwy 27/441 (Alternate Key
45 3872774). Mr. Carroll stated the property is currently vacant and staff recommends approval of the site
46 plan as presented. The site plan was reviewed to determine if it is in compliance with the Land
47 Development Regulations (LDRs) including parking, setbacks, landscaping, engineering, environmental
48 protection and commercial design standards.
49

50 The property is zoned "PUD" Planned Unit Development, which permits development and construction
51 of the proposed facility and is in accordance with the Memorandum of Agreement of Ordinance 2006-04

1 adopted for this property. The Future Land Use Map designation for the site is RET (Commercial
2 General-Retail Sales & Services). The requested use is consistent with the directives of the
3 Comprehensive Plan and adopted Land Development Regulations.
4

5 Mr. Carroll reviewed the site plans submitted by Braulio Grajales, Professional Engineer with High
6 Point Engineering Inc., as well as the landscaping plans. The Landscaping and irrigation plans have
7 been certified by Lisa Kramer Silva, Landscape Architect with High Point Engineering, Inc. Pursuant to
8 the granting of the waivers, the applicant has complied with all requirements of the Land Development
9 Regulations (LDRs) for site plans, including Chapter 7-Site Plan Development Regulations, Chapter 10-
10 Landscaping & Tree Protection, Chapter 14-Water, Reuse Water, and Sewer Standard Specifications,
11 and Chapter 20-Commercial Design Standards of the LDRs. Reviews were completed for the Town of
12 Lady Lake by Town staff, Neel-Schaffer Engineering, and Kerry Barnett for compliance with the
13 Florida Fire Prevention Code. The following items were included in the packet:
14

- 15 a) Town Engineer comments for the site plan dated December 11, 2013 (Satisfied).
 - 16 b) Fire Review comments dated December 7, 2013 (Satisfied).
 - 17 c) Waste Management comments dated October 22, 2013 (Satisfied).
 - 18 d) Lady Lake Building Official comments dated October 22, 2013 (Satisfied).
 - 19 e) Lady Lake Public Works comments dated December 6, 2013 (Satisfied).
 - 20 f) Lake-Sumter MPO comments dated November 8, 2013 (Satisfied).
 - 21 g) Florida Dept. of Transportation comments dated October 22, 2013 (Satisfied).
- 22

23 It is anticipated that the applicant will receive the St. John's River Water Management District
24 Modification permit soon; however, in accordance with Florida Statute 166.033, Paragraph 4, this
25 permit may not be a requirement for development approval. The applicant, however, shall provide all
26 required state permits prior to commencing construction.
27

28 Mr. Carroll reviewed the proposed waivers as follows:
29

30 III) Commercial Design Standards
31

- 32 ■ Chapter 20, Section 20-3C.3).A). which requires new buildings to adopt one of four
33 architectural styles.
34

35 Town Staff's Position: In favor to grant waiver since the applicant is proposing a mix of styles;
36 combining modern style with the Mediterranean style of the Lady Lake Crossing. Consistency with
37 adjacent architecture on a case-by-case basis has been allowed for other outparcel projects along this
38 corridor in the past (i.e. Longhorn Restaurant, Insight Credit Union, etc.). The applicant's justification
39 is included in the packet.
40

41 IV) Landscaping and Tree Protection
42

- 43 • As per adopted PUD Memorandum of Agreement, landscaping buffer shall be Landscaping
44 Buffer Class "A" around all property boundaries: north, south, east, and west.
45

46 The applicant is pursuing the following waiver(s) to the Landscaping Requirements:
47

48 Chapter 10, Section 10-3, a). 2). which requires 160 caliper inches per acre of trees to be retained or
49 replaced on site. The tree caliper inches required at the site is 190.4 caliper inches and 167 caliper
50 inches have been provided. Waiver: 20.4 tree caliper inches. The applicant's justification is included in
51 the packet.

1
2 Town Staff's Position: In favor to grant waiver in that based on the project size and the lot size, the
3 applicant has attempted to accommodate all required landscaping to the best extent practicable.
4

5 Chapter 10, Section 3.c).2). – Landscaping Island requirements - At the end of single parking rows, a
6 landscaping area shall be provided with the following minimum: 200 sq. ft. with one acceptable canopy
7 tree or three acceptable understory trees or palms, five acceptable shrubs, and ground cover or grass.
8 The applicant proposes to waive at least one understory tree for each landscaping island. The
9 applicant's justification is included in the packet.
10

11 Town Staff's Position: In favor to grant waiver in that based on the project size and the lot size, the
12 applicant has attempted to accommodate all required landscaping to the best extent practicable.
13

14 Chapter 10, Section 10-3).g). – To waive the requirement that a landscape area be provided around the
15 base of all buildings oriented toward public right-of-ways or public parking areas. The proposed
16 building addition does not exhibit the required four ft. wide minimum landscape area around its base on
17 the elevation facing Hwy 27/441 & Fennell Blvd. The applicant's justification is included in the packet.
18

19 Towns Staff's Position: In favor to grant waiver in that landscaping around the base of the proposed
20 building would not be conducive due to high-traffic volume as a result of the restaurant use and drive-
21 thru facilities.
22

23 Note: Under per the provisions of PUD Memorandum of Agreement Ordinance No. 2006-04 for Lady
24 Lake Crossing, the Town Manager has the authority to approve certain waivers listed on the Site Plan
25 Cover Sheet.
26

27 Mr. Carroll reported the application was received on Friday, October 21, 2013. He stated the Technical
28 Review Committee reviewed the application at its regular meeting on November 19, 2013, and then
29 again on December 17, 2013, with a vote of 5-0 to move forward to Town Commission. The Special
30 Conceptual Workshop Meeting of the Town Commission reviewed this application at their regular
31 meeting on November 19, 2013, at 3:00 p.m., and it was the consensus of the Commission to move
32 forward with this project pending recommendations from the Tree & Beautification Advisory
33 Committee. The Tree & Beautification Committee reviewed this application at their special meeting on
34 December 3, 2013 at 5:30 p.m., with a 3-0 consensus vote for approval. Mr. Carroll noted that the
35 Planning and Zoning Board does not review Site Plan applications. He stated Mr. Grajales is present if
36 there are any questions regarding the site plan or waivers.
37

38 *Upon a motion by Commissioner Holden and seconded by Commissioner Richards, the Commission*
39 *approved Major Site Plan 10/13-002 for the McDonald's Restaurant, to include the waivers as noted*
40 *above, by a vote of 5 to 0.*
41

42 **10. Consideration of Sewer, Water, and Reuse Utility Agreement for Tree Tops Storage**
43 **Facility Phase 1-MJSP 10/13-003 – Located at 175 S. Rolling Acres Road (Thad Carroll)**
44

45 Growth Management Director Thad Carroll gave the background summary for this agenda item (on file
46 in the Clerk's office). He stated that the Developer, Tree Tops Golf Inc., is the fee simple owner of
47 approximately 12.65 +/- acres of real property situated in Lady Lake, Lake County, Florida. Mr. Carroll
48 stated the Developer has requested connection to Town water facilities, sewer facilities (Utility), and
49 reuse distribution facility ("Reuse Facilities"), and that the Town of Lady Lake allocates and reserves
50 sufficient capacity in these facilities to serve and sustain the operation of six equivalent residential units
51 (ERUs) or 1,500 gallons per day for sewer and water, and six equivalent residential units (ERUs) or

1 1,644 gallons per day for reuse to be consumed by a proposed multi-tenant complex. Mr. Carroll
2 reported the total of these fees amount to \$29,778.00 and will secure the capacities in the Town's
3 systems, and these capacities are currently available in each utility.
4

5 The proposed facility is expected to be developed in three phases with 32 buildings, including 110,289
6 sq. ft. of Mini Storage Building area for Phase 1. The Tree Tops Storage Facility project received site
7 plan approval by the Lady Lake Town Commission on December 16, 2013, and the development order
8 was subsequently issued on December 17, 2013.
9

10 The Developer has agreed to connect to certain water distribution, sanitary sewer collection facilities
11 and reuse distribution that will benefit development and to the use of the Water, Sewer, and Reuse
12 facilities on the terms and conditions hereinafter set forth in the attached Agreement, as provided by the
13 Town of Lady Lake. This agreement was reviewed by Town Attorney Derek Schroth on Thursday,
14 December 12, 2013, and was determined to be correct in form for consideration and approval by the
15 Town Commission.
16

17 Mr. Carroll stated the applicant, Mike Girard, and Mr. Springstead, Project Engineer, are present if there
18 are any questions.
19

20 *Upon a motion by Commissioner Richards and seconded by Commissioner Vincent, the Commission*
21 *approved the Sewer and Water Utility Agreement for Tree Tops Storage Facility Phase 1-MJSP*
22 *10/13-003, by a vote of 5 to 0.*
23

24 **11. Consideration of Modifications to the Orange Blossom Hills Golf Maintenance Facility –**
25 **Located at 1025 Lindsey Lane Court (Thad Carroll)**
26

27 Growth Management Director Thad Carroll gave the background summary for this agenda item (on file
28 in the Clerk's office). He stated that this project is a minor modification and they do not typically come
29 before the Town Commission for approval as they can be approved administratively by the Town
30 Manager. Mr. Carroll stated, however, that there have been changes since the December 2, 2013
31 Commission meeting where a variance for removal of a 36" historic tree for this project came before the
32 Commission for approval.
33

34 Mr. Carroll reported that on September 19, 2013, the Village Center Community Development District,
35 property owner and applicant, submitted a Minor Modification to the Site Plan for the Orange Blossom
36 Hills-Golf Maintenance Facility as per Town of Lady Lake Land Development Regulations, Chapter 7,
37 Section 11.a., to be able to relocate several improvements, including water service, as well as
38 incorporate technical changes to construction details for the site.
39

40 The Minor Modification submittal proposed the removal and replacement of the existing 6,160 sq. ft.
41 golf maintenance building due to the current building's condition. In the process, it was established that
42 a 36" historic live oak tree needed to be removed in order to accommodate the construction of the
43 replacement building, as it was found that the base of the tree was located just 19" from the foundation
44 of the building, and that removing the old building slab and pouring a new one will damage existing
45 roots and make the tree unstable.
46

47 Mr. Carroll stated that on December 2, 2013, the Town Commission granted a variance for the Historic
48 Tree removal under Resolution No. 2013-109, and during the variance presentation, the Town
49 Commission was provided with information regarding existing buffers and existing trees to remain on-
50 site. He stated that it was originally proposed that two oak trees would be removed as part of the site
51 changes. However, after the variance was approved, the latest revised site plan modification dated

1 December 23, 2013 was submitted which proposes reducing the proposed golf maintenance building
2 from 6,160 sq. ft. to 5,298 sq. ft. and the erection of a new 600 sq. ft. integrated pest management
3 building.
4

5 Mr. Carroll stated that these changes as submitted will require the removal of additional trees, totaling
6 14 oak trees (including the historic tree), as well as five palm trees. Views of the property were shown
7 with the current landscaping. He stated that with the new proposal, the overall proposed footprint of the
8 new golf maintenance building will be reduced, but additional trees will have to be removed. Mr.
9 Carroll also stated that just prior to the meeting, Jeff Head of Farner, Barley, and Randy Wilkerson of
10 the VCCDD, approached him and stated they are in a position to replace all the canopy trees on a tree by
11 tree basis, along with 12 understory trees, to satisfy the Class "A" landscaping buffer requirements
12 under the Town's code.
13

14 The latest site plan modification engineering plans have been drawn and certified by Jeffrey Allen Head,
15 Professional Engineer with Farner Barley and Associates, Inc., and the building elevation has been
16 provided by KP Studio Architect P.A., dated December 4, 2013.
17

18 The proposed improvements include the following:
19

- 20 • Remove existing maintenance building and propose new 5,298 sq. ft. building
- 21 • Construct a 10'x15.37' concrete slab to relocate above ground fuel storage tank
- 22 • Relocation of a 30'x36' concrete for slab golf equipment wash down
- 23 • Construct a new 10'x10' dumpster pad
- 24 • Construct a new 20'x30' Integrated Pest Management Building
- 25 • Construct 15'x25' concrete slab with broom finish along the northeast side of the building
- 26 • Construct pre-treatment pond
- 27 • Construct 25 LF of connecting cart path
- 28 • Construct 119 LF of 2" water service
- 29 • Re-construct 21'x76' golf soil bins
- 30 • Removal of 23 trees:
 - 31 ▪ Four chinaberry trees (undesirable trees)
 - 32 ▪ Five palms
 - 33 ▪ Fourteen (14) oak trees (including the historic tree)
- 34 • Provision of 15 parking spaces:
 - 35 ▪ Fourteen regular parking spaces
 - 36 ▪ One Florida ADA Accessible parking space
- 37

38 Mr. Carroll stated that at this time, Town staff is providing the Town Commission with an update of the
39 latest proposal since what was presented at the December 2, 2013 Town Commission meeting regarding
40 the required tree removal has changed in scope for the Orange Blossom Hills Golf Maintenance
41 Building Project. He verified that the Town Manager would issue the letter on the Minor Modification
42 based on the Town Commission's recommendation.
43

44 Commissioner Hannan stated he has no doubt The Villages construction project will be done right, but
45 expressed concern that there will still be a buffer and trees separating this property from the residential
46 homes nearby.
47

48 Mr. Carroll replied that the hedge will remain as a buffer, but all the oak trees on the northern boundary
49 will be removed, which is different from what was shown at the December 2nd meeting. He stated that
50 the applicant has agreed to replace the trees on a tree by tree basis.

1
2 Randy Wilkerson, Construction Manager for The Villages, introduced himself and stated that they are
3 amenable to replacing the trees.
4

5 Commissioner Hannan asked if the new trees will be fully grown.
6

7 Mr. Carroll stated the Town's requirement is a 4" minimum width and 4 ½' height, so the new trees may
8 be significantly smaller, but the intent is to reuse and relocate any of the existing trees where possible.
9

10 Commissioner Richards stated he does not see any verbiage in writing regarding replacement of the
11 trees, and the metal building is very plain. He stated the Town holds applicants to Commercial Design
12 Standards and tree caliper inches; and asked what makes this project a Minor Modification when a
13 building is being taken down and replaced.
14

15 Mr. Carroll explained that the Town has criteria and since the applicant is not planning a 10% or more
16 expansion; it does not require any regulatory permits, and no significant changes are being made to the
17 footprint or intent of the building. He also stated that this is a government/quasi-service facility and is
18 not subject to the Town's Commercial Design Standards. He stated this was brought before the
19 Commission because the landscaping changes are significant.
20

21 Commissioner Richards commented that the Town had to adhere to the Commercial Design Standards
22 and pay all the permitting when the new library was constructed.
23

24 Town Manager Kris Kollgaard stated that it was the Town Commission's choice to follow the standards;
25 it was not required.
26

27 Commissioner Richards stated he is not comfortable with all the changes in the footprint of the buildings
28 and the tree caliper inches, etc., that happened so quickly between December 2nd and December 23rd.
29

30 Town Attorney Derek Schroth asked that the Commissioners address the time period for when the trees
31 will be replanted, and perhaps draw up an agreement to set definitive terms.
32

33 Commissioner Holden asked if the replacement trees will be Water Oaks or Live Oaks as it makes a
34 difference in the speed of the growth.
35

36 Mr. Wilkerson stated he is not sure, but thinks they are Water Oaks. He stated there are several issues
37 with the current building such as age, complying with handicap issues, and it is in bad disrepair.
38

39 Mayor Kussard commented that she visited the site and since it is not a building visited by the public, it
40 should not be held to architectural standards.
41

42 There was further discussion regarding concerns over the last minutes changes in the building footprints
43 and landscaping issues and perhaps tabling this issue for further discussion at the next Commission
44 meeting or workshop meeting. After discussion, it was the consensus of the Commission that a
45 Memorandum of Agreement would be drawn up so the applicant could move forward with the project.
46

47 Mr. Schroth asked for the time frame for replacing the trees, and other particulars such as the number
48 and type of trees to be replaced to include in the MOA.
49

50 Mr. Wilkerson stated the construction timeframe is 120 days.
51

1 Mr. Carroll stated that a landscape inspection is typically done prior to the issuance of a Certificate of
2 Completion/Occupancy, and as such, the verbiage could state that the Town reserves the right to
3 withhold the CO until all adequate landscaping has been installed as per the submitted plan.
4

5 Mr. Wilkerson stated all trees will be replaced and explained the second building is to separate pest
6 control chemicals from the personnel in the maintenance building for safety concerns, and the use of the
7 buildings is industrial with minimal visibility from the outside, but the building will have multiple colors
8 to jazz it up.
9

10 Commissioner Richards asked why the three trees on the Lindsay Lane side are being removed when
11 there is no construction in that area. He asked what will block the view of the residents on Lindsay Lane
12 when these trees are removed, other than the hedge.
13

14 Mr. Wilkerson replied that staff asked them to remove these trees as they are Chinaberry trees and are
15 considered a nuisance.
16

17 Mr. Carroll confirmed the Chinaberry trees are an invasive species and are not required to be replaced.
18 He stated the replacement on a tree per trees basis does not include them; only the oaks and the palms,
19 but that language could be added in the MOA requiring them to be replaced if the Commission so
20 chooses.
21

22 The Commissioners agreed they should be replaced with something else, and Commissioner Holden
23 mentioned that Leland Cypress might work well there.
24

25 Mr. Schroth asked Mr. Carroll for his suggestion of what should be planted to block visibility.
26

27 Mr. Carroll suggested that one or two understory trees could be planted there, but also insure that the
28 Pittosporum or Viburnum hedge that exists behind these tree be planted at a minimum height of 30" and
29 allowed to mature within a couple of years, and that it be maintained at a height of six feet.
30

31 Mr. Schroth asked what the requirement would be for minimum size of the replacement trees.
32

33 Mr. Carroll replied that normally it is four caliper inches and 4 ½' tall, but these will be at least 15' tall.
34

35 Commissioner Richards asked why this MOA could not hold the applicant to the standard buffer
36 requirements.
37

38 Mr. Carroll replied the replacement canopy and understory trees along the northern boundary would
39 meet the Town's Class "A" buffer. He stated it may be easier to just state in the MOA that the applicant
40 must meet the Class "A" buffer along all boundaries.
41

42 Mr. Schroth asked if there was a distinction between what has been discussed and the standard Class
43 "A" buffer, as it may not include replacement of the trees.
44

45 Mr. Carroll read the definition of the Class "A" buffer as follows: Ten feet minimum width with two
46 canopy trees, three understory trees, and a continuous hedge. He suggested utilizing the replacement
47 trees first to establish the Class "A" landscaping buffer as required by code, then any trees removed in
48 excess of the code must also be replaced somewhere else on the property.
49

50 The Commissioner agreed that language to this effect in the MOA would be acceptable and that they
51 would approve the execution of such by the Town Manager.

1
2 *Upon a motion by Commissioner Richards and seconded by Commissioner Holden, the Commission*
3 *approved the Modifications to the Orange Blossom Hills Golf Maintenance Facility Located at 1025*
4 *Lindsey Lane Court with the Contingency that the Town Manager has executed a Memorandum of*
5 *Agreement stating the Applicant will meet Class "A" Landscape Buffer Standards prior to the*
6 *issuance of a Certificate of Occupancy, by a vote of 5 to 0.*

7
8 **J. TOWN ATTORNEY'S REPORT:**

9
10 **12. Ordinance No. 2014-01 – First Reading – Regarding Reduction of Supplemental**
11 **Educational Impact Fees (Kris Kollgaard)**

12
13 Derek Schroth, Town Attorney, read the ordinance by title only.

14
15 Town Manager Kris Kollgaard gave the background summary for this agenda item (on file in the Clerk's
16 office). She stated that she reported to the Commissioners at the December 16th meeting that Lake
17 County is re-imposing the school impact fee at a 25% reduction this year after having suspended it last
18 year. Ms. Kollgaard stated that this ordinance is in response to the Commissioners being in favor of
19 following suit with the county. The ordinance shows that residential construction impact fees will be
20 reduced to \$750.00 per dwelling unit, and \$450.00 per multi-family dwelling, instead of the standard
21 \$3,000.00 and \$1,800.00.

22
23 Mayor Kussard asked if there was any public comment on this ordinance, and seeing none, asked for a
24 motion.

25
26 *Upon a motion by Commissioner Richards and seconded by Commissioner Vincent, the Commission*
27 *approved Ordinance No. 2014-01 – First Reading – An Ordinance Regarding a 25% Reduction of*
28 *Supplemental Educational Impact Fees by the Town of Lady Lake, by the following roll call vote:*

29
30 *HOLDEN YES*
31 *VINCENT YES*
32 *HANNAN YES*
33 *RICHARDS YES*
34 *KUSSARD YES*

35
36 **K. TOWN MANAGER'S REPORT:**

37
38 Town Manager Kris Kollgaard reminded everyone that there is a Commission workshop meeting
39 scheduled for Monday, January 13, 2014, and an agenda will be distributed on Wednesday, January 8,
40 2014. She asked if anyone had any direction or thought as to what they would like staff to look into for
41 this year, and if so, it could be discussed at the workshop meeting.

42
43 Commissioner Holden asked that the possibility of allowing non-Lady Lake residents to sit on the
44 Town's volunteer boards be added to the agenda for discussion as there is a shortage of volunteers.

45
46 Commissioners Hannan and Richards stated they thought this was already allowed on the Library Board.

47
48 Mayor Kussard confirmed that one member of the Library Board is allowed to be a Lake County
49 resident instead of a Lady Lake resident as per the code, and Town Attorney Derek Schroth confirmed
50 this is per code.
51

1 Ms. Kollgaard stated each board has its own ordinance outlining requirements per code. She stated staff
2 could look into what other cities and counties are doing, and it was agreed this would be put on the
3 workshop meeting agenda for further discussion.
4

5 **L. MAYOR/COMMISSIONER'S REPORT:**

6
7 **M. PUBLIC COMMENTS^{iv}:**

- 8
9 - Joe Quinn of 633 Rainbow Blvd. stated that he believes that the code enforcement fines
10 should fit the circumstances and that the Special Magistrate should have guidelines to follow
11 so as to know what the Commission expects. He stated no fine should be so ridiculous as to
12 cause litigation, and repeat offender status should be considered.
13

14 Town Manager Kris Kollgaard stated that repeat offender status is already in the code.

15 **N. ADJOURN**

16 There being no further discussion, the meeting was adjourned at 7:18 p.m.
17
18
19
20
21

22 Kristen Kollgaard, Town Clerk

23 Ruth Kussard, Mayor

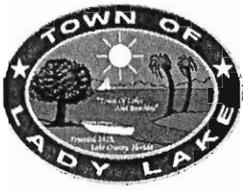
24 Minutes transcribed by Nancy Slaton, Deputy Town Clerk

ⁱ Any invocation that may be offered before the official start of the Commission meeting shall be the voluntary offering of a private citizen, to and for the benefit of the Commission. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the Commission, and the Commission is not allowed by law to endorse the religious beliefs or views of this, or any other speaker.

ⁱⁱ This section is reserved for members of the public to bring up matters of concern or comments. It is not limited to items on the agenda and it is open to any concern or comments that the public may have.

ⁱⁱⁱ All items listed under consent are considered routine by the Town Commission and will be enacted by one motion. There will be no separate discussion of these items unless a Town Commissioner so requests, in which event the item will be removed from the consent agenda and considered in its normal sequence.

^{iv} This section is reserved for members of the public to bring up matters of concern or comments. It is not limited to items on the agenda and it is open to any concern or comments that the public may have.



TOWN COMMISSION AGENDA ITEM

REQUESTED SPECIAL COMMISSION MEETING DATE February 3, 2014

SUBJECT: Budget Amendment to increase Parks & Recreation Capital Outlay Equipment

DEPARTMENT: Finance Department

RECOMMENDED MOTION: Staff recommends approval of BT14-007 to increase Parks & Recreation Capital Outlay Equipment to replace damaged bleacher sun shades at soccer fields.

SUMMARY: We received a settlement check for \$12,933 from our insurance company to replace the bleacher sun shades damaged in a storm on 9/24/2013. This amendment will increase capital outlay to replace the sun shades and increase Insurance Claims Proceeds.

This amendment requires Commission approval because it involves the Capital budget and also it increases total revenue and expenditure bottom line budget.

FISCAL IMPACT: GF \$12,933 [] Personal Budget
[] Operating Budget
[X] Other Capital Outlay Equipment 001-7201-572-6410

ATTACHMENTS: [] Ordinance [] Resolution [X] Budget Resolution

[X] Other (Budget Transaction FT14-007)

[] Support Documents/Contracts Available for Review in Manager's Office

DEPARTMENT HEAD	Submitted	Date
FINANCE DEPARTMENT <i>JRM</i>	Approved as to Budget Requirements	Date 1/23/14
TOWN MANAGER <i>JK</i>	Approved Agenda Item for:	Date 2/3/14

COMMISSION ACTION: [] Approved as Recommended [] Disapproved
[] Tabled Indefinitely [] Continued to Date Certain
[] Approved with Modification

**TOWN OF LADY LAKE
BUDGET TRANSACTION FORM FY2014**

TO: Town Manager

DATE: 12/9/213

FROM: Finance

TRANS NO : BT14-007

FUND	ACCOUNT	DEPT	ACCT DESCRIPTION	INCREASE	(DECREASE)
REV					
001	0000-369-4500	GF	Other Revenues - Insurance Proceeds	\$12,933	
EXP					
001	7201-572-6410	P&R	Capital Outlay - Equipment	\$12,933	

JUSTIFICATION: Increase Capital Outlay Equipment to replace damaged Bleacher Sun Shade at the Soccer Fields.
We received an insurance settlement check 10/21/2013 for \$12,933.28.

Required Authorization/Approval

Town Commission Action Required
 From Fund Balance
 Transfer of Budget Between Funds
 Transfer of Budget Between Departments - Anything
 Within Department - Capital
 Increasing total revenue and expenditure bottom-line budget

Town Manager
 Transfer of Budget Within Department
 - Operating & Personal Services

Department Heads
 Transfer of Budget Within Operating
 - Not Capital or Personal Services
 - With Town Manager Approval

TOWN COMMISSION ACTION:
 Approved
 Disapproved **DATE:** _____
Agenda Item # _____

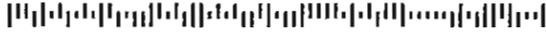

 Department Head Signature and Date

 Town Manager Signature and Date

Finance Dept. Action:
 Amendatory Required
 Disapproved
 Approved **Finance Director** **Date**

DATA ENTRY ACTION:
 Accounting Period: _____
 Posted by: _____
 Data Entry Date: _____

RECEIVED OCT 29 2013



MDG2009 00001943 1 MB 0405 1

TOWN OF LADY LAKE
ATTN: MIKE BURSKE
409 FENNEL BLVD.
LADY LAKE FL 32159



GALLAGHER BASSETT SERVICES INC
FOR PUBLIC RISK MGMT OF FLORIDA

DIRECT CHECK INQUIRIES TO:
PHONE: (239) 334-3333
GALLAGHER BASSETT - FT. MYERS
P.O. BOX 1880
FT. MYERS FL 33902-1880

CLAIM NO.: 010523 035269 RB 01 (042-16)

BRANCH NO.: 044

NO.: 0105028324

CLAIMANT: TOWN OF LADY LAKE

ACC DATE: 24Sep13

VN: 0000361269

DESCRIPTION: SETTLEMENT FOR BLEACHER AND SUNSHADE DAMAGE - 09/24/13

DATE: 21Oct13

DATES OF SERVICE: THRU

AMOUNT: 12933.28

BENEFIT PERIOD: THRU

(IC)

001 - 0000 - 3609 - 4500

DETACH AND RETAIN THIS STUB FOR YOUR REFERENCE

C 0001943 002221 001 001

THE FACE OF THIS DOCUMENT HAS A BLUE BACKGROUND - THE BACK HAS AN ARTIFICIAL WATERMARK

GALLAGHER BASSETT SERVICES INC
FOR PUBLIC RISK MGMT OF FLORIDA

CHECK NO. 0105028324 005431

VN: 0000361269

DATE: 21Oct13 82-20/311

CLAIM NO.: 010523 035269 RB 01 (042-16)

BRANCH NO.: 044

PAY TWELVE THOUSAND NINE HUNDRED THIRTY-THREE AND 28/100 DOLLARS*****

NOT VALID AFTER 90 DAYS
PAY EXACTLY
\$ **12933.28

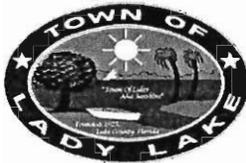
TO THE ORDER OF TOWN OF LADY LAKE
409 FENNEL BLVD
LADY LAKE FL 32159-3158

Ramon Gonzalez

AUTHORIZED SIGNATURE

CITIBANK, N.A.
ONE PENN'S WAY
NEW CASTLE, DE 19720





TOWN COMMISSION AGENDA ITEM

REQUESTED COMMISSION MEETING DATE: February 3, 2014

SUBJECT: Memorandum of Agreement for Early Voting Site

DEPARTMENT: Clerk's Office

STAFF RECOMMENDED MOTION: Approve the Lake County Supervisor of Election's Request to Utilize the Lady Lake Public Library as an Early Voting Site for the 2014 Primary and General Elections

SUMMARY: The Lake County Supervisor of Elections is requesting to utilize the Lady Lake Library as an early voting site for the Primary Election for the dates of Aug. 11-16, 2014 and Aug. 17-23, 2014; and for the General Election for the dates of Oct. 20-25, 2014 and Oct. 26-Nov. 1, 2014.

FISCAL IMPACT: N/A

- Capital Budget
- Operating
- Other

ATTACHMENTS: Ordinance Resolution Budget Resolution

Other/ Memorandum of Agreement

Support Documents

DEPARTMENT HEAD *nk* Submitted *1/20/14* Date

FINANCE DEPARTMENT Approved as to Budget Requirements Date

TOWN ATTORNEY Approved as to Form and Legality Date

TOWN MANAGER *nk* Approved Agenda Item for: *2/3/14* Date *1/20/14*

COMMISSION ACTION:

- Approved as Recommended Disapproved Tabled Indefinitely
- Continued to Date Certain Approved with Modification

File
File



TOWN COMMISSION AGENDA ITEM

REQUESTED COMMISSION MEETING DATE: February 3, 2014

SUBJECT: Consideration for the Parks and Recreation Department to Invest \$400.00 to Install Irrigation at the Driving Range to Assist in Controlling Dust at Their Parking Lot

DEPARTMENT: Parks and Recreation

STAFF RECOMMENDED MOTION: Approval for the Parks and Recreation Department to Invest \$400.00 to Install Irrigation at the Driving Range to Assist in Controlling Dust at Their Parking Lot

SUMMARY: The Parks and Recreation Department is asking that we install irrigation that would allow the Driving Range to water their parking lot during periods without rain. The irrigation would come on manually and would be controlled by the Range. The water for the irrigation would be paid for by the Driving Range while our Department would install the system using new and old irrigation parts from our inventory.

FISCAL IMPACT: \$400.00 from general operating line item

- [] Capital Budget
[X] Operating
[] Other

ATTACHMENTS: [] Ordinance [] Resolution [] Budget Resolution
[X] Other [] Support Documents

DEPARTMENT HEAD MDB Submitted 01/27/14 Date 02/05/14
HR Approved as to Form Date
FINANCE DEPARTMENT psw ARD Approved as to Budget Requirements Date 1-27-14
TOWN MANAGER KLO Approved Agenda Item for: 2-3-14 Date 1-27-14

COMMISSION ACTION:

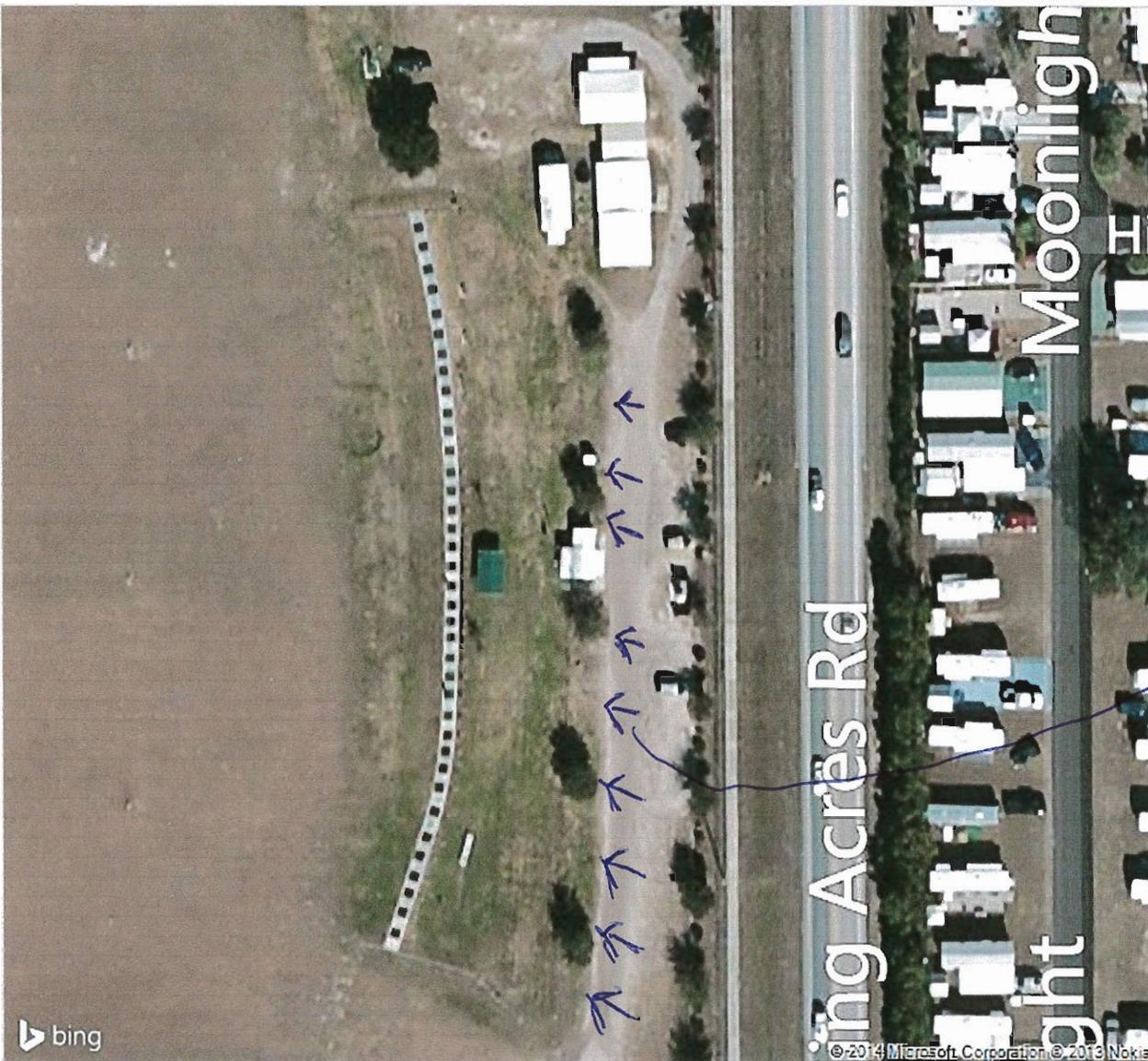
- [] Approved as Recommended [] Disapproved [] Tabled Indefinitely
[] Continued to Date Certain [] Approved with Modification

Handwritten initials and signature at the bottom left corner.

bing Maps

My Notes

On the go? Use m.bing.com to find maps, directions, businesses, and more



Area to install irrigation



Bird's eye view maps can't be printed, so another map view has been substituted.



TOWN COMMISSION AGENDA ITEM

REQUESTED COMMISSION MEETING DATE: February 3, 2014

SUBJECT: Consideration to Host the Annual Lady Lake Easter Egg Hunt at the Junior Field at the Guava Street Athletic Complex on April 12, 2014

DEPARTMENT: Parks and Recreation

STAFF RECOMMENDED MOTION: Consideration to Host the Annual Lady Lake Easter Egg Hunt at the Junior Field at the Guava Street Athletic Complex on April 12, 2014

SUMMARY: Last year, the Lady Lake Easter Egg Hunt Volunteers counted over 2,700 people attending the event. The Parks and Recreation Director will be proposing to host this event at the Junior Baseball Field at the Guava Street Athletic Complex. The size of the field and the available parking will assist us in handling a crowd of this size. As in years past, we have many different groups and organizations which assist the Town with this event. Many Chamber members, businesses and churches donate their time, labor and signs for the event. Last year, we had over 30 different groups who supported this event and gave those in our area the ability to have a controlled Easter Egg Hunt. The egg hunt goes for the duration of the event and allows children of similar ages to hunt at the same time. The number of children is also controlled to make sure every child is able to get several eggs. Some of the groups who assisted last year were the Lady Lake Library, Chamber of Commerce, Girls Scouts, Relay for Life, Steeple People, Life Family Practice, United Southern Bank, Lady Lake Area Rotary Club, Heritage Community Church, First Baptist Church of Lady Lake, Crossroads Community Church, Sonic Drive Thru, Chic-Fil-A, Z88 Radio, Recreation Plantation and the Historical Society. As with any event, the groups and games will change from year to year. As in years past, we have had bounce houses donated for the children and expect the donation once again this year. The businesses who donate their time and efforts are able to advertise who they are and hand out coupons or literature to help support their organization. This is also the practice for the Halloween Party. To assist with marketing, this event will appear on many websites for different organizations. This gives us great exposure while not having to pay to advertise. We have many different churches and organizations that volunteer to run the egg hunt and the front gate. This gives us the ability to staff the event without utilizing paid staff. Including those running games, we have around 100 people volunteer for this event and assist in the coordination.

FISCAL IMPACT: Will budget up to \$1,000.00 for this event depending on donated items. Will be funded by line item 001-7201-572.48-00 for promotional activities and use 001-7201-572.14-00 for overtime. Overtime is estimated at \$500.00. I have a budget of \$700.00 for new banners for the event. Will still rely on the smaller donated banners for some areas of Town.

KS
Steeple

- Capital Budget
- Operating
- Other

ATTACHMENTS: Ordinance Resolution Budget Resolution

Other

Support Documents

DEPARTMENT HEAD *WDB* Submitted *01/26/14* Date *02/03/14*

HR Approved as to Form Date

FINANCE DEPARTMENT *plus AFD* Approved as to Budget Requirements Date *1-27-14*

TOWN MANAGER *(Signature)* Approved Agenda Item for: *2/3/14* Date *1/27/14*

COMMISSION ACTION:

Approved as Recommended Disapproved Tabled Indefinitely

Continued to Date Certain Approved with Modification



TOWN COMMISSION AGENDA ITEM

REQUESTED COMMISSION MEETING DATE: February 3, 2014

SUBJECT: Consideration to Construct a Sun Shade at Town Hall Utilizing Up to \$500.00 in Contingency Funds and Using Parts from Several Storm Damaged Shades to Build one Shade

DEPARTMENT: Parks and Recreation

STAFF RECOMMENDED MOTION: Approval to Construct a Sun Shade at Town Hall Utilizing Up to \$500.00 in Contingency Funds and Using Parts from Several Storm Damaged Shades to Build One Shade

SUMMARY: The Parks and Recreation Department is asking that we restore and utilize one of the sun shades that was destroyed at the Rolling Acres Sports Complex. It is estimated to cost \$500.00 to paint and build concretes supports for the shade structure. The shade would be located behind Town Hall and would serve as a picnic table cover. We were able to restore one of the shades and place it at Pyramid Park, so we know that the shades will hold up to the repairs and placement at other areas.

FISCAL IMPACT: Estimate \$500.00 from contingency fund.

- Capital Budget
 - Operating
 - Other
-

ATTACHMENTS: Ordinance Resolution Budget Resolution

Other Support Documents

DEPARTMENT HEAD *ADB* Submitted *01/27/14* Date *02/03/14*

HR Approved as to Form Date

FINANCE DEPARTMENT *PDW APD* Approved as to Budget Requirements Date *1-27-14*

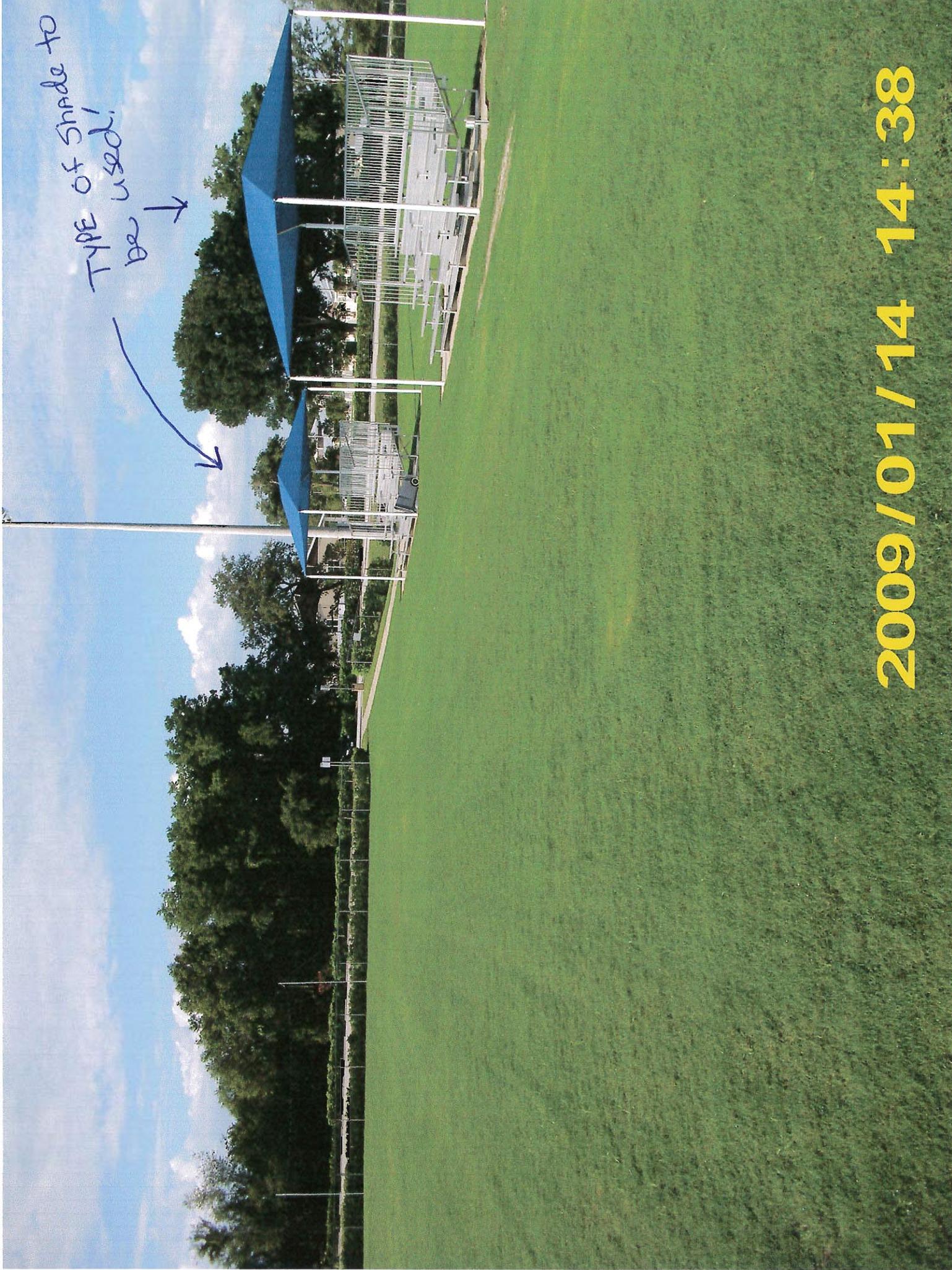
TOWN MANAGER *KAC* Approved Agenda Item for: *2-3-14* Date *1-27-14*

COMMISSION ACTION:

- Approved as Recommended Disapproved Tabled Indefinitely
- Continued to Date Certain Approved with Modification

Handwritten signatures

TYPE OF SHADE TO
BE USED!



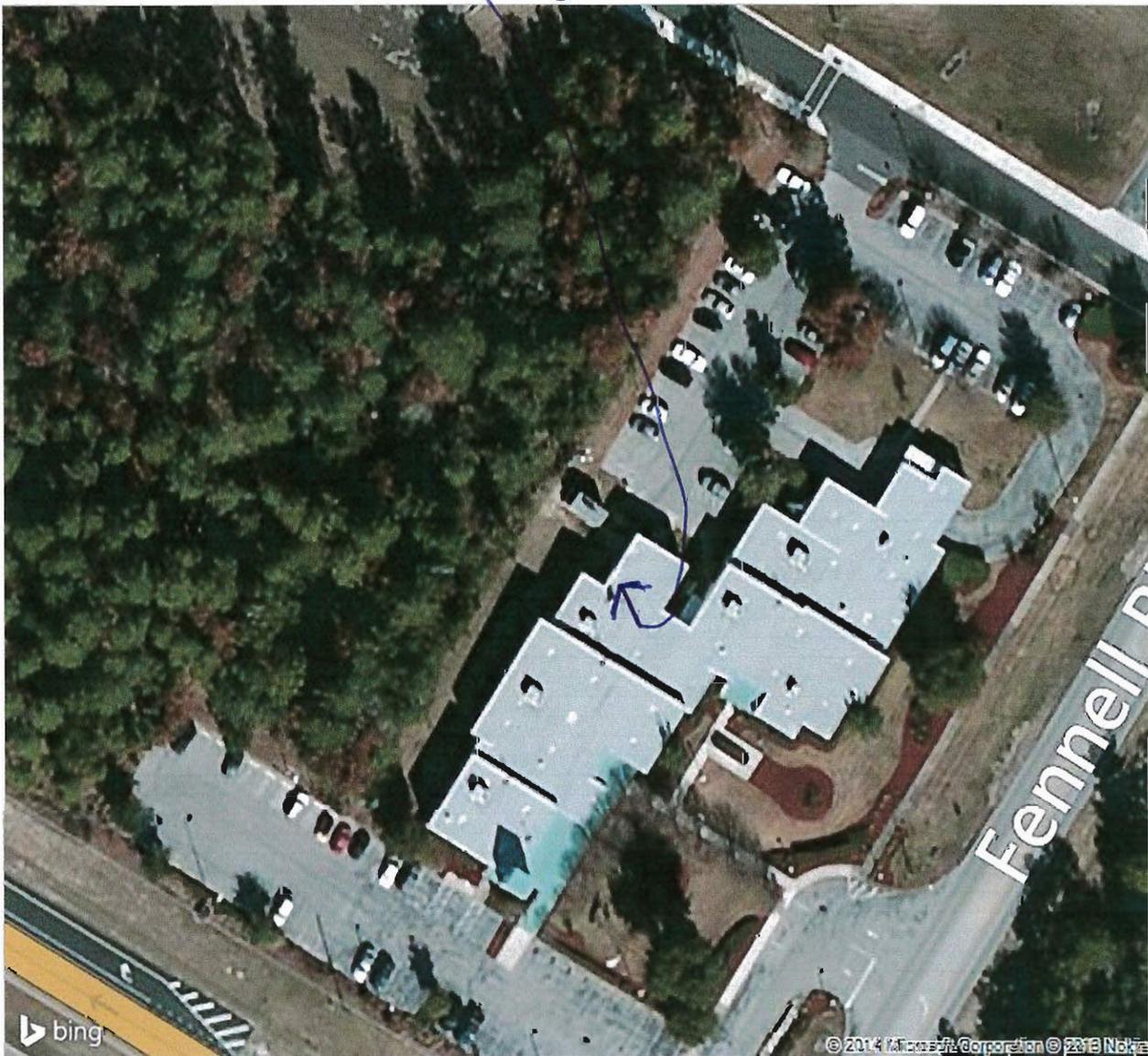
2009/01/14 14:38

bing Maps

My Notes

On the go? Use m.bing.com to find maps, directions, businesses, and more

Proposed location for SWH shade (COREA behind) break-up generator



Bird's eye view maps can't be printed, so another map view has been substituted.



TOWN COMMISSION AGENDA ITEM

REQUESTED COMMISSION MEETING DATE: Monday, February 3, 2014

SUBJECT: MJSP- 12/13-001 – Mattress Firm – 1.19 +/- Acres Located at 867 N. Hwy 27/441- Proposal for Construction of a Single-Use Development Consisting of 4,020 Sq. Ft. of Furniture Retail Sales Area located within the Home Depot Subdivision (Alternate Key 3846606).

DEPARTMENT: Growth Management

STAFF RECOMMENDED MOTION:

Staff recommends approval of Major Site Plan MJSP- 12/13-001 for the Mattress Firm as presented; no landscaping or commercial design standards waivers are required or requested with this application.

Applicant Van MF Lady Lake, LLC has submitted a site plan for the construction of a one-story single-use development consisting of 4,020 square feet of furniture retail sales area. The parcel is approximately 1.19 +/- acres, and located at 867 N. Hwy 27/441; the property being is an outparcel of the Home Depot Subdivision. The site plan was reviewed to determine if it is in compliance with the Land Development Regulations (LDRs) including parking, setbacks, landscaping, engineering, environmental protection and commercial design standards.

The property is zoned Heavy Commercial ("HC") which permits the development and construction of the proposed project. The Future Land Use Map designation for the site is Commercial General- Retail Sales & Services (RET). The requested use is consistent with the directives of the Comprehensive Plan and adopted Land Development Regulations.

Site plans have been submitted by Gregory Robert Roth, Professional Engineer with Thomas Engineering Group (formerly Bohler Engineering). The Landscaping and irrigation plans have been prepared and certified by Jason E. Rinard, Registered Landscape Architect with Hardeman Kempton & Associates, Inc. The applicant has complied with all requirements pursuant to the Land Development Regulations (LDRs) for site plans, including Chapter 7-Site Plan Development Regulations, Chapter 10–Landscaping & Tree Protection, Chapter 14-Water, Reuse Water, and Sewer Standard Specifications, and Chapter 20-Commercial Design Standards of the LDRs. Reviews

were completed for the Town of Lady Lake by Town staff, Neel-Schaffer Engineering, and Kerry Barnett for compliance with the Florida Fire Prevention Code. Attached are following reviews contained in the packet:

- a. Town Engineer comments for the site plan dated January 23, 2014 (Satisfied).
- b. Fire Review comments dated December 7, 2013 (Satisfied).
- c. Waste Management comments dated December 5, 2013 (Satisfied).
- d. Lady Lake Building Official comments dated December 5, 2013 (Satisfied).
- e. Lake-Sumter MPO comments dated December 11, 2013 (Satisfied).
- f. Lady Lake Public Works comments dated December 23, 2013 & granted reuse waiver request dated January 6, 2014 (Satisfied).
- g. Florida Dept. of Transportation comments dated January 15, 2014 (Satisfied).
- h. Florida Dept. of Environmental Protection Wastewater Permit Exemption Determination dated January 6, 2014 (Satisfied).
- i. Florida Dept. of Environmental Protection Water Permit Exemption Determination dated January 7, 2014 (Satisfied).
- j. St. John's River Water Management Individual Environmental Resource Permit No. IND-069-94056-7 (Pending approval).

It's anticipated that the applicant will receive the St. John's River Water Management District Individual Environmental Resource permit in the next coming weeks; however, in accordance with Florida Statute 166.033, Paragraph 4, this permit may not be a requirement for development approval. The applicant, however, shall provide all required state permits prior to commencing construction.

Commercial Design Standards

The project will exhibit exterior building designs in accordance with the Mediterranean Architectural Style. No waivers are needed and none have been requested.

Landscaping and Tree Protection

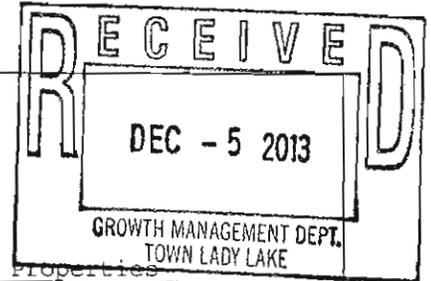
Tree Requirements:

In accordance with Chapter 10-Landscape and Tree Protection, the site is required to provide 190.4 tree caliper inches based on its 1.19-acre area (160"x 1.19). Please see the landscaping tree proposal breakdown:

Existing Trees to remain	20.5 tree caliper inches
Proposed Trees for the site	<u>179.0</u> tree caliper inches
Total tree caliper inches	199.5 tree caliper inches

The caliper inches of the landscaping material exceeds minimum requirements of the LDRs. All landscaping buffers and required plant material for landscaping islands and building base will be provided, a Buffer Type Class "A" will be provided on the property. No waivers are required and none have been requested.

**TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW**



1. Applicant's Name: Van MF Lady Lake, LLC c/o Vantage Properties
Telephone/Email: (727) 302-8040
Applicant is: Owner ___ Developer Lessee ___ Agent ___ Optionee ___
2. Owner's Name: TD Bank
Address: 305 Second Avenue, Waltham, Ma 02451
Telephone/Email: (781) 487-4111
3. Engineer's Name: Gregory Robert Roth, P.E.
Address: 4950 W. Kennedy Blvd., Suite 600, Tampa, FL
Telephone/Email: (813) 379-4100 / groth@bohlereng.com
Reg. Number: 74566
4. Architect's Name: TBD
Address: _____
Telephone/Email: _____
Registration Number: _____
5. Landscape Architect: Jason E. Rinand, R.L.A.
Address: 2207 N. A Street, Tampa, FL 33606
Telephone/Email: (813) 258-0066
Registration Number: 0001608
6. Project Name: Mattress Firm - Lady Lake
Physical Location/Address: 867 N. US Hwy 27, Lady Lake, FL
11. The property is located in the vicinity of the following streets:
US Hwy 27/441 and Rolling Acres Road.

TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW

Page 2

8. Area of property 52,039 Square Feet 1.19 Acres

9. The exact legal description of the property as shown on the Tax Receipt or the Warranty Deed, or attach a separate sheet to the application form:

Lot 4, Home Depot Subdivision, according to the plat thereof as recorded in plat book 57, page 22, public records of lake county, florida.

10. The property is currently zoned: HC (Heavy Commercial)

11. Briefly describe the proposed project: 4,020 sf retail building

If for storage, what type of material will be stored? N/A

12. Have any development reviews and/or approvals been granted to this property?
Yes ___ No x If yes, list the type, date and result:

13. Has any Variance been granted concerning this property? Yes ___ No x
If yes, list the Case Number and briefly describe the nature of the Variance.

14. The plans shall be drawn on 24" x 36" sheets as a minimum, at the largest scale feasible. The plans or any portion thereof involving engineering, shall be certified by a professional engineer or landscape architect as required by SJRWMD. The following information must be included on the site plan:

General Information

X a. Name of project.

X b. General statement of intended use of site.

X c. Legal description of the property and size of parcel in acres or square feet.

X d. Name and address of owner.

TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW

Page 3

- e. Name, address and phone number of owner's agent.
- f. Name, address, signature and registration of the professionals preparing the plans.
- g. Date, north arrow and scale shall be designated and where appropriate, the same scale shall be used on all sheets.
- h. Vicinity map showing relationship of proposed development to the surrounding streets and thoroughfares, shall be at a scale no smaller than one inch equals five thousand two hundred eighty feet (1" = 5,280' or 1" = Mile).
- i. Linear dimensions of the site.
- j. Existing topography with a maximum of one (1) foot contour intervals for the proposed site.
- k. Finished grading elevations.
- l. Zoning of the site and of all adjacent parcels.
- m. All existing and proposed building restriction lines (i.e., highway setback lines, easements, covenants, rights-of-way and building setback lines).
- n. Percent of open space of site.
- o. Location of proposed signs.

Building and Structure

- a. Existing and proposed structures.
- b. Intended use.
- c. Number of stories.
- d. Height of building(s).
- N/A e. Number of dwelling units and density.
- N/A f. Projected number of employees, if applicable.
- N/A g. If restaurant, show number of seats and occupancy load.

TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW

Page 4

- h. Square footage for proposed development, i.e., gross square footage, nonstorage area, square footage of each story, gross square footage of sales area, etc.
- i. Photograph or sketch of proposed sign with dimensions and material type.

Street, Sidewalks, Driveways, Parking Areas and Loading Spaces

- a. Engineering plans and specifications for streets, alleys, sidewalks and driveways to include soil borings, if necessary.
- b. All parking spaces delineated.
- c. Number of parking spaces.
- d. Number and location of handicapped spaces.
- e. Number of square feet of paved parking and driveway area.
- f. Surface materials and cross-section of proposed paved areas.
- N/A g. Fire lanes per the Standard Fire Prevention Code adopted in the Building and Fire Codes chapter.
- h. Description/location of proposed driveway(s) and median cut(s).
- i. Internal traffic control circulation plan, including directional arrows and signs to direct traffic flow, as necessary.
- N/A j. Location of traffic-control signs and signalization devices, if required.
- k. Number and location of required loading spaces.
- l. Number and location of required bicycle spaces.

Drainage and Stormwater

- a. Soil classifications, cross-sections and details of proposed retention/detention ponds, swales, berms, etc., as required by SJRWMD.
- b. Size, material and location of stormwater structures and pipes.

TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW

Page 5

- X c. Indicate flood elevation for 100-year flood and any other information required in Environmental Regulations chapter.

Proposed Water, Sewer and Solid Waste Facilities

- X a. Size, material, specifications and location of water mains, valves, services and fire hydrants.
- X b. Size, material, specifications and location of sanitary sewer lines and laterals with submittal of a profile, if necessary.
- N/A c. Size and location of septic tank and drainfield, if applicable.
- N/A d. Grease separation system, if applicable: Size, location and materials.
- X e. Location(s) and access provisions for refuse service, including pad, screening, fencing and landscaping, if applicable.

Landscaping

- X a. Landscaping plan and provisions for maintenance including size, type and location of all landscaping, screens, walls, fences and buffers per the requirements in the Landscaping and Tree Protection chapter. If water efficient landscaping is used, the information required in that chapter should be included.
- X b. Irrigation system plan.

Environmental Protection

- N/A a. Natural features such as waterbodies, wetlands, native vegetative communities, etc., as required in the Environmental Regulations chapter.
- N/A b. Conservation easements per the requirements.
- X c. Provisions for the adequate control of erosion and sediment, including the location and description of the methods to be utilized during and after all phases of clearing, grading and construction.

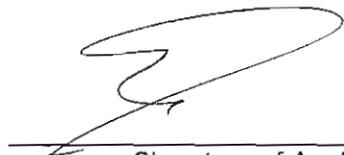
ADDITIONAL INFORMATION TO BE PROVIDED

- X a. Summary report of all concurrency data needed as noted in Chapter 4 of the Lady Lake Land Development Regulations.

TOWN OF LADY LAKE
APPLICATION FOR SITE PLAN REVIEW

Page 6

- b. An application for a clearing and tree permit meeting all criteria specified in the Developmental Procedures and Regulations chapter and the Landscaping and Tree Protection chapter.
- c. Drainage calculations as required in the Stormwater Management chapter.
- d. Fire flow calculations, if applicable.
- e. Lift station calculations, where required.
- f. Copy of HRS permit, where required.
- g. A construction cost estimate prepared by the engineer of record, which shall delineate any proposed improvements to be maintained by the Town.
- h. Environmental assessment per the requirements, if applicable.
- i. Any additional data, maps, plans or statements, as may be required, which is commensurate with the intent and purpose of the Code.



Signature of Applicant

Greg A. Nowak, Manager

PLEASE SUBMIT APPLICATION TO THE GROWTH DEVELOPMENT DEPARTMENT ACCOMPANIED BY THREE (3) 24"X36" SIGNED AND SEALED ENGINEERING OF THE SITE PLAN AND EIGHT (8) 11 X 17 SIGNED AND SEALED ENGINEERING OF THE SITE PLAN (FOR FIRST SUBMITTAL), APPROPRIATE REVIEW FEES, PROOF OF OWNERSHIP AND ALL APPLICABLE INFORMATION AND DOCUMENTATION AS REQUIRED BY LADY LAKE ORDINANCE 94-08, LAND DEVELOPMENT REGULATIONS, ADOPTED AUGUST 15, 1994.

NOTE: AS THE APPLICATION PROCEEDS, ADDITIONAL ENGINEERING PLAN COPIES WILL BE REQUESTED FROM THE APPLICANT; INCLUDING SEVEN (7) SETS OF 17"X22" PLANS TO DISTRIBUTE FOR THE TOWN COMMISSION MEETING. THANKS.

Office Use:	
Date Application Received: <u>12-5-2013</u>	Received by: <u>W. Then</u>
Fees Paid: Site Development Plan - Minor	
Site Development Plan - Major	\$4,000.00
Commercial Design Standards	\$ 975.00

OWNER'S AFFIDAVIT

**STATE OF FLORIDA
COUNTY OF LAKE**

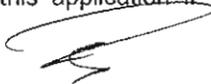
Before me, the undersigned authority, personally appeared Greg Nowak, who being by me first duly sworn on oath, deposes and says:

(1) That he/she is the fee-simple owner of the property legally described on page one of this application.

(2) That he/she desires approval for:

Mattress Firm - Lady Lake

(3) That he/she has appointed _____ to act as agent in his/her behalf to accomplish the above. The Owner is required to complete the APPLICANT'S AFFIDAVIT of this application if no agent is appointed to act in his/her stead.

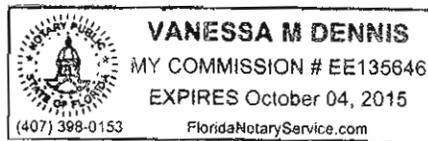


Affiant (Owner's Signature)

Greg A. Nowak, Manager

The foregoing instrument was acknowledged before me this 19 day of November, 2013, by Greg Nowak, who is personally known to me or who has produced _____ as identification and who did (did not) take an oath.

Vanessa M. Dennis
Notary Public



NOTE

All applications shall be signed by the owner of the property, or some person duly authorized by the owner to sign. This authority authorizing a person other than the owner to sign must be attached.

APPLICANT'S AFFIDAVIT

**STATE OF FLORIDA
COUNTY OF LAKE**

Before me, the undersigned authority, personally appeared Greg Nowak, who being by me first duly sworn on oath, deposes and says:

- (1) That he/she affirms and certifies that he/she understands and will comply with all ordinances, regulations, and provisions of the Town of Lady Lake, Florida, and that all statements and diagrams submitted herewith are true and accurate to the best of his/her knowledge and belief, and further, that this application and attachments shall become part of the Official Records of the Town of Lady Lake, Florida, and are not returnable.
- (2) That he desires approval for:
Mattress Firm - Lady Lake
- (3) That the submittal requirements for the application ~~have been~~ completed and attached hereto as part of this application.

[Signature]
Affiant (Applicant's Signature)

Greg A. Nowak, Manager

The foregoing instrument was acknowledged before me this 14 day of November, 2013, by Greg Nowak, who is personally known to me or who has produced _____ as identification and who did (did not) take an oath.

Vanessa M Dennis
Notary Public



Statement of Interest in Property and Authorization to File Petitions

Richard Sahakian, as authorized representative of TD Bank, N.A. ("TD") certifies that TD is the owner of "Lot 4" on that certain Home Depot Subdivision Plat, recorded in Plat Book 57, Page 22, of the Public Records of Lake County, Florida (the "Subject Property) and authorizes Van MF Lady Lake, LLC c/o Vantage Properties, as Contract Purchaser and Bohler Engineering, as agent for Contract Purchaser, to submit and process any and all development applications for the proposed development of the Subject Property to the Town of Lady Lake and related agencies on behalf of Contract Purchaser, and represent Contract Purchaser at any public hearings necessary for the approval and development of the proposed development of the Subject Property (it being understood that no permits or approvals shall be binding upon the Subject Property unless and until Contract Purchaser acquires the same from TD).

TD Bank, N.A.

By: *Richard Sahakian*

Name: Richard Sahakian

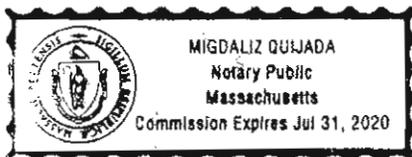
Title: Authorized Representative

305 Second Avenue
Waltham MA 02451
Mail Code MA2-152-000
Tel: 781-487-4111

Commonwealth of Massachusetts

County of Middlesex

The foregoing instrument was acknowledged before me this 12 day of November, 2013, by Richard Sahakian, as authorized representative for TD Bank, N.A., who is personally known to me or who has produced MA PL as identification and who did take an oath.



NOTARY PUBLIC:

Sign: *Migdaliz Quijada*

Print: Migdaliz Quijada

My Commission Expires: 07/31/2020

January 23, 2014

Ms. Wendy Then
Town of Lady Lake
409 Fennell Boulevard
Lady Lake, FL 32159

REFERENCE: Mattress Firm - MSJP 12/13-001

Dear Ms. Then,

Neel-Schaffer, Inc. (NSI) has reviewed the Construction Plans for the above referenced project dated January 22, 2014. Based on our engineering review of the site plans and attached documents provided, all comments have been satisfied.

If you have questions or comments, please do not hesitate to contact me at 772-770-4707.

Sincerely,



Frank Watanabe, P.E.
Senior Project Manager

Kerry Barnett Fire Safety Consulting

43951 CR 54E, Kathleen, FL 33849

**Fire Safety Inspector
Kerry Barnett**

**Cell (813) 778-4981
E-mail: k-l5122@peoplepc.com**

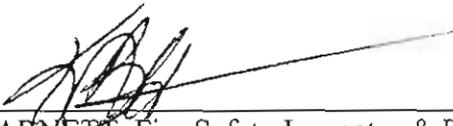
Plan Review #: 13-093
Project: Site Plan (Mattress Firm)
Location: Lady Lake
Address of Job: 867 N Hwy 27
Pages: 12 Misc Packets

Review For: Bohler Engineering
Contact: Gregory Roth
Telephone: 813-379-4100

December 7, 2013

I have received and reviewed the submitted site plan of a single story building with a designated use as mercantile occupancy for compliance with the Florida Fire Prevention Code, Lady Lake Land Development Code and any other applicable codes, standards, rules, and statutes. Comments pertaining to this review are noted below. At this time the project is cannot be approved until further information is received and/or the comments are addressed. Should the architect/engineer feel comments are not enforceable, he or she shall contact this authority to resolve before permit is issued.

1. Fire hydrants were not indicated on the plans. Hydrants shall be shown to help determine fire protection requirements.
2. A fire hydrant shall be located within 250 feet of the building based on Annex I of NFPA 1.
3. The building is a stand-alone single story building consisting of 4,020 square feet. The type of construction was not noted within the plans submitted to determine the water flow requirements for this project. However, based on Table 18.4.5.1.2 of NFPA 1, it is assumed that a water flow requirement for a building this size based on different types of construction noted would be 1500 gpm's @ 20 psi for 2 hours. Provide type of building construction.
4. Per Lady Lake LDC, Chapter 14, Section 9, additional hydrant(s) shall be installed if the fire flow cannot be met. A 1000 gpm credit is allowed for each hydrant; therefore additional hydrants may be required.
5. Addition requirements may be necessary once the above information is submitted.



KERRY BARNETT, Fire Safety Inspector & Plans Examiner

***Please be advised this review of plans submitted is a cursory review to assist the contractor in compliance with applicable fire safety codes. This review is not intended to be a final approval of the submitted plans. It is the contractor's sole responsibility to ensure that the plans are in complete compliance with all applicable NFPA codes State Statutes and local ordinances. In the event that further examination or site inspection reveals areas of non-compliance, it shall be the contractor's sole responsibility, at their sole expense to bring those areas in compliance. Kerry Barnett Fire Safety Consulting assumes no responsibility for the contractor's failure to be in compliance with all applicable NFPA codes, State Statutes and local ordinances.

Wendy Then

From: Beck, Christopher [CBeck2@wm.com]
Sent: Thursday, December 05, 2013 12:30 PM
To: Wendy Then
Subject: RE: Mattress Firm-MJSP 12/13-001

Wendy,

Dumpster location and size meets WM requirements.

Thanks,

Chris Beck
Wildwood Hauling
352-330-4546
352-267-9356

From: Wendy Then [mailto:wthen@ladylake.org]
Sent: Thursday, December 05, 2013 11:39 AM
To: Beck, Christopher
Subject: Mattress Firm-MJSP 12/13-001

Good Morning Chris,

Town Staff is in receipt of a Major Site Plan application for a Mattress Firm Store proposed to be developed at 867 N Hwy 27/441, an outparcel at the Home Depot Subdivision. Please find attached the site plan for your reference regarding Dumpster location. Please review and have comments to us on or before **Friday, December 27, 2013**, and let us know if any additional information is needed from this project to conduct your review.

Thank you for your expert assistance.

*Wendy Then, CFM
Town Planner
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159
352-751-1582
352-751-1514- Fax
Wthen@ladylake.org*

Note: Beginning October 7, 2013, our office hours will be Monday - Thursday 7:30 am - 6:00 pm

Fla. Stat. 668.6076 "Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing."

 Please think before you print.



MEMORANDUM

**GROWTH MANAGEMENT DEPARTMENT
TOWN OF LADY LAKE
409 FENNEL BOULEVARD
LADY LAKE, FL 32159
352-751-1512
352-751- 1514 (FAX)**

Date: December 5, 2013
To: Mark Jones, Building Official
From: Wendy Then
Re: Mattress Firm– MSJP 12/13-001

Please find enclosed a Major Site Plan for the proposed Mattress Firm Store. Please review and have comments to us on or before Friday, December 27, 2013, including confirmation of approval or denial. Let us know if you need other information associated with this project.

Thank you for your expert assistance.

NO COMMENTS FROM BUILDING
WJ

Wendy Then

From: Marcondes, Olga [omarcondes@lakecountyfl.gov]
Sent: Wednesday, December 11, 2013 2:12 PM
To: Wendy Then
Cc: Thad Carroll; Franco, Francis
Subject: RE: Mattress Firm-MSJP 12/13-001
Attachments: Lady Lake - Mattress Firm (LOS Inquiry).pdf

Good Afternoon Wendy;

The MPO has reviewed the Request for Exemption from a full traffic impact study submitted by Truckin Traffic, LLC in support of a proposed Mattress Firm and offer the following comments:

1. The project is located on the east side of US 441/US 27, south of Rolling Acres Rd. Access to the proposed development is located on the existing Home Depot Shopping Center on US 441/US 27. Build out of the project is estimated to be completed by 2014. The project consists of a 4,020 SF of retail space.
2. Trip generation was determined using the ITE Trip Generation, 9th Edition. The project is estimated to generate 20 daily trips, with 2 pm peak hour trips (1 entering and 1 exiting) and it qualifies for a Tier 1 exemption to submit a full traffic impact study.
3. Trip distribution, which was estimated using a manual method, was viewed and found to be reasonable.
4. A segment analysis was completed. The service volumes and E+C trips are based on the TMS Report posted October 25, 2013. Available capacity on each roadway segment was verified. **I have enclosed a copy of the Capacity Analysis for your files.**

The applicant has provided all necessary information to support the project and no further analysis is required. If you have any questions regarding my comments, please do not hesitate to contact me. **Please let us know if or when this project is approved so that we can record it and update the TMS database.**

Regards,

Olga V. Marcondes
Transportation Planner

LAKE~SUMTER MPO
1616 South 14th Street
Leesburg, Florida 34748
Ph: (352) 315-0170
Fx: (352) 315-0993

www.LakeSumterMPO.com

"Promoting Regional Transportation Partnerships."



Go Green: Please do not print this e-mail unless you really need to.

From: Wendy Then [<mailto:wthen@ladylake.org>]
Sent: Thursday, December 05, 2013 11:25 AM
To: Marcondes, Olga

Cc: Thad Carroll

Subject: Mattress Firm-MSJP 12/13-001

Good Morning Olga,

Town Staff is in receipt of a Major Site Plan application for a Mattress Firm Store proposed to be developed at 867 N Hwy 27/441, an outparcel at the Home Depot Subdivision. Please find attached a Traffic report submitted for this project as well as the site plan for your reference. Please review and have comments to us on or before Friday, December 27, 2013, and let us know if any additional information is needed from this project to conduct your review.

Thank you for your expert assistance.

*Wendy Then, CFM
Town Planner
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159
352-751-1582
352-751-1514- Fax
Wthen@ladylake.org*

Note: Beginning October 7, 2013, our office hours will be Monday - Thursday 7:30 am - 6:00 pm

Fla. Stat. 668.6076 "Under Florida law, e-mail addresses are public records. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing."



Please think before you print.

Project Name: Mattress Firm (MSJP 12/13-001)

Jurisdiction: Town of Lady Lake

Segment ID	Roadway	LEVEL OF SERVICE (LOS) - PROJECT CAPACITY INQUIRY															
		Segment		Adopted LOS	Adopted Capacity	Existing + Committed PM Peak Hour/Peak Direction				V/C Ratio	Available Capacity	Project Trip Distr (%)	Project Impact (%)				
		From	To			NB/EB	Project	Total	LOS					SB/WB	Project	Total	LOS
3670	US 27/US441	SUMMITT COUNTY LINE	GRIFIN AVENUE	D	3,320	1,490	1	1,491	C	1,651	0	1,652	C	0.51	1,652	50%	0.03%
3680	US 27/US441	SHIFFIN AVENUE	ALT US 441 / ALT US 27	D	2,000	1,379	1	1,380	C	1,447	1	1,448	C	0.73	500	100%	0.05%
3689	US 27/US441	ALT US 441 / ALT US 27	CR 406	D	2,000	1,278	0	1,278	C	1,416	1	1,417	C	0.71	583	50%	0.05%
3700	US 27/US441	CR 406	LAKE ELLA ROAD	D	2,000	1,561	0	1,561	C	1,685	1	1,686	C	0.80	404	50%	0.05%

Note: Existing + Committed Volumes are based on the Lake County TMS Report dated October 25, 2013.



November 19, 2013

Thad Carroll, Director
Growth Management Department
Town of Lady Lake
409 Fennell Boulevard
Lady Lake, FL. 32159

**Re: Mattress Firm - US 27, south of Rolling Acres Road
Tier 1 TIS - Request for Exemption Letter**

The purpose of this letter is to request an exemption to Lake-Sumter Metropolitan Planning Organization (MPO) requirement to submit a full Traffic Impact Study (TIS) for the aboved captioned outparcel development. In accordance the Lake-Sumter MPO TIS Guidelines, Section 3.2.1 the following information is provided in this letter:

- Purpose (also include grounds for exemption)
- Project Description
- Site Location/Site Plan
- Area of Influence/Study Area
- Trip Generation – Based on Guidelines Set Forth in Section 7
- Trip Distribution/Assignment – Required to determine availability of capacity, and, for Lake County projects, to update the Lake County Checkbook TCMS

Purpose:

The purpose of this TIS submittal is to support the approval of the site plan application for the Mattress Firm development that is planned to be constructed as an outparcel to the existing Home Depot shopping center development located on the east side of US 27, south of Rolling Acres Road, within the Town of Lady Lake. The grounds for this exemption request is due to the negligible number of net-new PM peak hour trips that the proposed development is anticipated to generate (i.e. 0-25 vph).

Project Description:

The description of the proposed Mattress Firm development is summarized in the bullet points below:

- Area Type - Urban
- Type of Development - Retail
- Land Use Code - ITE Land-Use 890 (Furniture Store)

- Size - 4,020 SF
- Location - outparcel to the existing Home Depot development located on the east side of US 27, south of Rolling Acres Road, within the Town of Lady Lake.
- Site Access – the proposed Mattress Firm will utilize the existing driveway connections to the Home Depot Shopping Center, no new access driveway(s) to the State or County roadway network are proposed. The location of the internal driveway connection to the Home Depot parking lot was approved and stubbed out when the Home Depot shopping center was constructed.
- Anticipated Opening/Buildout Year - Year 2014
- Analysis Period - PM peak-hour
- Source of Adopted Roadway Level of Service - Lake County Checkbook TCMS spreadsheet

Site Location/Site Access Plan:

The site location with respect the surrounding region is shown on Figure 1. The site plan is shown on Figure 2. As shown on Figure 2 this outparcel development will have one internal driveway connection to the existing Home Depot parking lot. No new access driveway(s) to the State or County roadway network are proposed.

Study Area/Area of Influence:

The study area/area of influence based for this development was determined in accordance with Section 7.2.4 of the MPO guidelines. As shown on Figure 1 study area/area of influence is 4.3 miles, which is one-half of the estimated average trip length for ITE Land-Use 890.

Trip Generation:

Based on the trip rates contained in the 9th Edition of the Institute of Transportation of Engineers (ITE) Trip Generation Manual, the proposed development is anticipated to generate 2 net-new trips during the PM peak hour of the adjacent street. The table below contains the detailed trip generation calculations.

PM PEAK HOUR TRIP GENERATION ESTIMATES

ITE Land-Use Category	ITE Land-Use (Code)	Independent Variable	ITE Rate	Size (SF)	Total Trips (2-way)	Pass-By Capture Rate	Net-New 2-Way Trips	Net-New IN	Net-New OUT
Furniture Store	890 ITE /R	Gross Sq. Feet	0.45	4,020	2	0%	2	1	1

Trip Distribution and Assignment:

The site traffic distribution was determined based on the existing travel patterns and the area roadway network. The site traffic distribution is summarized below:

Net-New	
To//From	Percentage
North	50%
South	50%

The table below provides the PM Peak Hour Site Traffic Assignment on the area roadway segments within the Town of Lady Lake.

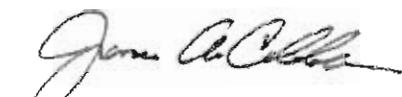
SIGNIFICANT IMPACT TEST - PM PEAK-HOUR (two-way)

Seg. No.	Road Name	Segment	No. of Lanes	LOS Std	LOS Capacity	Percent Site Traffic	Net-New Site Traffic	Site Traffic as % of Capacity
3670	US 441/US 27	Sumter County Line to Griffin Ave.	6D	D	3,020	50%	1.0	0.03%
3680	US 441/US 27	Griffin Ave. to ALT US 441/ALT US 27	4D	D	2,000	50%	1.0	0.05%
3690	US 441/US 27	ALT US 441/ALT US 27 to CR 466	4D	D	2,000	50%	1.0	0.05%
3700	US 441/US 27	CR 466 to Lake Ella Road	4D	D	2,000	50%	1.0	0.05%

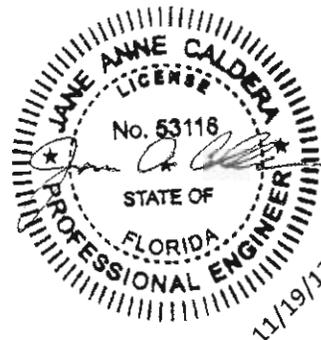
Source: Lake County TMC Segement Report - 2013 Level of Service

Please contact me if you have any questions or need additional information to approve this project.

Sincerely,
TRUCKIN TRAFFIC, LLC



Jane A. Caldera, P.E.
Principal Traffic Engineer



Cc: Greg Roth, P.E. Bohler Engineering

Attachments:
Figure 1
Figure 2

Site Location Map

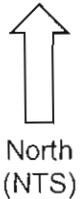
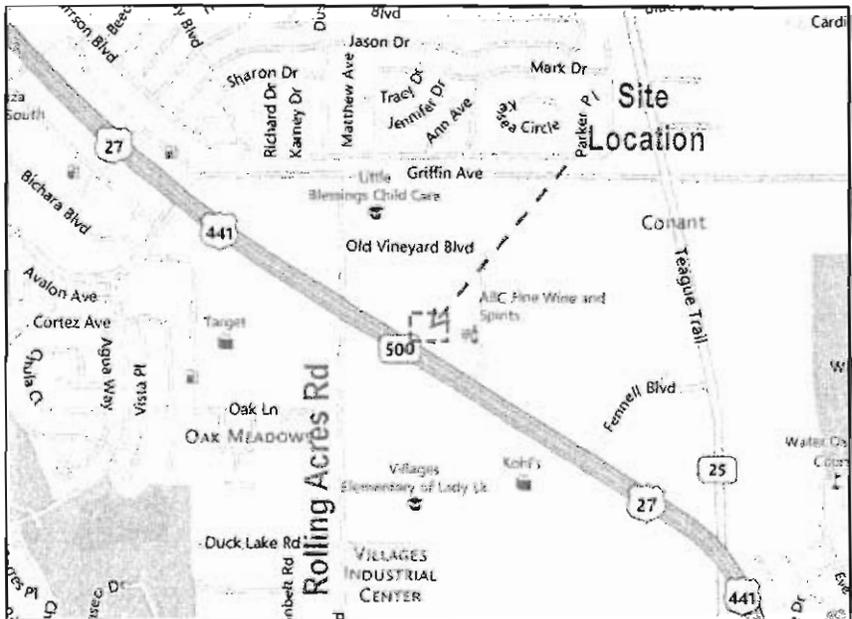
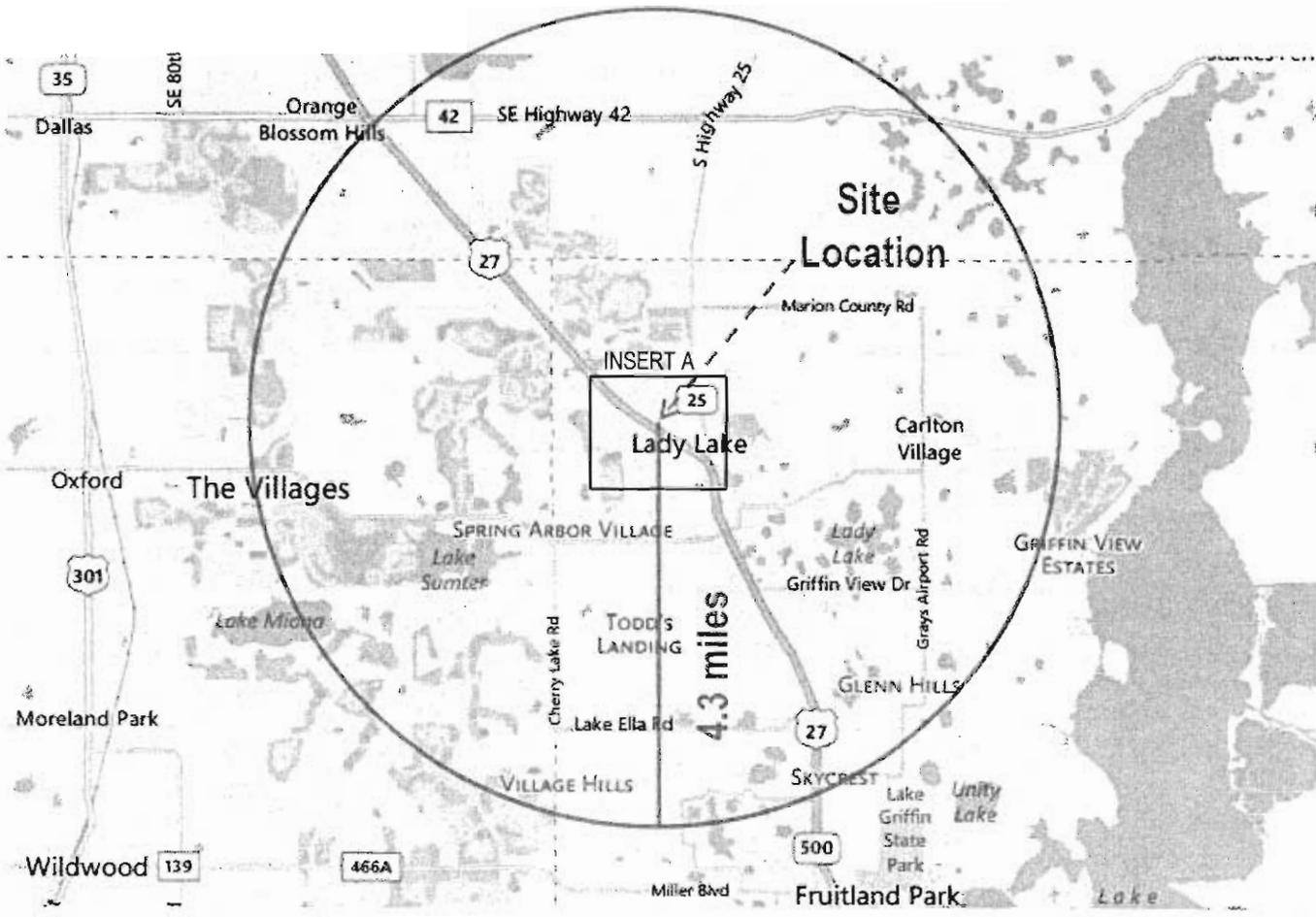
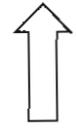


FIGURE 1

SITE ACCESS



North
(NTS)

Existing
Home Depot Parking Lot

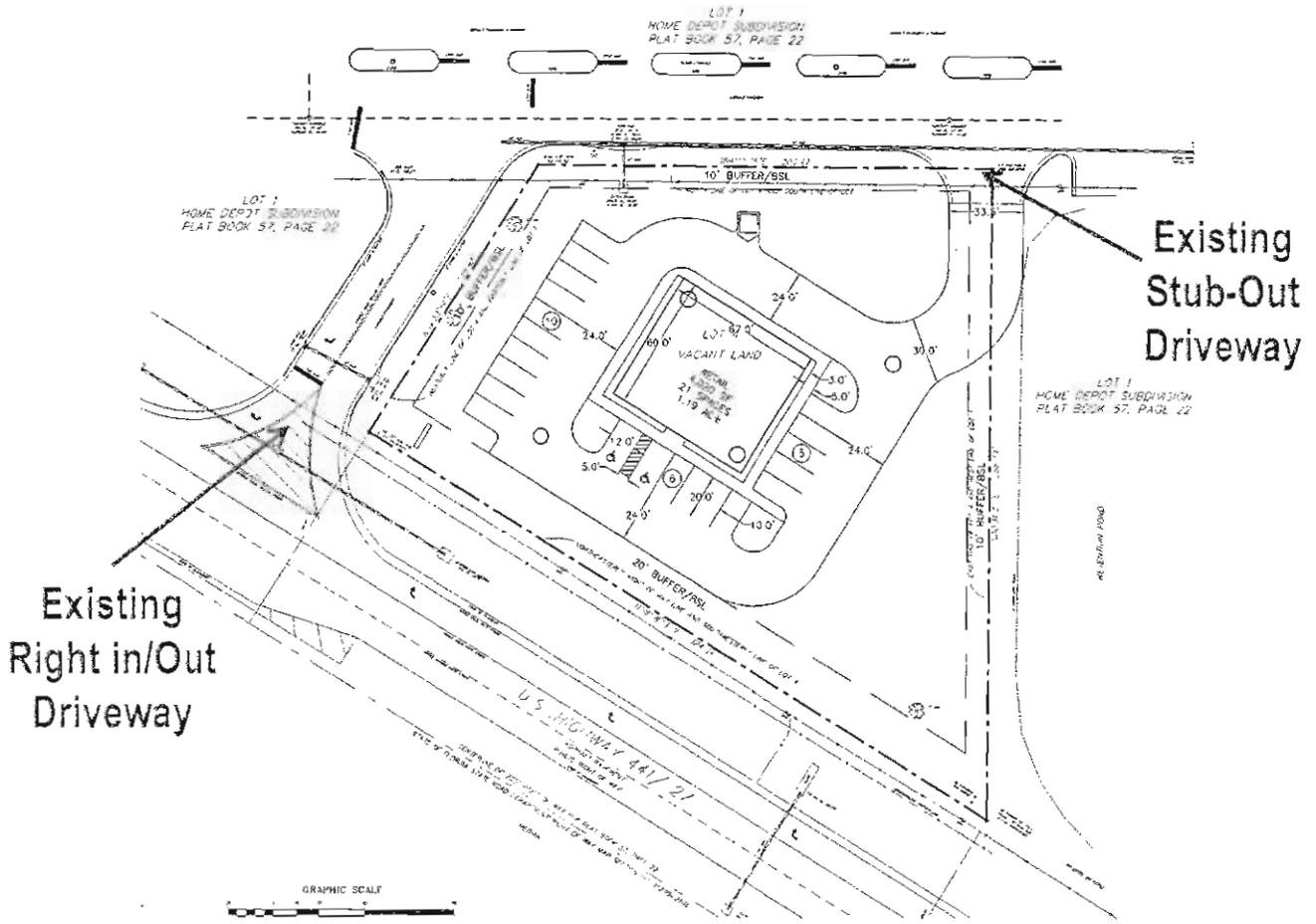


FIGURE 2

Wendy Then

From: Butch Goodman [bgoodman@LadyLakePW.org]
Sent: Monday, December 23, 2013 1:01 PM
To: Wendy Then
Cc: C.T. Eagle; Peggy Smith; Robert Barnes
Subject: Mattress Firm

Comments: E.R.Us based on 4,020 Sq ft Commercial Business L.D.Rs Pg A-4 Sec 17 we started a U.T Draft Quote we need a completed Utility Quote Application?
3 Water and 2 Sewer E.R.Us this includes 1 potable water for Irrigation as Reuse is required per L.D.Rs but may not be financially feasible? They will need to do a Tap and a Jack and Bore under Hwy 27/441for Reuse? They will need a waiver letter of request which demonstrates using Reuse is not financially feasible at this time? But will be utilized if it becomes financially feasible or the usage changes requiring Reuse to be utilized.
Water and Sewer connections will be made by contractor developer as well as Meter and Backflow installations per the Towns specifications.

Any Fire Flow or Fire Line Questions needs to be directed to the Fire inspector thru the Building Dept.

Thank you

Thomas " Butch" Goodman
Town of Lady Lake
Utilities Supervisor
136 Skyline Dr.
Lady Lake, Fl 32159

Phone: 352-751-1513
Fax: 352-751-1594
bgoodman@ladylakepw.org

ATTENTION: The new operating hours for the Public Works Department as of October 7th, 2013 will be Monday-Thursday, 7:00AM - 6:00PM. Offices will be closed on Friday's.

Please note: Under Florida law (Fla.Stat. 668.6076 - effect. 07-01-06), e-mail addresses are public records. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing.

Wendy Then

From: C.T. Eagle [cteagle@LadyLakePW.org]
Sent: Monday, January 06, 2014 1:57 PM
To: Tien Vo
Cc: Gregory Roth; Butch Goodman; Wendy Then; Thad Carroll; Peggy Smith; Brenda Brock
Subject: RE: Mattress Firm -867 N US HWY 27
Attachments: Reuse Water Waiver Request.pdf

Staff has reviewed the waiver request including the engineer's cost comparison for the referenced project. Staff recognizes the request for a waiver and would support approving the waiver at this time contingent upon agreement to the following stipulations to the waiver request. Town Staff can re-open/re-examine this waiver request in the event that:

1. The use of the building changes that would require more ERU's to be assigned
2. Another more economically feasible point of access into the Town's reuse water system is constructed in the future and available for connection.
3. Future expansions and/or modifications increasing the site and/or the building footprint.

Please let us know if you have any questions or comments.

Sincerely,

C. T. Eagle, Sr
Town of Lady Lake
Public Works Director
136 Skyline Dr.
Lady Lake, Fl 32159

Phone: 352-751-1526
Fax: 352-751-1595

cteagle@ladylakepw.org

ATTENTION: The new operating hours for the Public Works Department are Monday- Thursday, 7:00AM - 6:00PM. Offices will be closed on Friday's.

Please note: Under Florida law (Fla.Stat. 668.6076 - effect. 07-01-06), e-mail addresses are public records. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing.

From: Tien Vo [mailto:tvo@Thomaseg.com]
Sent: Friday, January 03, 2014 12:00 PM
To: C.T. Eagle
Cc: Gregory Roth
Subject: FW: Mattress Firm -867 N US HWY 27

Mr. Eagle,

Per phone conversation with you in referenced to the proposed Mattress Firm at 867 N. US Hwy 27, attached is the Reuse Water Waiver Request for your review and approval.

Thank you very much for your approval of this request. If you have any questions, please feel free to contact me or Greg Roth at 813-379-4100.

Tien Vo
Project Engineer



THOMAS ENGINEERING GROUP
4950 W Kennedy Blvd, Suite 600
Tampa, FL 33609

P: 813-379-4100

E: tvo@Thomaseg.com

www.ThomasEngineeringGroup.com

Please consider the environment before printing this e-mail

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January 3, 2014

Mr. C.T. Eagle, Sr.
Public Works Director
Town of Lady Lake
409 Fennell Blvd.
Lady Lake, FL 32159

**Project Name: Mattress Firm – 867 N U.S. Hwy 27
Reuse Water Waiver Request**

Mr. Eagle:

Mattress Firm is a proposed 4,020 square feet retail building located at 867 N. US Highway 27, Lady Lake, Florida 32159. Per Town of Lady Lake Land Development Regulations, the proposed development is required to use Reuse water for irrigation. On behalf of the developer, we hereby request a waiver from this requirement due to the following reasons:

The Reuse waterline is not physically available at this site. The nearest available Reuse waterline service to this project is located on the west side of US Highway 27 approximately 200 feet from the proposed development. This would require Jack & Bore under US Highway 27 and a tap for Reuse and would require a considerable financial cost to the developer to make this connection given the relatively small project size (1 ERU for irrigation). In addition, the Jack & Bore beneath US Hwy 27 would require additional permitting/approvals through FDOT, resulting in additional project costs and potential construction timing delays. Please find enclosed a sketch of the proposed development and the estimated cost for Reuse waterline connection.

We appreciate your consideration of this request. Should you have any questions or would like to discuss the project at any time during your review, please contact us at (813) 379-4100.

Sincerely,

THOMAS ENGINEERING GROUP



Gregory Roth, P.E., LEED AP

cc: File

APPENDIX A

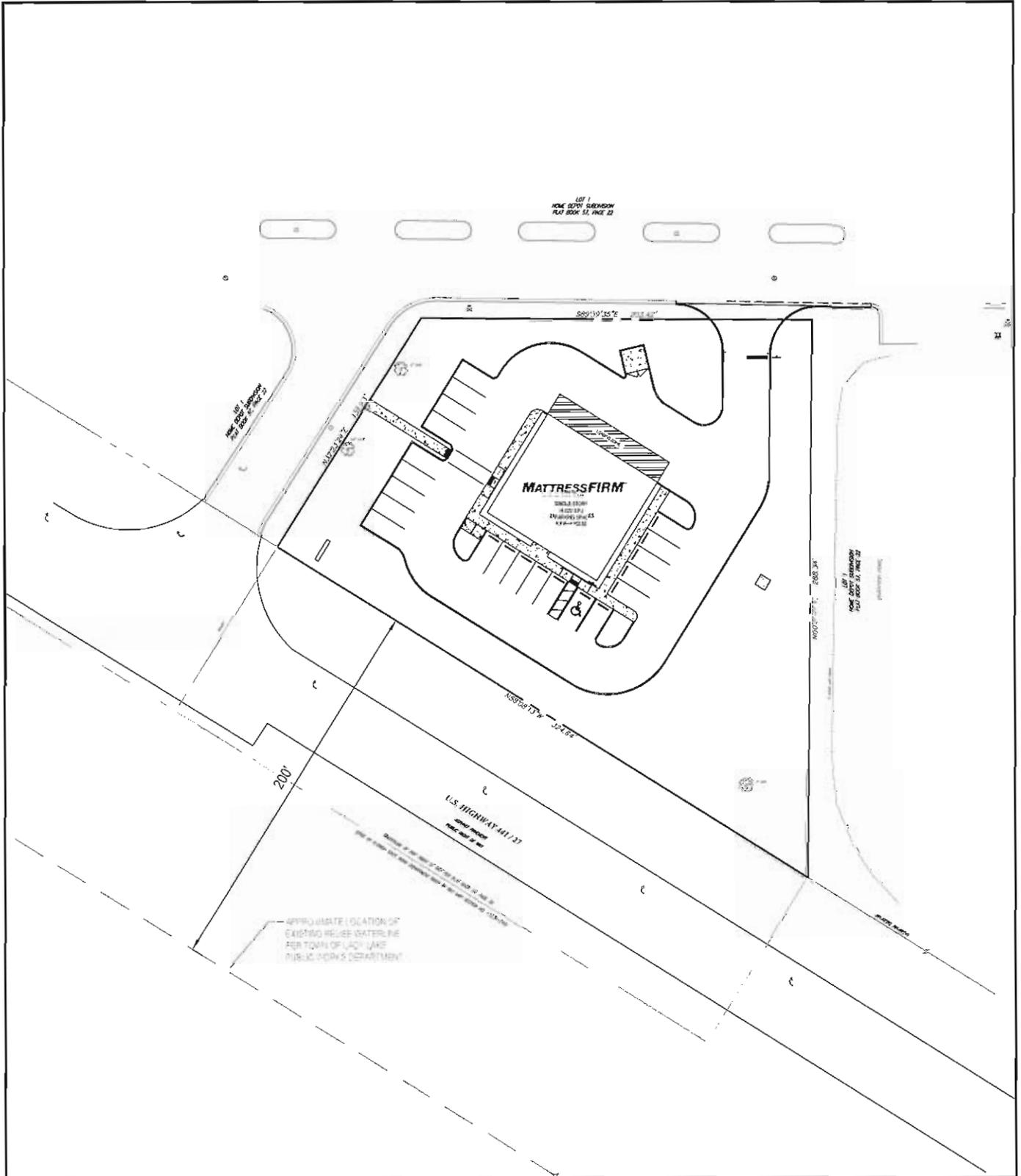
COST ESTIMATE FOR POTABLE WATER VS. REUSE FOR IRRIGATION

POTABLE WATER FOR IRRIGATION

Description	Unit	Quantity	Unit Cost	Total
2"x2" Tee	EA	1	\$7.50	\$7.50
2" Gate Valve	EA	1	\$550.00	\$550.00
2" HDPE	LF	7	\$12.00	\$84.00
				\$641.50

REUSE FOR IRRIGATION

Description	Unit	Quantity	Unit Cost	Total
Additional Survey, Utility Locates, and Design	LS	1	\$5,000	\$5,000
Wet Tap	EA	1	\$3,500.00	\$3,500.00
2" Gate Valve	EA	1	\$550.00	\$550.00
2" HDPE	LF	200	\$12.00	\$2,400.00
4" Casing Pipe, Jack & Bore	LF	120	\$180.00	\$21,600.00
				\$33,050.00



PROPOSED DEVELOPMENT

PROJECT: MATTRESS FIRM - LADY LAKE		 <small>CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS</small>	
AREA: LAKE COUNTY FLORIDA			
PROJECT NO: FT130138	APPENDIX: B		
PREPARED BY: FLJ	DATE: 11/21/2013		
CHECKED BY: GRR	SCALE: N.T.S.	4950 W KENNEDY BLVD, SUITE 600, TAMPA, FLORIDA 33609 - TEL: (813)379-4100	

Utility reserves the right to do site inspections and audits of said Water Facilities, Sewer Facilities, and Reuse Facilities at any given time without due notice to the Developer to determine if water, sewer, and reuse ERU allocations are correct. Based on the results of these audits and site inspections, Utility reserves the right to adjust amount of ERU allocations and assess applicable fees accordingly.



UTILITY QUOTE Residential _____ Commercial X Irrigation X Reuse _____

Town of Lady Lake, 409 Fennell Boulevard, Lady Lake, Florida 32159 USA
 Utility Customer Service (352) 751-1525 Public Works Administration (352) 751-1526

Project Name: Mattress Firm – Lady Lake Store Legal Street Address: 867 N. US Hwy 27 (AK #3B46606)

Applicants Name: Greg Roth/Bohler Engineering Phone Number: (813) 379-4100

Notes: Water, sewer, and reuse available (Reuse may not be financially feasible, will require a jack-n-bore under Hwy 27/441. 2 potable water ERU's, 2 sewer ERU's, 1 potable irrigation ERU)

*Residential and Commercial Properties are required to meet standard specifications set by the Town. Commercial Properties are required to purchase and install a RPZ or a dual check backflow device depending on field inspection. Commercial Properties are required to complete water & sewer taps and install meters. Commercial Properties are required to purchase and install a Neptune Radio Read Meter with a meter box and curb stops.

	TOTAL NUMBER OF ERU's <u>3</u>			REV. CODE
IS MUNICIPAL WATER AVAILABLE?	<u>X</u> Yes	<u> </u> No		
IS MUNICIPAL SEWER AVAILABLE?	<u>X</u> Yes	<u> </u> No		
IS MUNICIPAL REUSE AVAILABLE ?	<u>X</u> Yes	<u> </u> No		
WATER IMPACT FEES	<u>3</u> ERU's	1,499.00 each		
		Commercial	\$ <u>4497.00</u>	<u>WI</u>
		Residential	\$ _____	<u>WR</u>
WATER TAP IN FEE	<u>N/A</u> TAP w/5/8" meter	505.00 each	\$ _____	<u>WT</u>
WATER DEPOSIT:				
Commercial Owner	<u>3</u> ERU's	100.00 each	\$ <u>300.00</u>	<u>PD</u>
Contractor	<u> </u> ERU's	150.00 each	\$ _____	<u>PD</u>
Residential Owner	<u> </u> ERU's	75.00 each	\$ _____	<u>PD</u>
METER INSTALLATION	<u>N/A</u> TBD	325.00 each	\$ _____	<u>WM</u>
WATER TURN ON FEE	<u>2</u> FEE	25.00 each	\$ <u>50.00</u>	<u>WC</u>
WATER INSPECTION FEE	<u>2</u> FEE	50.00 each	\$ <u>100.00</u>	<u>WF</u>
JACK AND BORE:				
Cost Plus Overhead	<u> </u>	350.00 estimate	\$ _____	<u>JB</u>
SEWER IMPACT FEES	<u>2</u> ERU's	3,172.00 each		
		Commercial	\$ <u>6344.00</u>	<u>SI</u>
		Residential	\$ _____	<u>SR</u>
SEWER TAP IN FEE: Cost Plus Overhead	<u> </u>	500.00 minimum	\$ _____	<u>ST</u>
SEWER DEPOSIT:				
Commercial Owner	<u>2</u> ERU's	100.00 each	\$ <u>200.00</u>	<u>PD</u>
Contractor	<u> </u> ERU's	150.00 each	\$ _____	<u>PD</u>
Residential Owner	<u> </u> ERU's	75.00 each	\$ _____	<u>PD</u>
SEWER INSPECTION	<u>1</u> FEE	50.00 each	\$ <u>50.00</u>	<u>4G</u>
REUSE IMPACT FEES	<u>TBD</u> ERU's	292.00 each		
		Commercial	\$ <u>TBD</u>	<u>R7</u>
		Residential	\$ _____	<u>R8</u>
REUSE DEPOSIT:				
Commercial Owner	<u> </u> ERU's	100.00 each	\$ _____	<u>PD</u>
Contractor	<u> </u> ERU's	150.00 each	\$ _____	<u>PD</u>
Residential Owner	<u> </u> ERU's	75.00 each	\$ _____	<u>PD</u>
METER INSTALLATION	<u> </u> TBD	325.00 each	\$ _____	<u>WM</u>
REUSE CONNECTION FEE	<u> </u> FEE	25.00 each	\$ _____	<u>R9</u>
REUSE INSPECTION FEE	<u> </u> FEE	50.00 each	\$ _____	<u>4R</u>
JACK AND BORE:				
Cost Plus Overhead	<u> </u>	350.00 estimate	\$ _____	<u>JB</u>
TOTAL BALANCE DUE			\$ <u>11,541.00</u>	

Quote expires 180 days

Quote by: Greg Roth 12-23-13

Date: _____

Verified by: _____

Wendy Then

From: Land, Logan [Logan.Land@dot.state.fl.us]
Sent: Wednesday, January 15, 2014 11:36 AM
To: Wendy Then
Subject: FW: Mattress Firm-Lady Lake

Hi Wendy

Here is some information I had for the EOR for this project. I apologize for not responding to you earlier email requesting comment but thought I had copied you in on the below email. This project will not require a driveway or drainage connection permit as it will utilize the existing connection to SR 500 and tie into the master drainage system for this development.

Thank you for the information you had sent and the opportunity to review this project.

Enjoy your day.

Logan Land
Permits Manager
Leesburg Operations
1405 Thomas Ave. Leesburg, Fl. 34748
(352) 326-7718 FAX (352) 326-7787
e-mail - logan.land@dot.state.fl.us

From: tvo@bohlereng.com [mailto:tvo@bohlereng.com]
Sent: Tuesday, November 12, 2013 12:18 PM
To: Land, Logan
Subject: RE: Mattress Firm-Lady Lake

Thank you very much for this info. You have a wonderful day.

From: Land, Logan [mailto:Logan.Land@dot.state.fl.us]
Sent: Tuesday, November 12, 2013 11:01 AM
To: Tien Vo
Subject: RE: Mattress Firm-Lady Lake

Tien,

Here is a copy of the proposed 6 lane project. The roadway will essentially be in the same place on this side on SR 500/ US 441 and the existing connection will be rebuilt in the same location.

If you should have any questions please let me know.
Thanks.

Logan Land
Permits Manager
Leesburg Operations
1405 Thomas Ave. Leesburg, Fl. 34748
(352) 326-7718 FAX (352) 326-7787
e-mail - logan.land@dot.state.fl.us

From: tvo@bohlereng.com [<mailto:tvo@bohlereng.com>]

Sent: Monday, November 11, 2013 8:18 AM

To: Land, Logan

Subject: Mattress Firm-Lady Lake

Logan,

We are proposing to construct a 4,020 SF Mattress Firm building on an outparcel of the Home Depot Center on U.S. Highway 441/27 and Second Street, Lady Lake, Lake county. Per the pre-application meeting with Town of Lady Lake, they mentioned that DOT is proposing to widen U.S. Highway 441/27. I just wonder if we could have a copy of the Layout Plan so that we can design accordingly. A copy of our concept plan is attached for your use. If you have any questions, please feel free to contact me at 813-379-4100 ex. 2011.

We've Moved!

Please note our new address below:

Tien Vo



Bohler Engineering

4950 W. Kennedy Blvd., Suite 600

Tampa, FL 33609

Serving the East Coast

Office: 813-379-4100

Email: tvo@bohlereng.com

www.BohlerEngineering.com

Please consider the environment before printing this e-mail

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Tien Vo

From: Judy, Dennise [Dennise.Judy@dep.state.fl.us]
Sent: Monday, January 06, 2014 2:39 PM
To: Tien Vo; DEP_CD
Subject: RE: FDEP Wastewater Permit Determination for Mattress Firm - 867 N US Highway 27

Connection of a single building to a gravity sewer is exempt from permitting, per Chapter 62-604, FAC. No wastewater permit is required.

Regards, Dennise

Dennise Judy, CPM
Program Manager
Wastewater Permitting

407-897-4154

From: Tien Vo [<mailto:tvo@Thomaseg.com>]
Sent: Monday, January 06, 2014 2:22 PM
To: Judy, Dennise; DEP_CD
Subject: FDEP Wastewater Permit Determination for Mattress Firm - 867 N US Highway 27

Hi Dennise,

The proposed Mattress Firm consists of construction of a 4,020 square foot retail building located at 867 N. US Highway 27, Lady Lake, Florida, and Lake County. This project is part of the master development and sanitary sewer service is provided onsite. The proposed Mattress Firm proposes to construct a 6" gravity sewer line and connect to the existing sanitary sewer line provided onsite to serve the proposed building. Please confirm if FDEP Wastewater Permit is required for this project. A Utility Plan is attached for your review and determination.

Thank you so much for your assistance with this project. If you have any questions, please feel free to contact us at 813-379-4100.

Tien Vo
Project Engineer


THOMAS ENGINEERING GROUP
4950 W Kennedy Blvd, Suite 600
Tampa, FL 33609

P: 813-379-4100
E: tvo@Thomaseg.com
www.ThomasEngineeringGroup.com

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Please take a few minutes to share your comments on the service you received from the Department by clicking on this link. [DEP Customer Survey](#).

Tien Vo

From: Villareal, Daissan A. [Daissan.A.Villareal@dep.state.fl.us]
Sent: Tuesday, January 07, 2014 11:16 AM
To: Tien Vo
Cc: Shine, Caroline
Subject: FW: FDEP Water Permit Determination for Mattress Firm - 867 N US Highway 27
Attachments: Utility Plan.pdf

No permit is required for the proposed work, provided the two inch line from its point of connection to the existing main up to the location of the meter will never be tapped or extended in the future. Attached is the drawings stamped no permit is required.

Thank you,
Daissan A. Villareal, P.E.
Florida Department of Environmental Protection
Drinking Water Permitting
3319 Maguire Boulevard, Suite 232
Orlando, FL 32803-3767
O: 407-897-4129
daissan.a.villareal@dep.state.fl.us

From: Shine, Caroline
Sent: Tuesday, January 07, 2014 11:07 AM
To: Villareal, Daissan A.
Subject: FW: FDEP Water Permit Determination for Mattress Firm - 867 N US Highway 27

Can you look at this real quick and get back to me or Mr. Vo/cc me?

Thank you,

Caroline Shine, Environmental Administrator
Drinking Water/UIC/Groundwater Permitting
FDEP, Central District
3319 Maguire Boulevard, Suite 232
Orlando, Florida 32803
Caroline.Shine@dep.state.fl.us
O: 407-897-2927

From: Tien Vo [mailto:tvo@Thomaseg.com]
Sent: Monday, January 06, 2014 4:08 PM
To: Shine, Caroline; DEP_CD
Subject: FDEP Water Permit Determination for Mattress Firm - 867 N US Highway 27

Hi Caroline,

The proposed Mattress Firm consists of construction of a 4,020 square foot retail building located at 867 N. US Highway 27, Lady Lake, Florida, and Lake County. This project proposes to construct a 2" water line and connect to the existing

12" water main along US Highway 27 to serve the proposed building. Please confirm if FDEP Water Permit is required for this project. A Utility Plan is attached for your review and determination.

Thank you so much for your assistance with this project. If you have any questions, please feel free to contact us at 813-379-4100.

Tien Vo
Project Engineer



THOMAS ENGINEERING GROUP
4950 W Kennedy Blvd, Suite 600
Tampa, FL 33609

P: 813-379-4100

E: tvo@Thomaseg.com

www.ThomasEngineeringGroup.com

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Please take a few minutes to share your comments on the service you received from the Department by clicking on this link. [DEP Customer Survey](#).



St. Johns River Water Management District

Hans G. Tanzler III, Executive Director • David Dewey, Maitland Service Center Director

601 South Lake Destiny Road, Suite 200 • Maitland, FL 32751 • (407) 659-4800
On the Internet at floridaswater.com.

December 23, 2013

Gregory Robert Roth, P.E.
Bohler Engineering, LLC
4950 W Kennedy Blvd, Suite 600
Tampa, FL 33609

RE: Mattress Firm - Lady Lake, Application No. IND-069-94056-7
(Please reference application number on all correspondence.)

Dear Mr. Roth:

The St. Johns River Water Management District is in receipt of your Individual Environmental Resource Permit application. Upon preliminary review of the proposed project, the following technical information is required to sufficiently review the possible impacts the project may have on the surrounding area. This information is being requested pursuant to the authority vested in the St. Johns River Water Management District under subsection 373.413(2), Florida Statutes, 62-330, Florida Administrative Code.

In order to expedite the review of your application, please use the application number referenced above and respond electronically through e-Permitting at floridaswater.com/permitting or submit all requested information to the District.

1. Pond C of the master stormwater management system for which the proposed project will connect to has been constructed; however, the as-built certification has not been received. The District recently contacted Home Depot in November, 2013 and requested that this certification be submitted. Please submit this form so that the system may be converted to the operational phase or provide a recent site inspection (Form 62-330.311(1) – Operation and Maintenance Inspection Certification) certifying that Pond C of the master system is currently functioning as designed. [62-330.310; 62-330.311, F.A.C.]

Please be aware, that suggestions or other direction provided by District staff are offered to assist applicants in complying with District rules. However, applicants bear the burden of demonstrating that their application meets the applicable rule requirements. Although District staff may provide suggestions to applicants that would allow staff to recommend approval of an application to the District Governing Board or senior staff, the final decision regarding the issuance or denial of a permit is up to the District Governing Board or senior staff. Applicants are hereby advised that the Governing Board and senior staff are not bound by previous statements or recommendations of District staff regarding an application.

GOVERNING BOARD

John A. Miklos, CHAIRMAN
ORLANDO

Maryam H. Ghyabi, VICE CHAIRMAN
ORMOND BEACH

Fred N. Roberts, Jr., SECRETARY
OCALA

George W. Robbins, TREASURER
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Douglas C. Bournique
VERO BEACH

Douglas Burnett
ST AUGUSTINE

Lad Daniels
JACKSONVILLE

Chuck Drake
ORLANDO

W. Leonard Wood
FERNANDINA BEACH

If the applicant desires to dispute the necessity for any information requested on an application form or in a letter requesting additional information, he or she may, pursuant to 373.4141, F.S, request that District staff process the application without the requested information. If the applicant is then unsatisfied with the District's decision regarding issuance or denial of the application, the applicant may request a section 120.569, F.S. hearing pursuant to Chapter 28-106 and section 40C-1.1006, F.A.C.

Please be advised, pursuant to Section 5.5.3.5 A.H., Vol. I, the applicant shall have 90 days from receipt of a request for additional information regarding a permit or license application undergoing review by the District to submit that information to the District. If an applicant requires more than 90 days in which to complete an application, the applicant may notify the District in writing of the circumstances and for good cause shown, the application shall be held in active status for additional periods commensurate with the good cause shown. Any application which has not been technically completed within the given time period following a request for additional information by the District shall be recommended for denial at the next regularly scheduled Governing Board meeting. Denial of an application due to failure to submit requested additional information shall be a denial without prejudice to applicant's right to file a new application.

In addition, no construction shall begin on the proposed project until a permit is issued by the St. Johns River Water Management District. This is pursuant to Section 62-330.020, F.A.C., which states in relevant part, "...a permit is required prior to the construction, alteration, operation, maintenance, removal, or abandonment of any new project..."

If you should have questions, please contact Sandy Joiner at (407) 659-4871.

Sincerely,



Sandra J. Joiner, P.E.
Senior Professional Engineer

cc: BRS – RAIL; Marjorie Cook; Allyson Grosmaire, David Dewey

TD Bank, N.A.; Richard Sahakian
305 Second Ave; Waltham MA 02451 USA

Van MF Lady Lake, LLC; Vanessa M Dennis
400 Carillon Pkwy Ste 230; Saint Petersburg FL 33716 USA

**TOWN OF LADY LAKE
APPLICATION FOR CONCURRENCY DETERMINATION**

1. Purpose for Concurrency Determination: (check one)

Comprehensive Plan Land Use Amendment
 Preliminary/Final Subdivision Approval
 Rezoning
 Site Plan Approval
 Other

2. Applicant: Van MF Lady Lake, LLC c/o Vantage Properties
Address: 400 Carillon Parkway, Suite 230, St. Petersburg, FL 33716
Telephone: (727) 302-8040 E-Mail: _____

3. Owner: TD Bank, N.A.
Address: 305 Second Avenue, Waltham, MA 02451
Telephone: (781) 487-4111 E-Mail: _____

4. Property Address: 867 N. US Hwy 27, Lady Lake, FL

5. Alt. Key #: 3846606 6. Total Acreage: 1.19

7. Existing Zoning: HC (Heavy Commercial) 8. Proposed Zoning: HC

9. Existing Land Use: Vacant 10. Proposed Land Use: Retail

11. Residential Lots/Units: _____ 12. Non-Resident, Gross Sq. Ft.: 4,020

13. Method of Wastewater Treatment:
a. Septic Tank: _____ b. Central Sewer: c. Other: _____
County Permit: _____ County #: _____

14. Wastewater Flow Rates:*
ERU Determination Per Chapter 14, Appendix A-A: 2 ERUS x 250 = 500 GPD

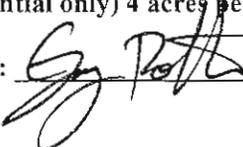
15. Water Usage:*
ERU Determination Per Chapter 14, Appendix A-A: 3 ERUS x 250 = 750 GPD

16. Solid Waste: (3.39 pounds per capita, per day): 3.39 x 10 = 33.9 Pounds

17. Traffic Analysis: Name and Functional Classification of roadways adjacent to the property, the Average Daily Trip Generation and Average Daily Peak Hour Generation expected from this development (please refer to the Lake-Sumter MPO Traffic Analysis Guideline):
US Hwy 27 (Arterial) (Refer to Traffic Impact Statement)

18. Population (residential only) 1.86 persons per household: _____ Persons

19. Recreation (residential only) 4 acres per 1,000 residents: _____ Acres

Signature of Engineer:  Date: 12/3/13

* If circumstances apply where additional Water or Wastewater Capacity beyond minimum ERU based GPD is requested, please provide a justification letter with supporting calculations and documentation. At no time will the Town reduce Water or Wastewater Capacity request below the minimum ERU based GPD.



APPLICATION FOR UTILITY QUOTE

Town of Lady Lake, 409 Fennell Boulevard, Lady Lake, Florida 32159 USA
Utility Customer Service (352) 751-1525 Public Works Administration (352) 751-1526

Project Name: Mattress Firm - Lady Lake Alias/FKA (if applicable): _____

Project Location Address: 867 N. US Hwy 27, Lady Lake, FL Alternate Key #: 3846606

Project Point of Contact*: Greg Roth Company: Bohler Engineering

Phone Number: (813) 379-4100 E-Mail Address: groth@bohlereng.com

Name of Individual Completing this Application: Greg Roth Date: 11/26/13

**All correspondence and questions from Town Staff will be directed solely to this individual*

Property Owners Name: TD Bank

Address: 305 Second Avenue City/State/Zip Waltham, MA 02451

Fax #: _____ Phone Number: (781) 487-4111 E-Mail Address: _____

Tenants Name (if applicable): Mattress Firm

Legal Street Address: _____ City/State/Zip _____

Fax #: _____ Phone Number: _____ E-Mail Address: _____

Type of Project: Residential Commercial Irrigation Square Footage/Units: 4,020 SF

Occupant Information: Owner Occupied Leased/Rented

Utility Account will be Established and Billed in the name of the Following:

Name: Mattress Firm Phone: _____

Address: 827 N. US Hwy 27 City/State/Zip Lady Lake, FL

Estimated Consumption* (ERUs): Water (Potable) 3 Sewer 2 Reuse _____

**Calculations shall be based upon the Specifications of the Land Development Regulations, Chapter 14, Appendix A. If consumption amounts being proposed differ from calculations resulting from the figures as supplied by the ERU matrices, please attach a justification letter from a professional engineer as to why lesser quantities, or greater quantities, are being sought for the project.*

Growth Management Personnel Verification of Completed Form: Name: _____ Date: _____

Property Record Card

General Information

Alternate Key: 3846606	Parcel: 08-18-24-080000000400
Owner Name: TD BANK NA	Millage: 00LL (Lady Lake) : 17.6629
Owner Address: C/O ENTERPRISE REAL ESTATE 380 WELLINGTON ST TOWER B 12TH FL LONDON ONTARIO N6A 5B5 CANADA	Property Location: 867 NORTH HIGHWAY 27/441 LADY LAKE FL 32159
Legal Description: LADY LAKE, HOME DEPOT SUB LOT 4 PB 57 PG 22 ORB 3972 PG 2235	

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Just Value
1	VACANT COMMERCIAL (1000)	0	0		51868	SF	\$0.00	\$622,416.00

Miscellaneous Improvements

There is no improvement information to display.

Sales History

O.R. Book / Page	Sale Date	Instrument	Q/U	Vac./Imp.	Sale Price
3050 / 622	12/15/2005	WD	Q	V	\$995,000.00
3972 / 2235	10/22/2010	QC	M	V	\$3,295,000.00

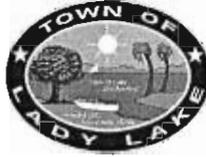
Value

Total Just Value:	\$622,416.00
Assessed Value: =	\$622,416.00
Total Exempt Value: -	\$0.00
Total Taxable Value: =	\$622,416.00
Millage Rate: [?] x	0.0176629
Base Ad-Valorem Tax: =	\$10,993.68
Non-Exempt School Levies: +	\$0.00
Estimated Ad-Valorem Tax: =	\$10,993.68

* The just values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes. The amounts shown may not include all exemptions. The estimated tax totals do not reflect Non-Ad Valorem assessments. (Fire Fees, Solid Waste, etc.) Please consult the [Tax Collector](#) for actual taxation amounts.

Truth In Millage (TRIM) Notice

- [Notice of Proposed Property Taxes & Proposed or Adopted Non-Ad Valorem Assessments](#)



TECHNICAL REVIEW COMMITTEE
Meeting of January 7, 2014

TO: Technical Review Committee
FROM: Wendy Then, Town Planner
SUBJECT: Mattress Firm MJSP 12/13-001
DATE: December 26, 2013

SUMMARY:

Applicant Van MF Lady Lake, LLC has submitted a site plan for the construction of a one-story single-use development consisting of 4,020 square feet of furniture space area. The parcel is approximately 1.19 +/- acres of land located at 867 N. Hwy 27/441; property being an outparcel of the Home Depot Subdivision. The site plan was reviewed to determine if it is in compliance with the Land Development Regulations (LDRs) including parking, setbacks, landscaping, engineering, environmental protection and commercial design standards.

The property is zoned "HC" Heavy Commercial which permits the development and construction of the proposed project. The Future Land Use Map designation for the site is RET (Commercial General- Retail Sales & Services). The requested use is consistent with the directives of the Comprehensive Plan and adopted Land Development Regulations.

GENERAL INFORMATION

The engineering plans submitted, consisting of eight (8) sheets, are drawn on 24"x36" pages and certified by Gregory Robert Roth, P.E. of Bohler Engineering dated December 4, 2013. The landscaping and irrigation plans submitted, consisting of two (2) sheets, are drawn on 24"x36" and certified by Jason E. Rinard, Registered Landscape Architect with Hardeman Kempton & Associates, Inc., dated December 4, 2013.

	General Requirements	Meets Criteria	Outstanding Issues
A)	Name of project.	X	
B)	General statement of intended use of site.	X	
C)	Legal description of the property and size of parcel in acres or square feet.	X	
D)	Name and address of owner.	X	

E)	Name, address and phone number of owner's agent.	N/A	
F)	Name, address, signature and registration of the professionals preparing the plans.	X	
G)	Date, north arrow and scale shall be designated and where appropriate, the same scale shall be used on all sheets.	X	
H)	Vicinity map showing relationship of proposed development to the surrounding streets and thoroughfares, shall be at a scale no smaller than one inch equals five thousand two hundred eighty feet (1" = 5,280' or 1" = Mile).	X	
I)	Linear dimensions of the site.	X	
J)	Existing topography with a maximum of one (1) foot contour intervals for the proposed site.	X	
K)	Finished grading elevations.	X	
L)	Zoning of the site and of all adjacent parcels.	X	
M)	All existing and proposed building restriction lines (i.e., highway setback lines, easements, covenants, rights-of-way and building setback lines).	X	
N)	Percent of open space of site.	X	
O)	Location of proposed signs.	X	
	Building and Structure Requirements	Meets Criteria	Outstanding Issues
A)	Existing and proposed structures.	X	
B)	Intended use.	X	
C)	Number of stories.	X	
D)	Height of building(s).	X	
E)	Number of dwelling units and density.	N/A	
F)	Projected number of employees, if applicable.	N/A	
G)	If restaurant, show number of seats and occupancy load.	N/A	
H)	Square footage for proposed development, i.e., gross square footage, non-storage area, square footage of each story, gross square footage of sales area, etc.	X	
I)	Photograph or sketch of proposed sign with dimensions and material type.	X	
J)	Compliance with Commercial Design Standards (Chapter 20).		X
	Street, Sidewalks, Driveways, Parking Areas and Loading Spaces	Meets Criteria	Outstanding Issues
A)	Engineering plans and specifications for streets, alleys, sidewalks and driveways to include soil borings, if necessary.	1	
B)	All parking spaces delineated including bicycle.	X	
C)	Number of parking spaces.	X	

D)	Number and location of handicapped spaces.	X	
E)	Number of square feet of paved parking and driveway area.	1	
F)	Surface materials and cross-section of proposed paved areas.	1	
G)	Fire lanes per the Standard Fire Prevention Code adopted in the Building and Fire Codes chapter.	1	
H)	Description/location of proposed driveway(s) and median cut(s).	1	
I)	Internal traffic control circulation plan, including directional arrows and signs to direct traffic flow, as necessary (Please see comment 5 for Sheet C-4).		1
J)	Location of traffic-control signs and signalization devices, if required.	1	
K)	Show the truck turning template for delivery and garbage trucks	1	
	Drainage and Storm water	Meets Criteria	Outstanding Issues
A)	Soil classifications, cross-sections and details of proposed retention/detention ponds, swales, berms, etc., as required by SJRWMD (Please see Comment 6 for Sheet C-5).		1
B)	Size, material and location of storm water structures and pipes.	1	
C)	Indicate flood elevation for 100-year flood and any other information required in Environmental Regulations chapter.	1	
D)	Geotechnical Report (Please see comment 5 for Sheet C-5).		1
D)	Drainage		
	Proposed Water, Sewer, and Solid Waste Facilities	Meets Criteria	Outstanding Issues
A)	Size, material, specifications and location of water mains, valves, services and fire hydrants.	1	
B)	Size, material, specifications and location of sanitary sewer lines and laterals with submittal of a profile, if necessary.	1	
C)	Size and location of septic tank and drainfield, if applicable.	1	
D)	Grease separation system, if applicable: Size, location and materials.	1	
E)	Location(s) and access provisions for refuse service, including pad, screening, fencing and landscaping, if applicable. (Please see comment 3 for Sheet C-4).		1
	Landscaping (Chapter 10)	Meets Criteria	Outstanding Issues

A)	Landscaping plan and provisions for maintenance including size, type and location of all landscaping, screens, walls, fences and buffers per the requirements in the Landscaping and Tree Protection chapter. If water efficient landscaping is used, the information required in that chapter should be included.		X
B)	Irrigation system plan.	X	
	Environmental Protection	Meets Criteria	Outstanding Issues
A)	Natural features such as water bodies, wetlands, native vegetative communities, etc., as required in the Environmental Regulations chapter.	X	
B)	Conservation easements per the requirements.	X	
C)	Provisions for the adequate control of erosion and sediment, including the location and description of the methods to be utilized during and after all phases of clearing, grading and construction.	X	
	Additional Information	Meets Criteria	Outstanding Issues
1)	A certificate of concurrency or evidence of application for a certificate.	X	
2)	Drainage calculations as required in the Storm water Management chapter.	1	
3)	Fire flow calculations, if applicable.	1	
4)	Lift station calculations, where required.	N/A	
5)	Copy of HRS permit, where required (Please see comment 8 from Town Engineer Report).		1
6)	A construction cost estimate prepared by the engineer of record, which shall delineate any proposed improvements to be maintained by the Town.	1	
7)	Environmental assessment per the requirements, if applicable.	1	
8)	Any additional data, maps, plans or statements, as may be required, which is commensurate with the intent and purpose of the Code. (Please see Fire Review attached regarding Fire Hydrant requirements, locations, and water flows.)		X

1= Review by Town Engineer
X= Town Staff

The issues indicated as outstanding in the above table and below comments must be addressed prior to the Town determining that the applicant's Application for Site Plan Review is complete.

ADDITIONAL COMMENTS

- 1) Applicant must comply with all comments prepared and provided by Town Engineer, Town Staff, and Fire Review consultant, as well as Lake County and State Agencies, when applicable.
- 2) The north elevation has 203 lineal feet; which requires four (4) canopy trees. Additionally, six (6) understory trees are required based on the Landscaping Buffer Class "A." Only five (5) understory trees were provided for this elevation. Please provide the additional canopy tree or request a landscaping waiver from Town of Lady Lake Land Development Regulations, Chapter 10, Section 10-3, b).B).1) for North Landscaping Buffer Class "A."
- 3) The south elevation has 324 lineal feet, which requires thirteen (13) canopy trees. Only eleven (11) canopy trees were provided for this elevation. Please provide the additional canopy tree or request a landscaping waiver from Town of Lady Lake Land Development Regulations, Chapter 10, Section 10-3, b).B).2) for South Landscaping Buffer Class "B."
- 4) Please provide Glass Transparency for all exterior building elevations: Glass shall be transparent, without color, except for appropriate stained or art glass. The use of darkly tinted or reflective glass on windows or doors is prohibited. Reflective glass will be defined as having a visible light reflectance rating of fifteen (15) percent or greater and darkly tinted glass windows include glass with a visible light transmittance rating of thirty-five (35) or less.
- 5) Please provide copy of St. John's River Water Management District Permit when issued.
- 6) Please provide Florida Department of Environmental Protection Water Main Extensions permit and/or exemption.
- 7) Please provide Florida Department of Environmental Protection Wastewater Collection/ Transmission System and/or exemption.
- 8) The following reviews have been received:
 - a. Town Engineer comments for the site plan dated December 18, 2013.
 - b. Fire Review comments dated December 7, 2013.
 - c. Lady Lake Building Official comments dated December 5, 2013.
 - d. Lake Sumter MPO Traffic Analysis review dated December 11, 2013.
 - e. Lady Lake Public Works comments dated December 23, 2013.
 - f. Waste Management comments dated December 5, 2013.

9) **Commercial Design Standards**

In accordance with Chapter 20- Section 20-3C.3).A), new buildings are required to adopt one of the four (4) preferred architectural style designs: Frame Vernacular, Craftsman/Bungalow, Mediterranean or Mission.

The project exhibits features including multi-level roof, awnings, exterior brick and stucco façade etc. Please indicate the style selected on the plans, staff is unable to make a determination of the exterior elements indicating adherence to any specific style of the four (4) preferred architectural style designs. Is the light-colored band in line with the awnings a raised band? Please provide more detail as to the Building Exterior Elevations. As a recommendation, the applicant can pursue adherence to the Mediterranean Style by adding elements such as:

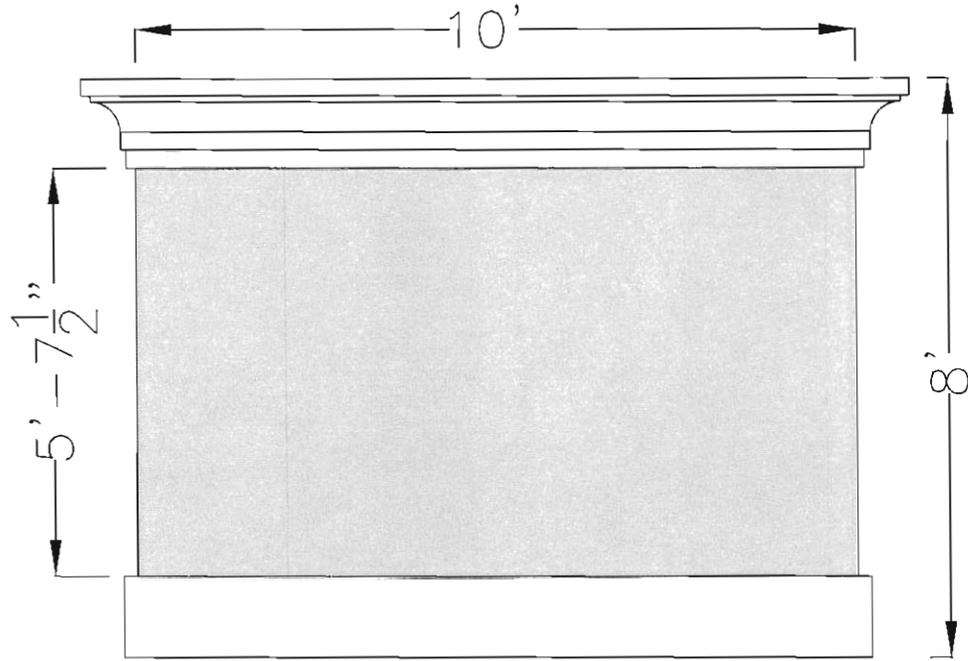
- Replace awnings with terracotta/clay-tile canopies
- Add decorative Mediterranean-style medallions on columns in between the glass walls
- Add Mediterranean-Style Outdoor Wall lights along front entrance façade
- Create hipped roof with clay tiles at the entrance projections.

Please refer to the Town of Lady Lake Land Development Regulations-Chapter 20 as a reference regarding requirements.

SUMMARY:

Upon addressing the last few Town Engineer comments and providing clarification regarding proposed waivers, the site plan may be considered before the next available Town Commission for approval.

TOWN OF LADY LAKE CODE SEC. 17-4
MONUMENT SIGN:
80 SF MAX.
HEIGHT: 8' MAX.

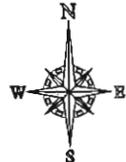


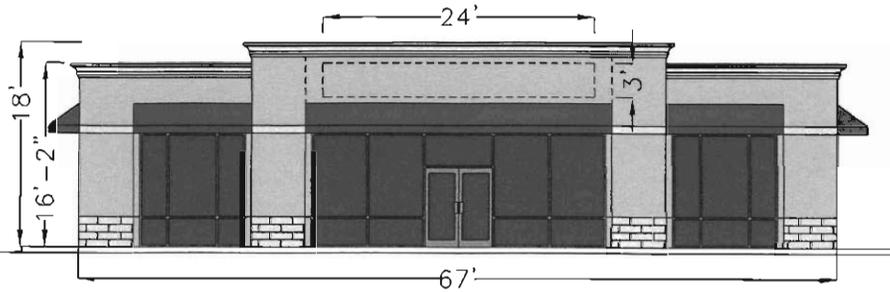
ADVANTAGE
PROPERTIES
1322 Southwest Avenue, Suite 202
Lady Lake, FL 32159
Tel: 352.329.2242
Fax: 352.329.1581

867 US HWY 27
LADY LAKE, FL 32159
LAKE COUNTY

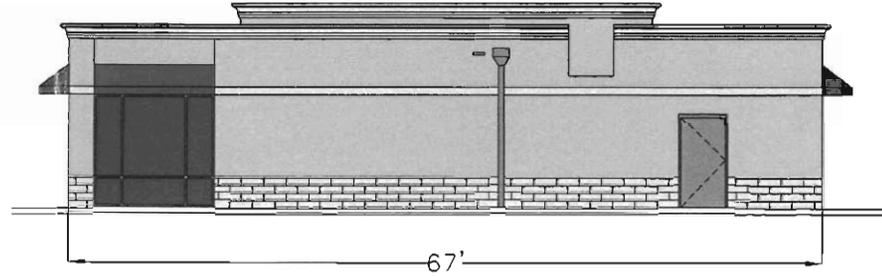
PROPOSED MONUMENT SIGN

Revisions
Date: October 17, 2013
Scale: 1" = 20'

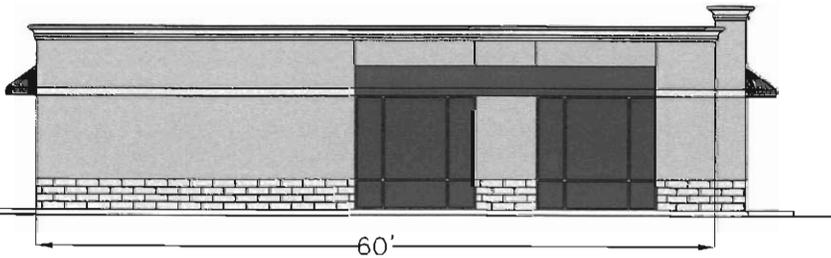




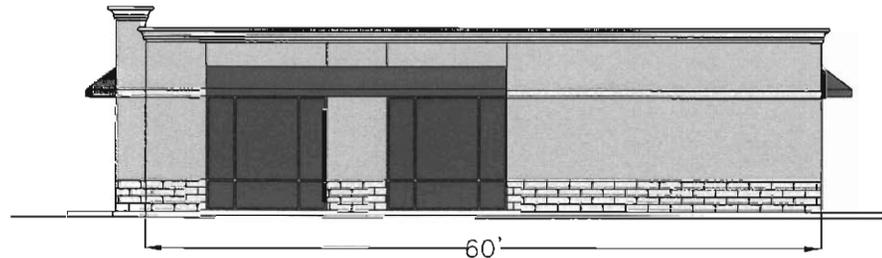
FRONT SOUTH ELEVATION



REAR NORTH ELEVATION



WEST SIDE ELEVATION



EAST SIDE ELEVATION

VANTAGE
PROPERTIES

Architectural Services, Inc.
1727 S. 20th Ave.
Miami, FL 33135

867 US HWY 27
LADY LAKE, FL 32159
LAKE COUNTY

PROPOSED ELEVATIONS

Revisions

Date: October 17, 2013

Scale: 1/2" = 1'



SITE CONSTRUCTION DRAWINGS

FOR

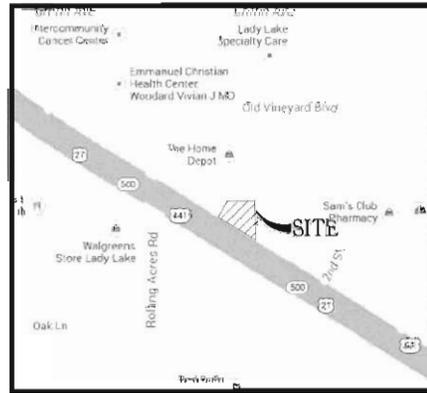
MATTRESS FIRM

867 NORTH HWY 27
 TOWN OF LADY LAKE, FLORIDA 32159
 SECTION 8, TOWNSHIP 18 SOUTH, RANGE 24 EAST

VICINITY AERIAL MAP



LOCATION MAP



SHEET INDEX

COVER SHEET	C-1
PHASE I SOIL EROSION CONTROL & DEMOLITION PLAN	C-2
PHASE II SOIL EROSION CONTROL PLAN	C-3
SITE LAYOUT PLAN	C-4
PAVING, GRADING AND DRAINAGE PLAN	C-5
UTILITY PLAN	C-6
DETAIL SHEET	C-7
TOWN OF LADY LAKE DETAIL SHEET	C-8
DUMPSTER ENCLOSURE DETAIL SHEET	C-9
LANDSCAPE PLAN (BY OTHERS)	L-1
IRRIGATION PLAN (BY OTHERS)	IR-1
SITE LIGHTING PLAN (BY OTHERS)	LOF 1
ALTA/ACSM LAND TITLE SURVEY (BY OTHERS)	OF 1

LEGAL DESCRIPTION

LOT 4 HOME DEPOT (5.82) ACRES, ACCORDING TO THE PLAT THEREOF AS REQUIRED IN PLAT BOOK 37, PAGE 22, PUBLIC RECORDS OF LADY LAKE COUNTY, FLORIDA, TOGETHER WITH EASEMENT RIGHTS GRANT WITH RESTRICTIVE COVENANTS AND EASEMENT AGREEMENT BY AND BETWEEN EVEREST NATIONAL BANK OF FLORIDA AND FIRST CITIZEN U.S.A., RECORDED JANUARY 2, 1998 IN BOOK 30162 PAGE 12

PROJECT CONTACTS:

OWNER MATTRESS FIRM 225 W. CEDAR AVENUE TAMPA, FLORIDA 33601 TEL: (813) 279-4100 FAX: (813) 279-4040	DESIGNER VANAN LADY LAKE LLC 100 VANAN PROGRESS BLVD 400 CARROLLTON PKY SUITE 100 ST. PETERSBURG, FLORIDA 33710 TEL: (813) 360-8999	ENGINEER THOMAS ENGINEERING GROUP 4800 W. KENNEDY BLVD. SUITE 400 TAMPA, FLORIDA 33609 TEL: (813) 279-4100 FAX: (813) 279-4040
---	--	---

PREPARED BY

THOMAS
ENGINEERING GROUP

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 www.ThomasEngineeringGroup.com

THOMAS
ENGINEERING GROUP

REGISTERED PROFESSIONAL ENGINEER - CIVIL
 LICENSE NO. 12456
 EXPIRES 12/31/2018

REV.	DATE	REVISION	BY
1	08/08/2018	REVISED PER COMMENTS FROM LADY LAKE COUNTY	THOMAS
2	08/15/2018	REVISED PER COMMENTS FROM LADY LAKE COUNTY	THOMAS

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 SHEET NO. C-1
 DATE: 08/15/2018
 SCALE: AS SHOWN

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 TOWN OF LADY LAKE
 LAKE COUNTY, FLORIDA

THOMAS
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PROFESSIONAL ENGINEER

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REVISION 2

C-1
OF 3

SITE DATA:

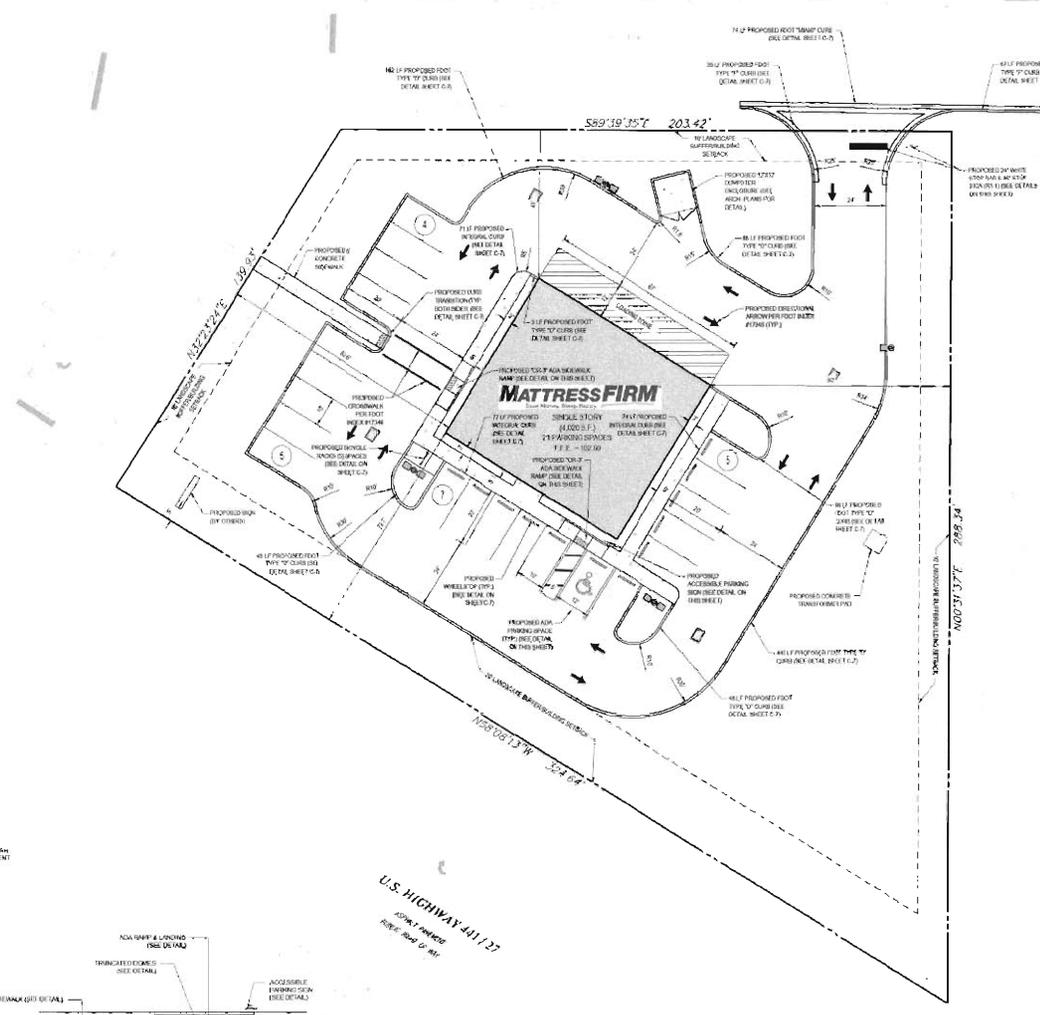
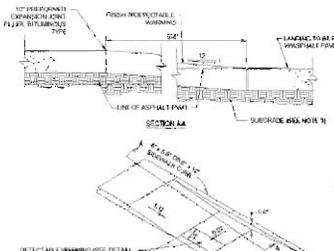
PARCEL ID NO	65 35 24 0000000000
TOTAL SITE AREA	52,000 S.F. (1.19 ACRES)
EXISTING BUILDING AREA	N/A
EXISTING GREEN SPACE	51,304 S.F. (1.16 ACRES) 99.3%
EXISTING IMPERVIOUS AREA	22,252 S.F. (0.51 ACRES) 42.8%
PROPOSED BUILDING AREA	4,000 S.F. (0.09 ACRES)
PROPOSED GREEN SPACE	20,852 S.F. (0.47 ACRES) 39.9%
PROPOSED IMPERVIOUS AREA	25,347 S.F. (0.58 ACRES) 48.8%
REQUIRED PARKING SPACES	8 (1 SPACE / 100 S.F.)
TOTAL PARKING PROVIDED	24
PROPOSED HANDICAP SPACES	4
PHYSICAL PARKING STALL	14 X 30 (ADA) 2 X 20
REQUIRED CYCLE SPACES	1 (10.0 BICYCLE SPACES PER TOTAL PARKING SPACES)
REQUIRED BICYCLE SPACES	1
CURRENT ZONING	HEAVY COMMERCIAL (HC)
ADJACENT PROPERTY ZONING	HEAVY COMMERCIAL (HC)
EXISTING USE	VACANT
PROPOSED USE	RETAIL
DRIVE/ING ENTRANCES	
FRONT	20 FEET
SIDE	10 FEET
REAR	10 FEET
LANDSCAPE BUFFER REQUIREMENTS	
FRONT ADJACENT TO HIGHWAY	20 FEET
SIDE	10 FEET
REAR	10 FEET
MAXIMUM SIGN HEIGHT	0.00
PROPOSED SIGN	
BUILDING CONSTRUCTION TYPE	CM

SITE NOTES:

1. ALL DIMENSIONS SHOWN ARE SHOWN AT FACE OF CURB UNLESS OTHERWISE NOTED. DIMENSIONS INDICATED TO FACE OF CURB.
2. ALL RADI DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM CONTROL OF TRAFFIC SIGNALS AND MARKINGS, LATEST EDITION, AND 100M OF LADY LAKE LAND DEVELOPMENT CODE.
4. ALL STANDINGS SHOWN SHALL ONLY FOR INFORMATIONAL PURPOSES, AND SHALL BE PERMITTED SEPARATELY.

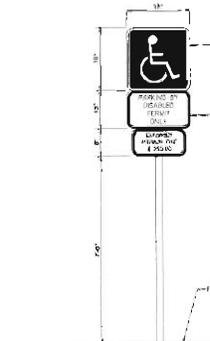
ADA ACCESSIBILITY NOTES:

1. ALL HANDICAP PARKING SPACES AND ACCESSIBLE ROUTES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MINIMUM OF 2% SLOPE IN BOTH DIRECTIONS EITHER UPWARDS OR DOWNWARDS SLOPE.
2. AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO THE BUILDING ENTRANCE MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 1% AND THE CROSS SLOPE SHALL NOT EXCEED 1/2%.
3. CURBS EXCEPTING IN, BUT LESS THAN, 10" WILL REQUIRE A RAMP AND MUST COMPLY TO THE REQUIREMENTS FOR RAMP DESIGN (SLOPE, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
4. IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE RV OF A SITE THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 2% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AS WALKS THAT REQUIRE SPECIAL ATTENTION DURING STORM TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
5. IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/DRIVEWAYS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
6. ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL BE REQUIRED REPAIR AND RE-ADJUSTMENT OF THE NON-COMPLIANT AREAS AT THE GENERAL CONTRACTOR'S COST.



LEGEND:

(Symbol)	PROPERTY LINE
(Symbol)	PROPOSED PUBLIC UTILITIES (SHOW)
(Symbol)	PROPOSED SIDEWALK
(Symbol)	PROPOSED DRIVEWAY
(Symbol)	PROPOSED SIGNAGE
(Symbol)	PROPOSED PARKING SPACE
(Symbol)	PROPOSED SIGNAGE



NOTES:

1. HANDICAP PARKING SPACES SHALL BE OF A 30" x 60" (MIN.) CLEARANCE (MINIMUM CLEARANCE) TO THE HANDICAP PARKING SPACE OR A 30" x 60" (MIN.) CLEARANCE TO THE HANDICAP PARKING SPACE. THE HANDICAP PARKING SPACE SHALL BE OF A QUALITY EQUIVALENT TO THE HANDICAP PARKING SPACE. THE HANDICAP PARKING SPACE SHALL BE OF A QUALITY EQUIVALENT TO THE HANDICAP PARKING SPACE. THE HANDICAP PARKING SPACE SHALL BE OF A QUALITY EQUIVALENT TO THE HANDICAP PARKING SPACE.

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 (407) 775-4901
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2	05/05/24	PERMIT SET	THOMAS

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C-4
 OF 3
 REVISION 2

STORM DRAINAGE NOTES:

- A. GENERAL**
- DISTANCES AND LENGTHS OF PIPES SHOWN ON PLANS ARE REFERENCED TO THE CENTER OF STRUCTURES.
- B. MATERIALS**
- REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM C143 CLASS B. WALL THICKNESS SHALL BE 4" LATERAL REINFORCEMENT SHALL BE #4 @ 12" ON CENTER. JOINTS SHALL BE GASKETED.
 - ALL POLYETHYLENE PIPE AND FITTINGS SHALL BE NON-PERFORABLE. 20" PIPES SHALL BE 100% COMPACTED TO ASTM D1557 WITH POLYURETHANE RUBBER GASKET JOINTS.
 - ALL HIGH DENSITY POLYETHYLENE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF ASTM D2651. LATEST REVISIONS. ALL PIPES TO BE NON-PERFORATED PLAIN.
 - PROPOSED CURB AND GUTTER STRUCTURES SHALL BE STANDARD 15" TYPE 5 CURB AND GUTTER PER FOOT PER PLAN.
 - PROPOSED CURB AND GUTTER SHALL BE STANDARD 15" TYPE 5 CURB AND GUTTER PER FOOT PER PLAN.
 - PROPOSED CURB STRUCTURES SHALL BE 30" HIGH AND 15" WIDE. SEE DETAIL 2A SHEET C-4.
- C. INSTALLATION**
- PIPE SHALL BE PLACED ON A MINIMUM OF FIVE FEET STABLE, UNDISTURBED NATURAL GROUND OR ROCK FORMATION AND OTHER FOREIGN FORMATIONS AND CONSTRUCTED TO A UNIFORM GRADE AND LINE. UNLESS OTHERWISE NOTED, ALL PIPES SHALL BE 1% SLOPE TO THE NEAREST INCH PER 100 FEET. EXPOSED ENDS TO BE 12 INCHES ABOVE FIN AS SHOWN ON THE PLANS.
 - PROVIDE A MINIMUM PROTECTIVE COVER OF 18 INCHES FROM TOP OF COVER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.

PAVING AND GRADING NOTES:

- A. GENERAL**
- ALL ELEVATIONS SHOWN ARE REFERRED TO THE SURVEYORS' BENCHMARKS AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO COMMENCEMENT. ELEVATIONS ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD 83).
 - ALL GRADES SHOWN ARE UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATION (TOC) - BOTTOM OF CURB ELEVATION (BOC) = CURB HEIGHT. UNLESS OTHERWISE NOTED, CURB HEIGHT SHALL BE 15 INCHES ABOVE FIN AS SHOWN ON THE PLANS.
 - THE 18 INCH CURB AND GUTTER SHALL BE CONSIDERED A PART OF THESE PLANS.
 - THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BEFORE COMMENCING CONSTRUCTION.
 - ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF UNDERDRAINAGE.
 - ALL EXISTING PAVEMENT CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - UNLESS OTHERWISE SPECIFIED, ALL PIPES SHALL BE CONSTRUCTED TO THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT TO ENSURE A PROPER JOINT.
 - PIPING TO THEIR CONNECTION ON INSTALLATION WHEN CHANGES SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER NECESSARY PERMITS.
 - ALL AREAS WITHIN THE COUNTY RIGHT OF WAY DISTURBED THROUGH THE COURSE OF CONSTRUCTION SHALL BE GRASSED AND SEEDDED.
 - THE AREA OF THE SITE WHERE THE CLAYEY FINE SANDS (S) ENCOUNTER THE EXISTING GROUND SURFACE. THESE SOILS TEND TO HEAVILY HOLD MOISTURE AND WILL REQUIRE MORE FREQUENT WATERING. EXPOSED SOILS CLEAN THE SOILS.
 - EXCAVATIONS SHOULD BE SLOPED AS NECESSARY TO PREVENT SOIL FAILURE AND TO ALLOW UNOCCUPIED AS A MINIMUM, 1:1 SLOPE. EXCAVATIONS BELOW A FOOT DEEP TO BE SLOPED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS. WHERE LATERAL CONFINEMENT WILL NOT PREVENT SLOPES TO BE MAINTAINED, THE EXCAVATIONS SHOULD BE CONSTRUCTED WITH OSHA REQUIREMENTS. EXISTING EXCAVATION EXCAVATION MATERIAL SHOULD NOT BE STOCKPILED AT THE TOP OF THE SLOPE WITHIN A HORIZONTAL DISTANCE EQUAL TO THE EXCAVATION DEPTH. PROVISIONS FOR MAINTAINING WORKMAN SAFETY WITHIN EXCAVATIONS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- B. MATERIALS**
- BASE COURSE SHALL BE 18" MINIMUM 1.5" SPECIFICATIONS OR EQUIVALENT. MINIMUM THICKNESS SHALL BE 18" MIN. (OR 18" MIN. IF 1.5" SPECIFICATIONS OR EQUIVALENT).
 - ASPHALT SURFACING SHALL BE THE 3.5" MINIMUM THICKNESS UNLESS OTHERWISE SPECIFIED ON THE PLANS AND SHALL BE A MINIMUM OF 1.5" THICK, CONSTRUCTED IN TWO 3/4" LIFTS WITH EACH LIFT BEING 3/4" THICK.
 - REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED TO CLASS CONCRETE WITH A MINIMUM STRENGTH OF 3,000 PSI AND SHALL BE REINFORCED WITH #4 @ 12" ON CENTER.
- C. INSTALLATION**
- SUBGRADE FOR ROADWAY SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY INDICATED IN 1800. TO A MINIMUM OF 90% SHALL HAVE A MINIMUM OF 1.5" SPECIFICATIONS OR EQUIVALENT.
 - BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM THICKNESS OF 18" PLACED IN ONE LIFT. BASE COURSE MATERIAL SHALL HAVE A MINIMUM STRENGTH OF 1,500 AND A MINIMUM OF 1.5" SPECIFICATIONS OR EQUIVALENT.
 - BASE COURSE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER ASHOTO 1-180.
 - INSTALLATION OF THE WEARING SURFACE SHALL CONFORM TO THE REQUIREMENTS OF THE D.D.T. STANDARD SPECIFICATIONS FOR PAVEMENTS AND CONCRETE OR THE LATEST REVISION.
- D. TESTING**
- THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/8" FROM THE TEMPLATE. ANY DISCREPANCIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
 - DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY ORDERED BY THE STATE OF FLORIDA, WHEN SO DIRECTED BY THE ENGINEER.
 - ALL TESTING COSTS (INCLUDING) SHALL BE PAID FOR BY THE CONTRACTOR.
 - DENSITY TESTS ON THE FINISHED SURFACE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND GEOTECHNICAL ENGINEER, AND APPROVED BEFORE ANY BASE IS CONSTRUCTED.
 - DENSITY TESTS AND "AS BUILT" ON THE FINISHED BASE SHALL BE SUPPLIED TO THE GEOTECHNICAL ENGINEER, AND APPROVED BEFORE ANY ASPHALT PAVEMENT IS CONSTRUCTED.



LEGEND:

	PROPERTY LINE
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	PROPOSED STORM MANHOLE
	PROPOSED STORM INLET
	PROPOSED STORM VALVE
	PROPOSED STORM CATCH BASIN
	PROPOSED STORM CHAMBER

FEMA MAP INFORMATION:
 THE PROPERTY LOCATED ON THIS PLAN IS AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY FLOOD INSURANCE PROGRAM, FIRM NUMBER 18-010, REVISION DATE 08/01/2010.

DATUM NOTE:
 ELEVATIONS SHOWN ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD 83) UNLESS OTHERWISE NOTED. ELEVATION IN FEET.



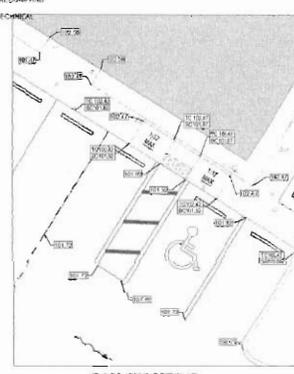
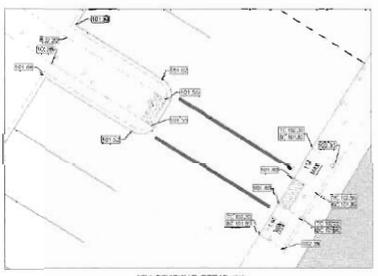
CONCRETE SIDEWALK DETAIL
 NOTE 1: 18\"/>



ASPHALT PAVEMENT DETAIL - (LIGHT DUTY)
 NOTE 1: 1.5\"/>



CONCRETE PAVEMENT DETAIL
 NOTE 1: 18\"/>



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 NO. 67890
 EXPIRES 12/31/2010

PROFESSIONAL SEAL
 STATE OF FLORIDA
 PROFESSIONAL SURVEYOR
 NO. 11111
 EXPIRES 12/31/2010

PROFESSIONAL PAVING, GRADING AND DRAINAGE PLAN

SHEET NUMBER
C-5
 OF 9

REVISION 2

REVISIONS			
NO.	DATE	COMMENT	BY
1	11/20/14	REVISED PER TOWN OF LADY LAKE COMMENTS	THOMAS
2	11/20/14	REVISED PER TOWN OF LADY LAKE COMMENTS	THOMAS

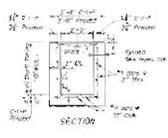
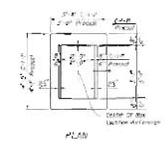
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C-7
 OF 8
 REVISION 2

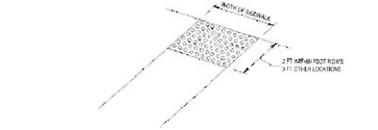
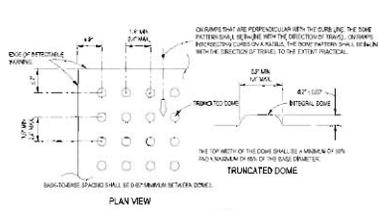


HORIZONTAL WALL REINFORCING SCHEDULES (TABLE 1)

WALL WIDTH	REINFORCEMENT	WALL THICKNESS	WALL HEIGHT
0'-10"	#4	8"	8"

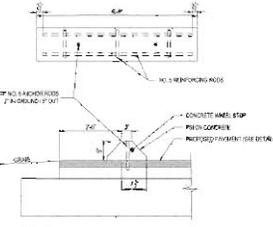
TYPE C
 REINFORCING SCHEDULE PER PLAN
 1'-0" WALL: #4 @ 12" O.C.
 2'-0" WALL: #4 @ 12" O.C. WITH #4 @ 18" O.C. AT TOP
 3'-0" WALL: #4 @ 12" O.C. WITH #4 @ 18" O.C. AT TOP

STORM SEWER TYPE 'C' GRATE INLET DETAIL
 NOT TO SCALE
 PER FOOT INDEX ONLY



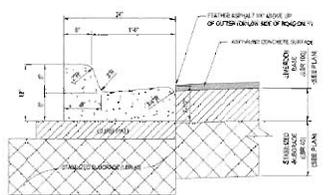
ALL CURB RAMP SURFACES SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND A MINIMUM OF 24 INCHES UP AND DOWN THE BACK OF CURB. MINIMUM RAMP WIDTH SHALL BE 48 INCHES. DETAIL SHALL BE USED AT ALL OTHER LOCATIONS.

CURB RAMP DETECTABLE WARNING DETAIL
 NOT TO SCALE
 PER FOOT INDEX ONLY



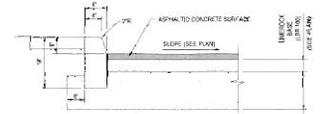
NOTES:
 1. WHEEL STOP FORMS MAY VARY DEPENDING ON MANUFACTURER.
 2. WHEEL STOP SHALL BE PERPENDICULAR TO ROAD SPACES.
 3. WHEEL STOP TO BE OBTAINED BY SHOPPING PRICE.

CONCRETE WHEELSTOP DETAIL
 NOT TO SCALE

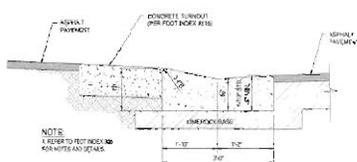


NOTE:
 1. WHEN USED ON THE SIDE OF ROADWAYS THE CURB EDGE OF THE DETAIL SHALL MATCH THE CURB EDGE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE CURB SHALL BE 4 INCHES (1'-0" O.C.).
 2. REFER TO FOOT INDEX FOR NOTES AND DETAILS.

FOOT TYPE 'C' CURB
 NOT TO SCALE

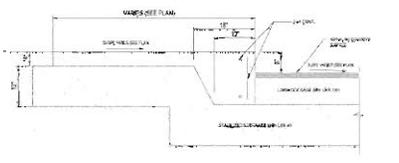


FOOT TYPE 'D' CURB
 NOT TO SCALE
 PER FOOT INDEX ONLY



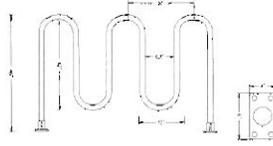
NOTE:
 1. REFER TO FOOT INDEX FOR NOTES AND DETAILS.

VALLEY GUTTER MIAMI CURB DETAIL
 NOT TO SCALE



NOTE: SIDEWALK SHALL BE RETAINED ON CHANGING GRADES SUBJECT TO LOCAL PRACTICE.

INTEGRAL CURB DETAIL
 NOT TO SCALE



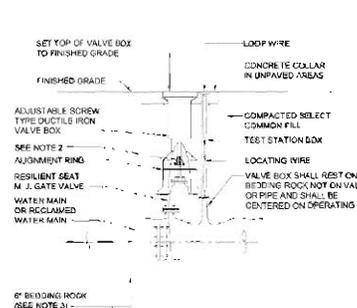
NOTE: SEE PLAN FOR DIMENSIONS.
 1'-0" OVERALL W/ ALLOWANCE FOR 1/2" & 1/4" DIMENSIONS.
 2. REFER TO FOOT INDEX FOR DETAILS.
 3. SEE PLAN FOR DIMENSIONS.
 4. SEE PLAN FOR DIMENSIONS.
 5. SEE PLAN FOR DIMENSIONS.

STANDARD BICYCLE RACK DETAIL
 NOT TO SCALE

GENERAL NOTES:

- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN PROXIMITY OF WATER MAINS, WASTEWATER FORCE MAINS, GRAVITY MAINS AND RECLAIMED WATER MAINS. MAIN LOCATIONS SHOWN ON PLANS ARE NOT EXACT OR GUARANTEED. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING UTILITY LOCATIONS.
- THE PUBLIC WORKS DEPARTMENT (352) 751-1266 SHALL BE NOTIFIED BY THE CONTRACTOR FOR PIPE EMERGENCIES.
- ALL EXISTING WATER, FORCE, GRAVITY AND RECLAIMED WATER MAINS AND OTHER FACILITIES WITHIN THE LIMITS OF THE PROJECT SHALL BE SUPPORTED AND PROTECTED AGAINST DAMAGE DURING CONSTRUCTION.
- CONTRACTOR SHALL ADJUST VALVE BOXES, AIR RELEASE VALVES, FIRE HYDRANTS, MANHOLE COVERS, ETC IN CONFLICT WITH ROADWAY.
- THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, SHALL IMMEDIATELY REPAIR ALL DAMAGES TO UTILITIES MAINS AND FACILITIES. IF THE REPAIR IS NOT MADE IN A TIMELY MANNER, AS DETERMINED BY UTILITIES, UTILITIES MAY PERFORM REQUIRED REPAIRS AND CLEANUP. THE CONTRACTOR WILL BE CHARGED FOR ALL EXPENSES ASSOCIATED WITH THE REPAIR.
- THE PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED AT LEAST SEVEN (7) DAYS PRIOR TO ANY CONSTRUCTION ACTIVITY WITHIN PROXIMITY OF ANY UTILITIES.
- ONLY UTILITIES SHALL OPERATE WATER, WASTEWATER, AND RECLAIMED WATER VALVES. COORDINATE VALVE OPERATION WITH APPROPRIATE UTILITIES INSPECTOR.
- THE CONTRACTOR SHALL COORDINATE ALL PUMP STATION OPERATION AND SHUT DOWN CONTROL WITH A PUBLIC WORKS PERSONNEL. THE CONTRACTOR SHALL PROVIDE FOR BYPASSING AND/OR BUMPING OF WASTEWATER DURING THE INTERRUPTION OF FLOWS AND CONNECTIONS WITH EXISTING WASTEWATER SYSTEMS.
- ALL NEW VALVES BEING INSTALLED SHALL REMAIN CLOSED DURING CONSTRUCTION. KEEP VALVES ON ALL WET TAPS CLOSED UNTIL CLEARED BY FDEP. DO NOT CONNECT ANY PROPOSED WATER MAIN TO ANY EXISTING WATER MAIN UNLESS CLEARED BY FDEP AND THE TOWN.
- ALL EXISTING AND NEW TOWN OF LADY LAKE UTILITIES VALVES, VALVE BOXES, AND MANHOLES SHALL BE PROTECTED AND ADJUSTED TO FINISHED GRADE AS SHOWN ON THE DRAWINGS. ALL EXISTING ABOVE GROUND VALVES TO BE REALIGNED, AS REQUIRED.
- MAKE TEMPORARY CONNECTIONS TO AN EXISTING POTABLE WATER SOURCE WITH TOWN APPROVED METER. FLUSH OUT NEW WATER MAIN WITH POTABLE WATER (USE "JUMPER" ASSEMBLY WITH REDUCED PRESSURE ASSEMBLY BACKFLOW PREVENTER TO MAKE TEMPORARY CONNECTIONS TO AN EXISTING WATER SOURCE).

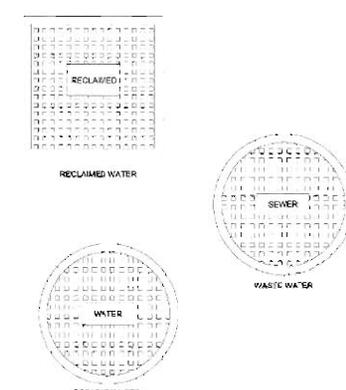
	TOWN OF LADY LAKE CONSTRUCTION STANDARD DETAILS	GENERAL NOTES DATE: 04/14/2024 PUBLISHED: 04/14/2024
---	--	--



TYPICAL VALVE BOX COVER

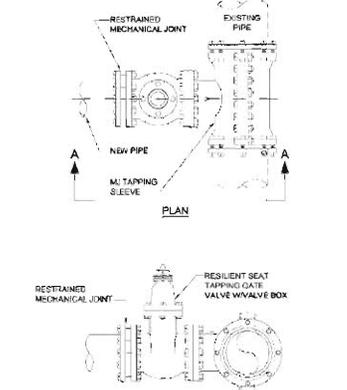
NOTE: 1. PVC PIPE OR DUCTILE IRON PIPE EXTENSIVELY SHALL NOT BE USED ON VALVE BOX INSTALLATION.
2. THE VALVE ACTUATING NUT SHALL BE EXTENDED TO BE WITHIN 3" OF FINISHED GRADE.
3. REDUCING MATERIAL SHALL CONFORM TO FOOTING 07 AGGREGATE.
4. WIRE SHALL TERMINATE IN TEST STATION BOX.
5. REFER TO FIGURE 4111 FOR INSTALLATIONS AT A DEPTH OF 6' OR GREATER.
6. VALVES SHALL BE AMERICAN AVX SERIES 25.

	TOWN OF LADY LAKE CONSTRUCTION STANDARD DETAILS	GATE VALVE AND BOX WATER AND RECLAIMED WATER MAINS DATE: 04/14/2024 PUBLISHED: 04/14/2024
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TYPICAL VALVE BOX COVER

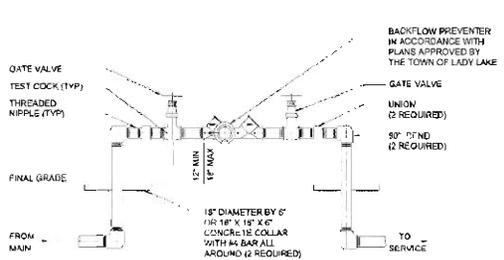
	TOWN OF LADY LAKE CONSTRUCTION STANDARD DETAILS	TYPICAL VALVE BOX COVER DATE: 04/14/2024 PUBLISHED: 04/14/2024
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SECTION A-A

NOTE: VALVES SHALL BE MANUFACTURED BY AMERICAN AVX.

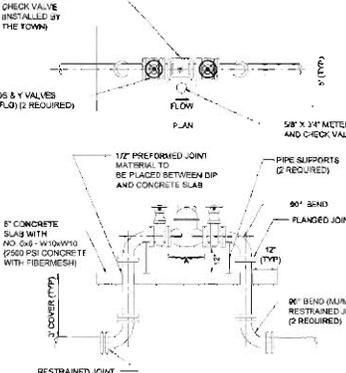
	TOWN OF LADY LAKE CONSTRUCTION STANDARD DETAILS	WATER TAPPING SLEEVE AND GATE VALVE ASSEMBLY FOR WATER AND RECLAIM WATER DATE: 04/14/2024 PUBLISHED: 04/14/2024
---	--	---



REDUCED PRESSURE BACKFLOW PREVENTER

NOTE: 1. ALL PIPE FITTINGS SHALL BE SCH 40 OR GALVANIZED.
2. FITZ TO BE MANUFACTURED BY WAFFS OR WILKINS.
3. INSTALLED TO AWWA STANDARDS.

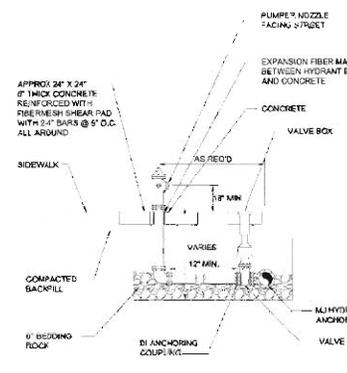
	TOWN OF LADY LAKE CONSTRUCTION STANDARD DETAILS	REDUCED PRESSURE BACKFLOW PREVENTER DATE: 04/14/2024 PUBLISHED: 04/14/2024
---	--	--



PROFILE

NOTE: 1. ALL ABOVE GROUND PIPE JOINTS SHALL BE FLANGED.
2. TOWN SHALL OWN & MAINTAIN METER ONLY.
3. PAINTING IN ACCORDANCE WITH THIS MANUAL.
4. INGRESS EGRESS EASEMENT REQUIRED.
5. DETECTOR CHECK VALVE SHALL BE OWNER'S RESPONSIBILITY.
6. INSTALLED TO AWWA STANDARDS.

	TOWN OF LADY LAKE CONSTRUCTION STANDARD DETAILS	STANDARD DRAWINGS DETECTOR CHECK VALVE METER ASSEMBLY DATE: 04/14/2024 PUBLISHED: 04/14/2024
---	--	---



DETAIL SHEET

NOTE: 1. FIRE HYDRANT SHALL BE SUPPLIED WITHOUT A WEEP HOLE, OR WITH A PERMANENTLY FLOODED WEEP HOLE.
2. ALL PIPE AND APPURTENANCES SHALL BE RESTRAINED.
3. ALL FIRE HYDRANT AND VALVES TO BE AUK, MUELLER OR CLOW.

	TOWN OF LADY LAKE CONSTRUCTION STANDARD DETAILS	STANDARD DRAWINGS FIRE HYDRANT ASSEMBLY DATE: 04/14/2024 PUBLISHED: 04/14/2024
---	--	---

THOMAS
CONSTRUCTION SERVICES, INC.
1100 W. KENNEDY BLVD., SUITE 600
TAMPA, FL 33609
PH: (813) 972-2000
FAX: (813) 972-2001
WWW.THOMASCONSTRUCTION.COM

REVISIONS			
NO.	DATE	COMMENT	BY
1	01/20/2024	REVISED FOR DOWN OF LADY LAKE COMMENTS	MM
2	04/14/2024	LADY LAKE COMMENTS	MM

811 KNOW WHATS BELOW ALWAYS CALL 811 BEFORE YOU DIG
Florida, Florida 33538
www.call811.com

PERMIT SET

PROJECT NO.	011000
DRAWN BY	MM
CHECKED BY	MM
DATE	04/14/2024
SCALE	AS SHOWN
DRAWN	MM

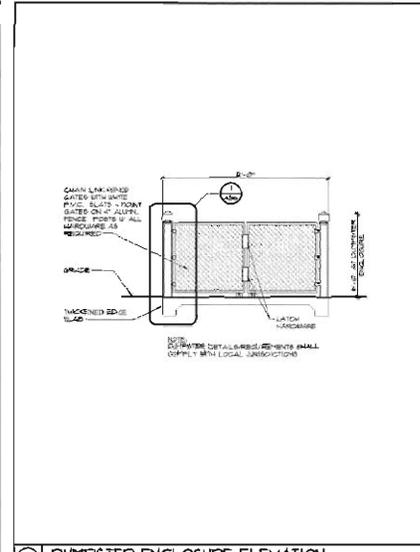
MATRESS FIRM LADY LAKE
FOR
VANTAGE
INDUSTRIES
827 NORTH HIGHWAY 27
TOWN OF LADY LAKE
LAKE COUNTY, FLORIDA

THOMAS
1100 W. KENNEDY BLVD., SUITE 600
TAMPA, FL 33609
PH: (813) 972-2000
FAX: (813) 972-2001
WWW.THOMASCONSTRUCTION.COM

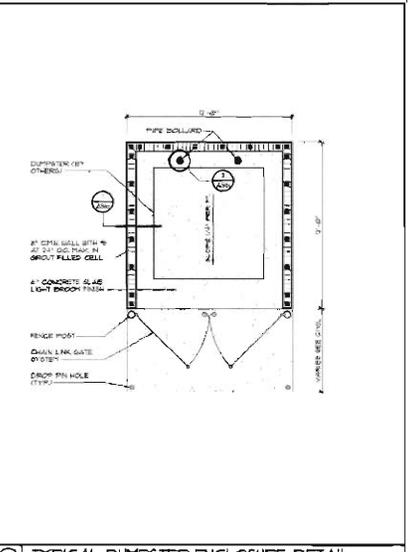
PROPOSED PROJECT
TOWN OF LADY LAKE
FIRE HYDRANT ASSEMBLY
NO. 74866
DATE: 04/14/2024
DRAWN: MM
CHECKED: MM

TOWN OF LADY LAKE
DATE: 04/14/2024
PUBLISHED: 04/14/2024

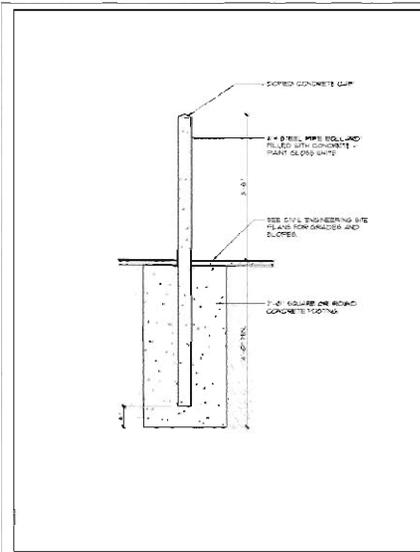
C-8
OF 9
REVISION 2



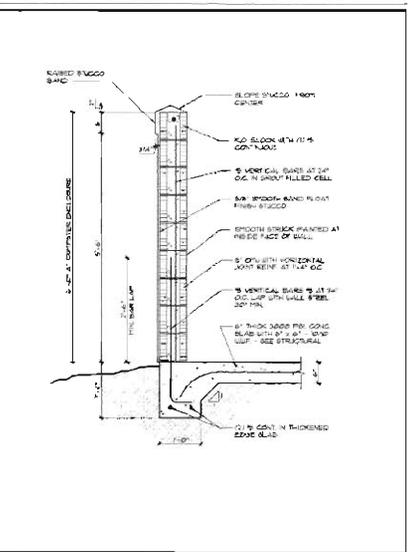
2 DUMPSTER ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



1 TYPICAL DUMPSTER ENCLOSURE DETAIL
SCALE: 1/4" = 1'-0"



2 TYPICAL PIPE BOLLARD DETAIL
SCALE: 1/4" = 1'-0"



1 TYPICAL DUMPSTER ENCLOSURE WALL SECTION
SCALE: 1/4" = 1'-0"

NOTE:
DETAILS SHOWN ON THIS SHEET ARE FOR REFERENCE PURPOSES ONLY AND CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION

THOMAS
ENGINEERING GROUP
1411 BUCKINGHAM PARKWAY MANALAPAN, FLORIDA 33409
PH: 888.342.6835
WWW.THOMAS-EG.COM

REVISIONS

REV	DATE	COMMENT	BY
1		RENDER FOR TOWN OF LADY LAKE COMMENTS	PROJ
2		RENDER FOR TOWN OF LADY LAKE COMMENTS	PROJ

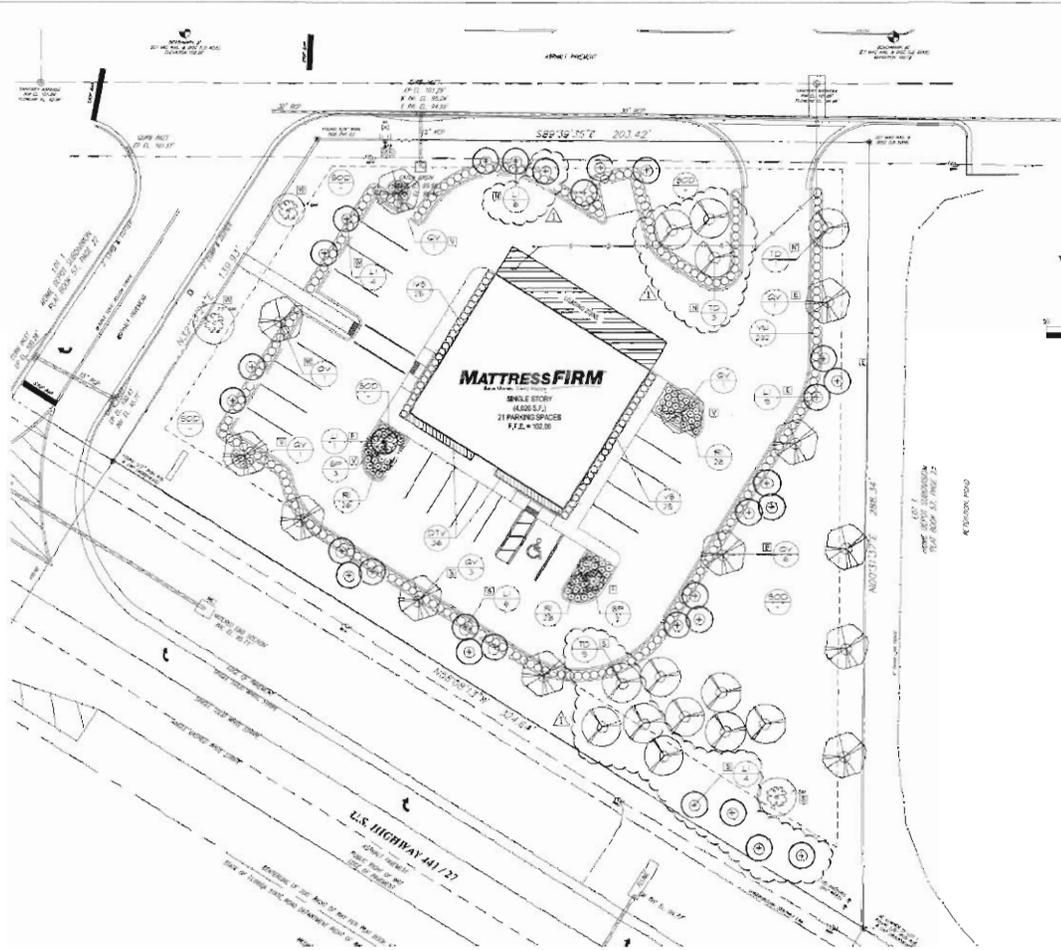
811 KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG
www.call811.com

PERMIT SET 1
PROJECT NO. 275018
DESIGNED BY EXP
CHECKED BY LSP
DATE 11/08/18
SCALE 1/8" = 1'-0"
CDD12 275018-02-5

PROJECT
MATTRESS FIRM
LADY LAKE
FOR
VANTAGE
POLYCELS
107 NORTH HIGHWAY 27
TOWN OF LADY LAKE
LAKE COUNTY, FLORIDA

THOMAS
ENGINEERING GROUP
1411 BUCKINGHAM PARKWAY, SUITE 600
MANALAPAN, FLORIDA 33409
PH: 888.342.6835
WWW.THOMAS-ENGINEERINGGROUP.COM

PROF. GREGORY S. DONALDSON
REGISTERED PROFESSIONAL ENGINEER
No. 74666
FLORIDA
EXPIRES 12/31/2024
C-9
OF 9
REVISION 2



MATERIALS LIST

SHADE TREES

Symbol	No.	Scientific Name	Common Name	Size Requirements
LI	10	Laguncularia racemosa	White Mangrove	min. 10' can. 2" cal. 2.5" caliper, 60"
SH	6	Shade tree	Shade tree	min. 12-15' CT, size as noted
OV	13	Oreocarya virginiana	Live Oak	min. 10' can. 2" cal. 2.5" caliper, 60"
MS	50	Mossy live oak	Mossy live oak	min. 2' @ 100' @ 30' can.
SI	35	Synedrella nodiflora	Yellow Sesuvium	min. 2' @ 100' @ 30' can.
OV	13	Oreocarya virginiana	Live Oak	min. 14-15' can. 6" dia. 4" caliper
OV	13	Oreocarya virginiana	Live Oak	min. 14-15' can. 6" dia. 4" caliper
SOB2	-	Shade tree	Shade tree	as noted
MULCH	-	Grass	Grass	Mulch to 4" depth

LANDSCAPE REQUIREMENTS

Per Town of Lady Lake Code, Ch. 15, Land Development Code

LANDSCAPE DATA
 Buffer landscaping requirements (Class 2A)
 10' wide buffer
 (1) canopy trees, (2) understory trees, (3) shrubs, (4) groundcover

20' x 100' x 2' x 2' (4) canopy trees, (2) understory trees, (2) shrubs, (2) groundcover

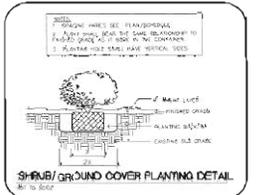
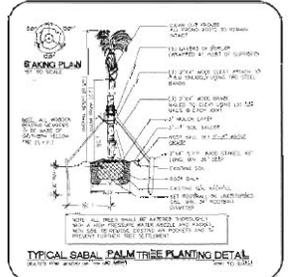
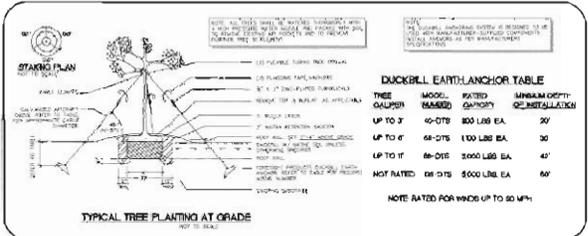
140' x 100' x 1.5' x 2' (1) canopy tree, (1) understory tree, (1) shrub, (1) groundcover

1.4 x 3' (2) understory trees, (1) shrub, (1) groundcover

Additional Notes:
 70% height of the canopy shall be oriented towards public right-of-way.
 50% of canopy shall be oriented towards public right-of-way.
 50% of canopy shall be oriented towards public right-of-way.
 50% of canopy shall be oriented towards public right-of-way.



- ### GENERAL LANDSCAPE NOTES
- All landscape materials shall be of the highest quality, suitable for nursery stock, and shall conform to current American Association of Nurserymen Standards for Nursery Stock. Landscape material shall be planted according to accepted nursery practices.
 - All shrubs used for a hedge shall be a minimum of 20" high at the time of planting and shall not be greater than 36" in center. Shrubs shall not adversely impact existing site conditions and shall be fully established by the time of final site completion.
 - All installed understory trees shall be a minimum of 16" overall height at 18" dbh, 2" trunk caliper at 10' above ground, and shall be fully established by the time of final site completion.
 - All installed trees shall be installed at a minimum of 5' from building exterior surfaces and 10' from property lines.
 - All installed underground irrigation systems shall be installed to maintain the landscape area in healthy condition and provide 100% coverage.
 - The contractor shall be responsible for the proper size of plants, pot removal, and proper maintenance and watering.
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HARDEN-KEMPTON & ASSOCIATES, INC.

Landscape Architects

2014 North A Street
 Kissimmee, Florida 34758
 Phone: 407-842-1234
 Fax: 407-842-1235
 www.hkinc.com

MATTRESS FIRM

PROJECT NO.:

SHEET TITLE: **LANDSCAPE PLAN**

BOHLER ENGINEERING

REGISTERED FOR:

ADDRESS: **US HWY 41/27 TOWN OF LADY LAKE**

Revisions:

No.	Date	Description
1	10/13	Per Town of Lady Lake (Asy Comments)

DESIGNED BY: [Signature]

CHECKED BY: [Signature]

DRAWN BY: [Signature]

DATE: 10/13/2014

SCALE: AS SHOWN

PROJECT NO. 14-000000

PROJECT NAME: MATTRESS FIRM

PROJECT ADDRESS: US HWY 41/27 TOWN OF LADY LAKE

PROJECT ARCHITECT: JASON E. HARRIS, P.E., P.L.C. (Asy Comments)

PROJECT ENGINEER: [Signature]

PROJECT SURVEYOR: [Signature]

PROJECT LANDSCAPE ARCHITECT: [Signature]

PROJECT PLANTING: [Signature]

PROJECT IRRIGATION: [Signature]

PROJECT LIGHTING: [Signature]

PROJECT FURNITURE: [Signature]

PROJECT SIGNAGE: [Signature]

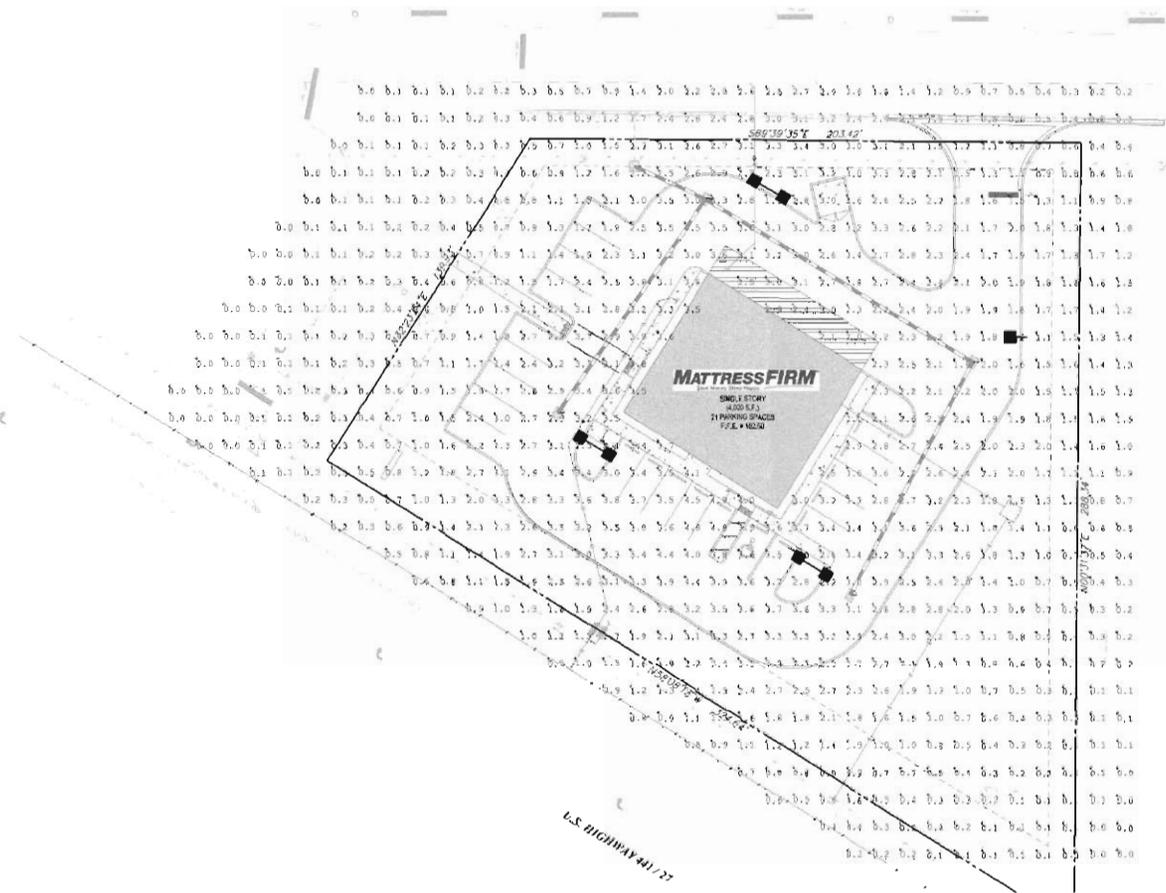
PROJECT OTHER: [Signature]

SHEET:

L-1

REVISIONS

REV #	DATE	BY:



AS A RESULT OF THE COLOR OF THE LIGHT SOURCE (5000K, CRI=90+), THE "SEE-ABILITY" PRODUCED BY THIS LIGHTING SOLUTION WILL APPEAR AT LEAST 30% BRIGHTER THAN THIS PHOTIC MODEL SUGGESTS.

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER HAS NOT INSPECTED THE SITE TO DETERMINE APPROPRIATENESS OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.
 THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCES IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

Calculation Summary							
June2	Units	Avg	Max	Min	Avg/Min	Max/Min	Footcandle
OVERALL SUMMARY	Pc	2.52	4.9	1.2	2.42	4.08	10

Luminaire Schedule							
WLS10241 MATTRESS FIRM LADY LAKE, FL PM: CINDI PLEASE CALL US FOR PRICING AT 1-800-633-8711							
Symbol	Qty	Label	Lumens	LLF	Description		
■	5	A	28500	0.850	WLS-F70-5-600-WA-P080-FG	30" MOUNTING HEIGHT	
■	1	B	10500	0.850	WLS-F70-5-400-WA-P080-FG	30" MOUNTING HEIGHT	

MATTRESS FIRM
LADY LAKE, FL

WLS LIGHTING SYSTEMS
Consider the Impact!

1919 WINDSOR PLACE
FORT WORTH, TX 76110
WWW.WLSLIGHTING.COM

WLS-10241

DATE - 11/20/13

SCALE: 1"=20'

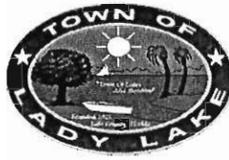
800-633-8711

PM: CINDI

BY: J.P.

SHEET 1 OF 1

**There Is No
Packet Item
For #I-8**



TOWN COMMISSION AGENDA ITEM

REQUESTED COMMISSION MEETING DATE : February 3, 2014

SUBJECT: Review of Draft Resolution for Establishing a Restricted Fund to Pay for Future Land Purchases, Building and Facility Improvements/Expansions, and Large Capital Equipment

DEPARTMENT: Town Manager

STAFF RECOMMENDED MOTION: No motion needed-Review only

SUMMARY: Attached is a draft of the Resolution establishing a separate restricted property purchase fund. The primary purchase of the fund is to pay for future land purchases, building and facility improvements/expansions, and large capital equipment. If the wording of the resolution is acceptable to the Commission, then staff will advertise the Resolution and put it on the next Commission Meeting agenda for consideration of approval.

FISCAL IMPACT: N/A

- Capital Budget
 - Operating
 - Other
-

ATTACHMENTS: Ordinance Resolution Budget Resolution

Other

Support Documents--- Draft Resolution and Workshop Minutes

DEPARTMENT HEAD *JK* Submitted *1-27-14* Date

HR Approved as to Form Date

FINANCE DEPARTMENT Approved as to Budget Requirements Date

TOWN MANAGER *JK* Approved Agenda Item for: *2-3-14* Date *1-27-14*

COMMISSION ACTION:

- Approved as Recommended
- Disapproved
- Tabled Indefinitely
- Continued to Date Certain
- Approved with Modification

DBC
1-27-14
[Signature]

RESOLUTION NO. 2014-xxx

A RESOLUTION OF THE TOWN OF LADY LAKE ESTABLISHING A RESTRICTED FUND FOR CERTAIN EQUIPMENT PURCHASES, REAL PROPERTY PURCHASES, AND BUILDING AND FACILITY IMPROVEMENTS AND EXPANSIONS.

WHEREAS, The Town of Lady Lake is fiscally responsible and is in sound financial condition; and,

WHEREAS, The Town of Lady Lake recognizes that investment in property and equipment will benefit the Town of Lady Lake and its citizens and promote the general health, safety and welfare of the Town; and,

WHEREAS, the Town of Lady Lake desires to establish a separate Restricted Property Purchase Fund and the primary intention of the fund is to pay for future land purchases, building and facility improvements and expansions, and large capital equipment.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF THE TOWN OF LADY LAKE:

1. At the end of each fiscal year, the Town of Lady Lake may disperse from Reserves to a Restricted Property Purchase Fund all or a portion of the funds in Reserves exceeding 50% of the Town's anticipated total annual budget for the next fiscal year.
2. Funds in the Restricted Property Purchase Fund can only be spent on future purchases of real property, building and facility improvements and expansions, and large capital equipment (equipment with a life expectancy of four (4) years or more) as approved by a majority of the Town Commission.
3. The Town Commission, by resolution, may amend, alter, rescind or modify this Resolution in its sole discretion by majority vote at any time or for any reason.

PASSED AND RESOLVED in the regular session of the Town Commission of the Town of Lady Lake, Lake County, Florida, this _____ day of _____, 2014

TOWN OF LADY LAKE, FLORIDA

Mayor

ATTEST:

Kristen Kollgaard, Town Clerk

APPROVED AS TO FORM:

Derek Schroth, Town Attorney

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**MINUTES OF THE WORKSHOP MEETING
OF THE LADY LAKE TOWN COMMISSION
LADY LAKE, FLORIDA
January 13, 2014**

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The Workshop Meeting of the Lady Lake Town Commission was held in the Commission Chambers at Lady Lake Town Hall, 409 Fennell Blvd., Lady Lake, Florida with Mayor Ruth Kussard presiding. The meeting convened at 9:10 a.m.

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A. CALL TO ORDER: Mayor Ruth Kussard

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B. ROLL CALL: Tony Holden, Commissioner Ward 2
Dan Vincent, Commissioner Ward 3
Paul Hannan, Commissioner Ward 4 (arrived @ 9:16 a.m.)
Jim Richards, Commissioner Ward 5
Ruth Kussard, Mayor/Commissioner Ward 1

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STAFF MEMBERS PRESENT: Kris Kollgaard, Town Manager/Town Clerk; Derek Schroth, Town Attorney; Lt. Vernon Wherry, Police Dept.; Jeannine Michaud, Finance Director; Thad Carroll, Growth Management Director; Cindy Diemer, Senior Code Enforcement Officer; and Nancy Slaton, Deputy Town Clerk

Others Present: Meta Minton with The Villages-News.com

C. PUBLIC COMMENT

Mayor Kussard asked if anyone in the audience had any questions or comments. There were none.

D. DISCUSSION ITEMS

1. Discussion Regarding Drafting a Resolution for Future Land Use Purchases

Town Manager Kris Kollgaard explained that staff would like to get the Town Commission's approval to draft a resolution to put some of the funds in excess of 50% of reserves in a special account for use in future land use purchases or building expansion. She stated the resolution would not permanently lock in the Town like the gap fees for schools, but would be dedicated and would allow the Town leeway to use the funds for different things. Ms. Kollgaard stated it would show the public that the Town has plans for those funds, and the reserves would still be maintained at 50% in case of an emergency.

Commissioner Holden stated it sounded good.

Commissioner Richards stated he would prefer to have a plan for the use of excess reserves, and in the past, the Town has used it for the purchase of capital items. He stated he would be willing to let the resolution go forward.

1 Ms. Kollgaard stated that the resolution should include what the Commissioners would like the
2 uses of the excess reserve funds to be for, such as equipment, land use purchase and expansion,
3 etc.

4
5 Commissioner Vincent agreed that the resolution should be drawn up and that the use of the
6 excess reserve funds should be broader than for purchasing land.

7
8 Mayor Kussard agreed that this resolution would be a good idea, and for the funds to be used for
9 capital or big ticket items such as roads and much needed equipment that has been band-aided
10 over the years.

11
12 Commissioner Holden stated he believed equipment should be strictly included in the yearly
13 budget.

14
15 Ms. Kollgaard stated that some of the equipment in the past has come from the excess of 50% of
16 the reserves, but perhaps it could be budgeted as the tax base increases. She stated once the
17 loans are paid off, then the infrastructure sales tax can also be used to purchase police vehicles.

18
19 Commissioner Hannan commented that he would be in favor of accelerating loan pay-offs as the
20 Town did with the Waste Water Treatment Plant. He also mentioned that the purchase of police
21 vehicles should be included in the resolution.

22
23 Commissioner Richards pointed out that enterprise funds cannot be paid off with general fund
24 monies, although you can loan the enterprise fund the same amount and make interest on it.

25
26 Ms. Kollgaard stated there are currently two loans: the Waste Water Treatment Plant with a
27 balance of \$730,000 due in 2014 and \$60,000 due in 2015; and the Library loan whose payment
28 goes from \$204,000/year to \$948,000/year. She stated the Town is dedicating the infrastructure
29 sales tax fund of approximately just over \$1,000,000 yearly to cover the Library loan which is
30 due to be paid off in 2018, but has high payments in the interim.

31
32 Commissioner Vincent asked what the interest rate is for the loan.

33
34 Ms. Kollgaard stated that the total interest came to \$933,000 on the \$3,400,000 Library loan, and
35 Commissioner Hannan commented it was very reasonable.

36
37 Commissioner Richards stated that general funds could be used to pay off the Library loan.

38
39 Ms. Kollgaard stated that this is one of the purposes for the special account, and it would not
40 have to come out of the enterprise fund and the Town would not have to take out a loan and pay
41 interest. She stated again that it shows the public why the Town is building up the reserves and
42 that there are uses for it without taking out a loan, saving the taxpayers money down the road.

43
44 Commissioner Vincent stated he also thinks it is a good idea as the Town cannot count on state
45 funding on a year to year basis.

46
47 Mayor Kussard asked if it was the consensus of the Commission to have staff go ahead and draft
48 the resolution.

1
2 Commissioner Holden stated that it should read that *“the primary intention of this fund is...”*

3
4 Ms. Kollgaard mentioned that it should be for future land use purchases and large capital
5 equipment.

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7 Commissioner Richards stated that verbiage could be included to specify that capital items of a
8 life expectancy of four years and over, as it will show it is not a frivolous purchase.

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10 Commissioner Hannan agreed that equipment has a life expectancy and the manufacturer should
11 produce the number of years of its life span.

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13 Commissioner Holden suggested that it should be long-term. He stated that Chet Ross, the
14 auditor, had previously recommended that the Town put money away for the future for items
15 such as for when the waste facilities at Public Works are obsolete and have to be replaced. He
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18 Ms. Kollgaard replied that it would be enterprise funds and they have depreciation that goes into
19 Utility funds.

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22 monies so the Town would not have to deal with bonds or things of that nature.

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24 Mayor Kussard asked if everyone was in agreement, and it was the consensus to move forward
25 with the resolution as discussed.

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27 **2. Discussion Regarding Drafting an Ordinance Outlining the Procedure on How to**
28 **Handle a Tie Vote by the Commission**

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30 Derek Schroth, Town Attorney, reviewed the draft ordinance included in the packet which
31 outlines the procedures on how to handle a tie vote by the Commission. He stated that this
32 ordinance gives the Commission the opportunity to discuss and decide on whether to postpone
33 consideration of the matters if there is a tie vote since the Town’s charter requires that the
34 Commission must vote on an item if there is a quorum. He stated there are some instances that
35 will not allow a fifth Commissioner to legally vote on an issue due to a conflict, but this
36 ordinance allows the Commission to table a matter due to a curable absence by a Commissioner.

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38 Ms. Kollgaard stated that it also protects the Commission when voting on land issues as a tie
39 vote would automatically be denied, but the vote could be postponed under this ordinance so as
40 to not hold up development.

41
42 Mayor Kussard confirmed that it was the consensus of the Commission for staff to proceed with
43 this ordinance as presented.

44
45 **3. Discussion Regarding Code Enforcement Fines/Abatement Requests**

46
47 Town Manager Kris Kollgaard passed out a document showing Code Enforcement scenarios in
48 the surrounding communities. She also passed out a copy of the Lake County 2013 tax rolls



TOWN COMMISSION AGENDA ITEM

REQUESTED COMMISSION MEETING DATE : February 3, 2014

SUBJECT: Second/Final Reading for Ordinance No. 2014-01 - which reduces the Town's Supplemental Education Assistance Fee Rates to 25% of the Original Rate

DEPARTMENT: Town Manager

STAFF RECOMMENDED MOTION: Approval of Ordinance No. 2014-01 Second/Final Reading

SUMMARY: On January 6, 2014 the Town Commission approved the first reading of Ordinance 2014-01 which reduces the Town's Supplemental Education Assistance Fee Rates to 25% of the Original Rate set by Ordinance 2006-61. The new rates will be as follows:

- (a) All residential construction occurring within the Town shall pay the following Supplemental Education Assistance Fee:
(1) Seven hundred and fifty dollars (\$750.00) per dwelling unit
(2) Four hundred and fifty dollars (\$450.00) per multi-family dwellings

FISCAL IMPACT: N/A [] Capital Budget [] Operating [] Other

ATTACHMENTS: [X] Ordinance [] Resolution [] Budget Resolution [] Other [] Support Documents

DEPARTMENT HEAD HR Submitted 1-27-14 Date
FINANCE DEPARTMENT Approved as to Form Date
TOWN MANAGER Approved as to Budget Requirements Date
Approved Agenda Item for: 2/3/14 Date 1-27-14

COMMISSION ACTION:

- [] Approved as Recommended [] Disapproved [] Tabled Indefinitely
[] Continued to Date Certain [] Approved with Modification

Handwritten notes: JAC 1-27-14

ORDINANCE NO. 2014-01

AN ORDINANCE OF THE TOWN COMMISSION OF THE TOWN OF LADY LAKE, FLORIDA, AMENDING CHAPTER 13 OF THE TOWN OF LADY LAKE CODE OF ORDINANCES ENTITLED SPECIAL ASSESSMENTS, IMPACT FEES, SUPPLEMENTAL FEES, SECTION 13-21 ENTITLED LEVY AND PURPOSE, FOR THE PURPOSES OF REDUCING THE SUPPLEMENTAL EDUCATION ASSISTANCE FEE RATES TO 25% OF THE ORIGINAL RATE SET BY ORDINANCE NO. 2006-61; PROVIDING FOR SEVERABILITY; PROVIDING FOR INCLUSION IN THE CODE; PROVIDING FOR FILING; PROVIDING AN EFFECTIVE DATE.

WHEREAS, Chapter 13 of the Lady Lake Code imposes special assessments, impact fees and supplemental fees for Education, Libraries, Parks, Water, Wastewater and Reclaimed Water; and

WHEREAS, the Town Commission wishes to stimulate the local economy by encouraging economic development and promoting job creation through the reduction of supplemental educational assistance fees; and

WHEREAS, supplemental educational assistance fees are applicable to all new residential construction within the Town limits, and can be a substantial component of a developer's total development costs; and

WHEREAS, the Board of County Commissioners of Lake County, Florida, on October 10, 2013, enacted Ordinance No. 2013-55, re-imposing the collection of School Impact Fees at a reduced rate-effective January 13, 2014, and

WHEREAS, in order to stimulate the local economy, it has been determined that the reduction of the collection of supplemental educational assistance fees is necessary; and

WHEREAS, the Town Commission now finds it is in the best interest of the citizens of the Town of Lady Lake to make these changes to the Town Code.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COMMISSION OF THE TOWN OF LADY LAKE THAT:

Section 1. Recitals. The foregoing recitals are true and correct and incorporated herein by reference.

Section 2. Amendments. Section 13-21 and Section 13-24, Code of Ordinances of the Town of Lady Lake, is hereby amended to read as follows:

Sec. 13-21. – Levy and purpose.

(a) The reduction of supplemental educational assistance fees shall be for a period beginning January 20, 2014 and extending until January 21, 2015. The reduction shall not apply to pre-payments, deferral agreements unless the agreement specifically allows, or the use of impact fee credits.

(b) For the purpose of helping to defray the costs of new or expanded educational facilities and equipment attributable to new residential construction within the town limits, supplemental educational assistance fees are hereby reduced to 25% of the original rate as set by Ordinance No. 2006-61, beginning January 20, 2014, on new residential construction within the town limits in accordance with the schedule of fees and other provisions of this article.

Sec. 13-24. Rates.

(a) All residential construction occurring within the Town shall pay the following Supplemental Education Assistance Fee:

(1) Seven hundred and fifty dollars (\$750.00) per dwelling unit

(2) Four hundred and fifty dollars (\$450.00) per multi-family dwellings

(b) The payment of the Supplemental Education Assistance Fee shall be in addition to all other fees, charges or assessments due for the issuance of a building permit or final development order.

(c) The obligation for payment of the Supplemental Education Assistance Fee shall run with the land.

Section 3. Severability. The provisions of this Ordinance are declared to be separable and if any section, sentence, clause or phrase of this Ordinance shall for any reason be held to be invalid or unconstitutional, such decision shall not effect the validity of the remaining sections, sentences, clauses or phrases of this Ordinance, but they shall remain in effect, it being the legislative intent that this Ordinance shall stand notwithstanding the invalidity of any part.

Section 4. Inclusion in the Town of Lady Lake Code. It is the intention of the Town Commission of the Town of Lady Lake that the provisions of this Ordinance shall become and be made a part of the Town of Lady Lake Code of Ordinances and that the sections of this Ordinance may be renumbered or re-lettered and the word “ordinance” may be changed to “section”, “article” or such other appropriate word or phrase to accomplish such intentions.

Section 5. Filing. The clerk shall be and is hereby directed forthwith to file this Ordinance in accordance with Florida law.

PASSED AND ORDAINED in the regular session of the Town Commission of the Town of Lady Lake, Lake County, Florida, this _____ day of _____, **2014**.

TOWN OF LADY LAKE, FLORIDA

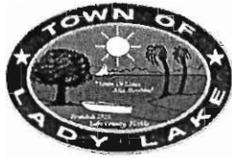
Ruth Kussard, Mayor

ATTEST:

Kris Kollgaard, Town Clerk

APPROVED AS TO FORM:

Derek Schroth, Town Attorney



J-11

TOWN COMMISSION AGENDA ITEM

REQUESTED COMMISSION MEETING DATE : February 3, 2014

SUBJECT: Ordinance No. 2014-02 - Establishing Procedures for Tie Votes

DEPARTMENT: Town Manager

STAFF RECOMMENDED MOTION: Approval of the First Reading of Ordinance No. 2014-02

SUMMARY: As discussed at the January 13, 2014 Commission Workshop, staff has attached the recommended Ordinance which establishes the procedures on how to handle a tie vote by the Commission.

FISCAL IMPACT: N/A Capital Budget
 Operating
 Other

ATTACHMENTS: Ordinance Resolution Budget Resolution
 Other

Support Documents-Workshop Minutes from January 13, 2014

DEPARTMENT HEAD <i>JK</i>	Submitted <i>1-27-14</i>	Date
HR	Approved as to Form	Date
FINANCE DEPARTMENT	Approved as to Budget Requirements	Date
TOWN MANAGER <i>hC</i>	Approved Agenda Item for: <i>2-3-14</i>	Date <i>1-27-14</i>

COMMISSION ACTION:

- Approved as Recommended Disapproved Tabled Indefinitely
- Continued to Date Certain Approved with Modification

DKC
1-27-14
[Signature]

ORDINANCE NO. 2014-02

AN ORDINANCE OF THE TOWN COMMISSION OF THE TOWN OF LADY LAKE, FLORIDA; REQUIRING THE TOWN COMMISSION TO DISCUSS POSTPONING CONSIDERATION OF MATTERS UNTIL, IF POSSIBLE, THERE ARE THREE COMMISSION VOTES TO APPROVE OR THREE VOTES TO DENY ANY MATTER; PROVIDING FOR SEVERABILITY; PROVIDING FOR INCLUSION IN THE CODE; PROVIDING FOR FILING; PROVIDING AN EFFECTIVE DATE.

WHEREAS, Florida Statutes Chapter 166 provides municipalities with the discretion to impose additional requirements for the adoption or enactment of ordinances or resolutions and to prescribe procedures in greater detail than those provided by statute;

WHEREAS, The Town Commission finds it in the best interests of the Town and its citizens to consider having at least three votes to approve or three votes to deny any matter when legally possible.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COMMISSION OF THE TOWN OF LADY LAKE, FLORIDA:

Section 1. INTENT AND PURPOSE

The intent and purpose of this Ordinance is to have at least three votes to approve or three votes to deny any matter when legally possible by implementing procedures which require Commissioners to discuss and vote on whether or not to postpone consideration of matters when one or more Commissioners is curably absent from a meeting.

Section 2. CURABLE ABSENCE DEFINED

A “curable absence” is when a Commissioner does not attend a meeting and is not legally disqualified from voting upon a particular measure pursuant to section 112.3143(3), *Fla. Stat.* Curable absence might include absence from the meeting due to illness, vacation, or a death in the Commissioner’s family.

Section 3. REQUIRED DISCUSSION TO POSTPONE WHERE A COMMISSIONER IS CURABLY ABSENT.

If a Commissioner is not present at a meeting due to a curable absence, the Commission shall discuss and vote on whether or not to postpone consideration of the matter. To achieve the goal of having at least three votes to approve or three votes to deny any matter when legally possible, the Commission shall consider the following guidelines when one or more Commissioners are curably absent:

Number of Commissioners Curably Absent	Recommended Procedure
1 Commissioner Curably Absent	The Presiding Officer shall straw poll the 4 remaining Commissioners. If the straw poll vote is a 3 to 1 vote or a 4 to 0 vote, the Presiding Officer shall proceed to a formal roll call vote. If the straw poll vote is a 2 to 2 vote, the Commission shall discuss and decide whether the matter should be postponed until there are enough Commissioners present to have three votes to deny or approve the matter.
2 Commissioners Curably Absent	The Presiding Officer shall straw poll the 3 remaining Commissioners. If the straw poll vote is 3 to 0, the Presiding Officer shall proceed to a formal roll call vote. If the straw poll vote is 2 to 1, the Commission shall discuss and decide whether the matter should be postponed until there are enough Commissioners present to have three votes to deny or approve the matter.
3 or more Commissioners Curably Absent	There is no quorum and the Presiding Officer shall adjourn the meeting until there is a quorum.

Section 4. POSTPONEMENT PROCEDURES

If a majority of the Commission decides to postpone the matter it shall be postponed. If a majority of the Commission decides to not postpone the matter the matter shall proceed to a roll call vote.

Section 5. INCURABLE ABSENCES

In the event one or two Commissioners are absent and the absence is not curable under Florida law, the Commission shall proceed according to the Recommended Procedures specified above addressing only the curable absences and disregarding the incurable absences.

Section 6. CODIFICATION

Codification of this Ordinance is hereby directed and authorized.

Section 7. SEVERABILITY

If any section, sentence, clause or phrase of this Ordinance is held to be invalid or unconstitutional by any Court of competent jurisdiction, then said holding shall in no way affect the validity of the remaining portions of this Ordinance.

Section 8. EFFECTIVE DATE

This Ordinance shall take effect immediately upon adoption.

PASSED AND ORDAINED in the regular session of the Town Commission of the Town of Lady Lake, Lake County, Florida, this _____ day of _____, **2014**.

TOWN OF LADY LAKE, FLORIDA

Ruth Kussard, Mayor

ATTEST:

Kris Kollgaard, Town Clerk

APPROVED AS TO FORM:

Derek Schroth, Town Attorney

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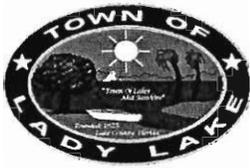
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48 the surrounding communities. She also passed out a copy of the Lake County 2013 tax rolls



TOWN COMMISSION AGENDA ITEM

REQUESTED COMMISSION MEETING DATE: February 3, 2014

SUBJECT: Appointments/Reappointments to the Planning and Zoning Board

DEPARTMENT: Clerk's Office

STAFF RECOMMENDED MOTION: Appointment/Reappointment of Two (2) Members to the Planning and Zoning Board

SUMMARY: Currently, the Planning and Zoning Board has two (2) members whose terms are expiring this month. Michael McKenzie and William Scott are currently on the Board and Mr. McKenzie wishes to be reappointed, but Mr. Scott does not. There are two other applications currently on file for Sue Nord and Alfred Monteleone.

FISCAL IMPACT: N/A

- Capital Budget
- Operating
- Other

ATTACHMENTS: Ordinance Resolution Budget Resolution

Other Applications

Support Documents

DEPARTMENT HEAD <i>hK</i>	Submitted 1-27-14	Date
FINANCE DEPARTMENT	Approved as to Budget Requirements	Date
TOWN MANAGER <i>W</i>	Approved Agenda Item for: 2-3-14	Date 1-27-14

COMMISSION ACTION:

- Approved as Recommended
- Disapproved
- Tabled Indefinitely
- Continued to Date Certain
- Approved with Modification

W

**TOWN OF LADY LAKE
BOARDS/COMMITTEES APPLICATION**

Date: 4-9-12

Name: Michael A McKenzie

Mailing Address: 818 BOLIVAR ST

Location of residence: LADY LAKE FL 32159

Business Location (if applicable): _____
(Economic Development Advisory Committee only)

Home Phone: _____ Work Phone: _____

Cell Phone: 267-4811 E-Mail Address: MIKEAMCKENZIE@ACK.CO

Check below the Committees or Boards that you are willing to serve on:

- Economic Development Advisory Committee
- Library Board
- Planning & Zoning Board
- Parks & Recreation Advisory Board
- Police Pension Board
- Tree & Beautification Advisory Committee

Occupation: RETIRED

Training or experience related to activities of boards or committees to which appointment is sought: HVAC CONTRACTOR

Member of the following professional or business organizations: _____

Have you served on a Town board or committee in the past? Yes

If yes – name of committees/boards and dates Code ENFORCEMENT, P&Z

Nationality: (optional) _____ (This information is for use in the Annual Florida Department of State Report only.)

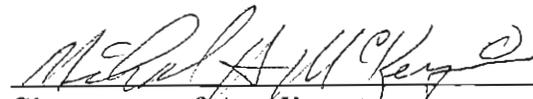
Have you ever been convicted of a felony? (optional) NO

Please list three references that the Town may contact (excluding Town employees) – name, address and phone number:

1. DAVID Smalley
2. NANCY STINEBAUGH ROACH
3. CHRIS GATHEMEN

Additional information may be attached to this form.

I will attend meetings in accordance with the adopted policies of the Town. If at any time my business or professional interests conflict with the interests of this board or committee, I will not participate in such deliberations of the board or committee.



Signature of Applicant

Please return application to:

Town Clerk's Office
Lady Lake Municipal Complex
409 Fennell Blvd
Lady Lake FL 32159

Please note: You may be required to fill out a financial disclosure form.

THIS APPLICATION WILL BE KEPT ON FILE FOR ONE YEAR

----- Forwarded message -----

From: **LadyLake.org** <ladylake@host103.hostmonster.com>

Date: Tue, Jan 14, 2014 at 9:04 AM

Subject: New Board/Committee Application

To: chr.ayres@gmail.com

Cc: sue.minn@ymail.com

Name: Sue Nord

Application Date: 1/14/2014

Address: 912 Tarrson Blvd, Lady Lake FL

Location of residence: Silver Lake Village

Business Location: I work out of my home

Home Phone: Same

Work Phone: 352-259-4900

Cell Phone: 352-348-9712

Email: sue.minn@ymail.com

Boards to serve on: Planning and Zoning Board

Occupation: Tom Grizzard ERA-Realtor

Training or experience related to board sought: 2term president of Big Lake Chamber of Commerce

Co-chair of Big Lake "Dream Team" for 5 years. We worked hand in hand with the EDA to create an overlay for the templates they would ultimately use for the renovation of the City.

Member of professional/business organizations: Local, state and national Association of Realtors

Served in past?: Yes

If yes, which one?: Served as Council person for City of Federal Dam-2005-2009.

Nationality:

Convicted of felony?: No

Reference 1: Dixie Hughes, 1708 Hilton Head Blvd, Lady Lake FL, 352-750-1226

Reference 2: Deb Johnson 1525 Hillcrest Lady Lake FL 352-430-0257

Reference 3: Shirley Houde 705 Marigold Lady Lake FL 603-380-5829

Additional comments: I look forward to hearing from you and would be thrilled to help on one of your committees.

From: LadyLake.org

Cc: sue.minn@ymail.com

**TOWN OF LADY LAKE
BOARDS/COMMITTEES APPLICATION**

Date: 1/27/14

Name: Alfred Monteleone

Mailing Address: 901 Stadler St.

Location of residence: Water Oak C.C.

Business Location (if applicable): _____
(Economic Development Advisory Committee only)

Home Phone: 352-259-3924 Work Phone: _____

Cell Phone: 352-459-3626 E-Mail Address: AlMonteleone@embn@gmail.com

Check below the Committees or Boards that you are willing to serve on:

- Economic Development Advisory Committee
- Library Board
- Planning & Zoning Board
- Parks & Recreation Advisory Board
- Police Pension Board
- Tree & Beautification Advisory Committee

Occupation: Retired

Training or experience related to activities of boards or committees to which appointment is sought: Worked in water & wastewater for over 45 years, Built water & Sewer Plants, Installed water & Sewer Lines & etc.

Member of the following professional or business organizations: AWWA
FW & PCCA

Have you served on a Town board or committee in the past? Yes

If yes – name of committees/boards and dates Citizens Advisory Task Force – on going when needed since 2012, & Water Conservation Committee.

Nationality: (optional) USA (This information is for use in the Annual Florida Department of State Report only.)

Have you ever been convicted of a felony? (optional) NO

Please list three references that the Town may contact (excluding Town employees) – name, address and phone number:

1. MR. FRANCIS TRAINQUE, 914 NELSON DR. L.L. 430-2886
2. MR. REGIS LECLERC, 904 ZOELLER ST. L.L. 751-7166
3. MR. BILL SIGURDSON, 907 E. NORMAN ST. L.L. 504-6242

Additional information or comments may be attached to this form.

I will attend meetings in accordance with the adopted policies of the Town. If at any time my business or professional interests conflict with the interests of this board or committee, I will not participate in such deliberations of the board or committee.



Signature of Applicant

Please return application to:

Town Clerk's Office
Lady Lake Municipal Complex
409 Fennell Blvd
Lady Lake FL 32159

~~Please note: You may be required to fill out a financial disclosure form.~~

THIS APPLICATION WILL BE KEPT ON FILE FOR ONE YEAR

PLANNING & ZONING BOARD

- VOTING FORM -

Date: February 3, 2014

Please mark your selections (2) and sign your name at the bottom.

Re-Appointment:

	Yes	No
Michael McKenzie	<input type="checkbox"/>	<input type="checkbox"/>

Appointments:

Sue Nord	<input type="checkbox"/>	<input type="checkbox"/>
Alfred Monteleone	<input type="checkbox"/>	<input type="checkbox"/>

Thank you.

Selections made by: _____
(Name of Commissioner)